

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-70

Proposal: Title consolidation and five (5) multiple dwellings (one existing)

Subject Site: 157 Roslyn Avenue, Blackmans Bay

Responsible Planning Officer: Benjamin Allen

Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **28 August 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



Kingborough Council

Development Application: DA-2026-70

Plan Reference No: P6

Date Received: 3/8/2026

Date placed on Public Exhibition: 15/8/2026



ORAMATIS

DEVELOPMENT APPLICATION

157 ROSLYN AVE BLACKMANS BAY 7052

157 ROSLYN AVE TOWNHOUSES

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1 LOCATION PLAN/SATELLITE IMAGERY
1:1000



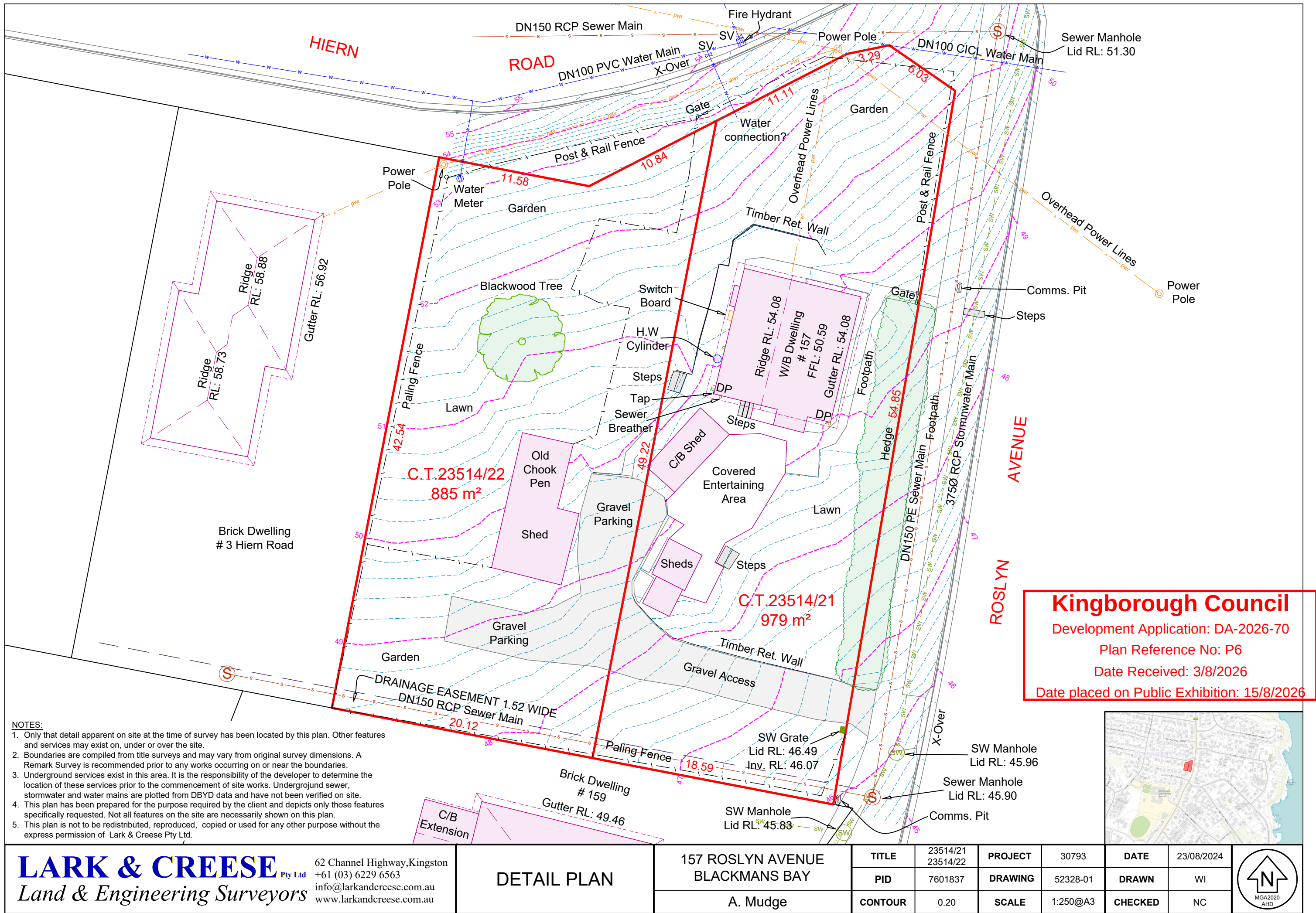
- GENERAL
- © REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO
- DO NOT SCALE FROM THIS DRAWING
- THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION
- ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED
- MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS
- PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER
- WORKPLACE HEALTH AND SAFETY
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT
- ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN
- LAND TITLE REFERENCE
- VOLUME (PLAN): 23514/21(22)
- DESIGN WIND SPEED
- WIND LOADING TO AS 4055: N*
- SOIL CLASSIFICATION
- SOIL CLASSIFICATION TO AS 2870: M
- CLIMATE ZONE FOR THERMAL DESIGN
- CLIMATE ZONE TO BCA FIGURE 1.1.4: 7
- BUSHFIRE PRONE AREA BAL RATING
- BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: N/A
- CORROSION ENVIRONMENT
- CORROSION ENVIRONMENT TO AS/NZS 2312: N/A
- KNOWN SITE HAZARDS: n/a
- SCHEDULE OF AREAS
- GROUND FLOOR SITE COVERAGE: 472m²
- EXISTING HOUSE (APPROX): 90m²
- SITE AREA : 1864m²
- SITE COVERAGE: 25.3%

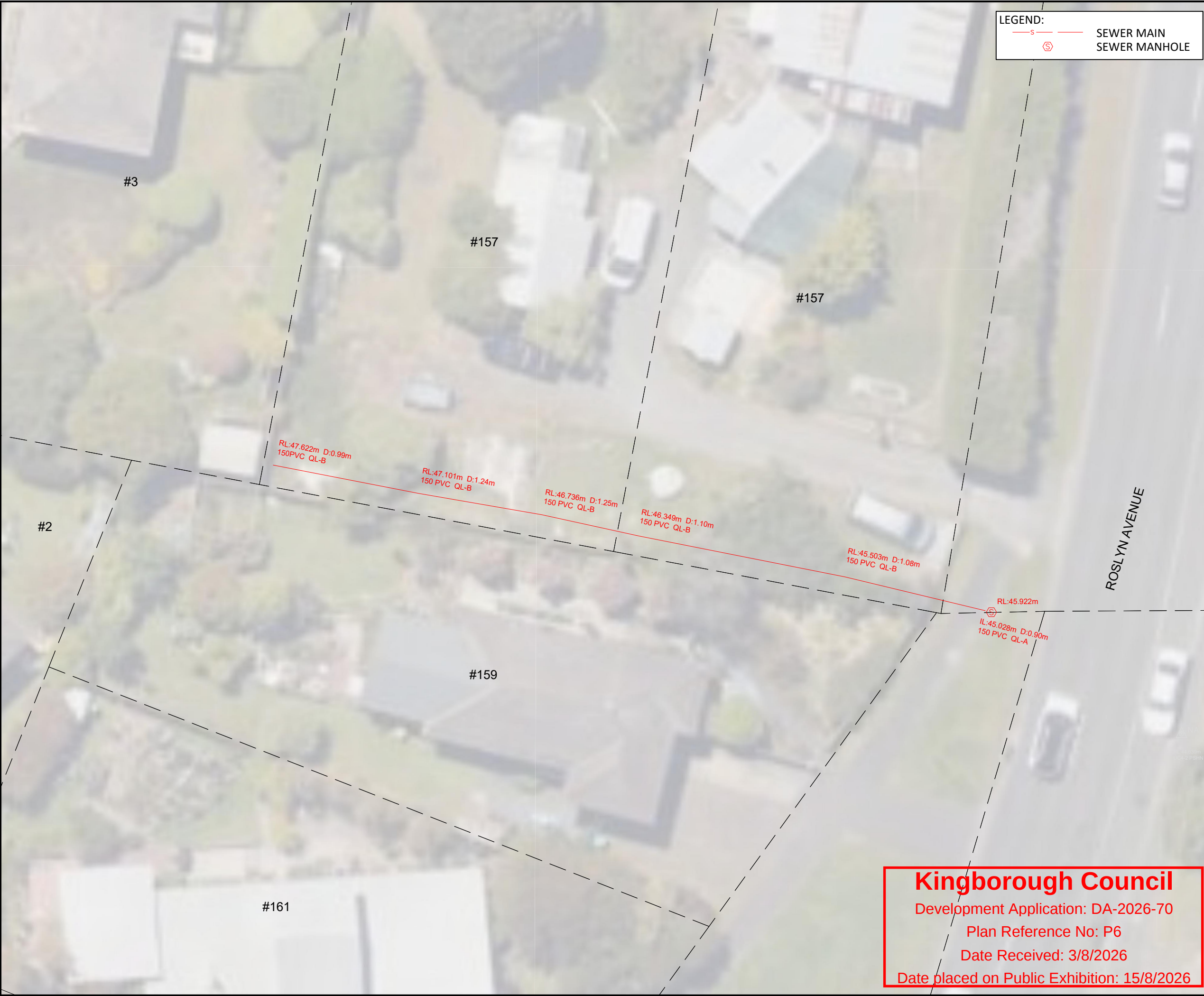
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Document Set ID: 4818155
Version: 1, Version Date: 11/08/2026

GENERAL NOTES		REV ID		DESCRIPTION	DATE	PROJECT	REVISION	DATE	SCALE	PAGE	NORTH
CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED. CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.						TOWNHOUSES 157 ROSLYN AVE BLACKMANS BAY 7052		30/07/2026	AS SHOWN @ A3	DA01	N ⊕
						CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
							2540	A.HILL	A.PETERSON	NOTES & SITE LOCATION PLAN	





Notes

GENERAL COMMENTS AND DISCLAIMER:
This survey has been compiled using a combination of conventional and UG Service Detection survey techniques.

Property boundary overlays, where supplied, vary in accuracy but are generally to 0.5m. Therefore a Land Survey, as defined under the Surveying Act 2002, should be undertaken before any construction activity is carried out on or near the land boundaries depicted by this model.

The survey from which this model was created was carried out to comply with the requirements of the client as set out in the scope of works contained in the survey instructions/brief for this project. Anybody who uses this survey for any purpose other than that for which it was carried out does so at his or her own risk.

Any public utilities and services shown in this model have been located by using visible surface features and underground service detection techniques.

Please note that not all buried pipes, cables and ducts can be detected and mapped in consideration of their depth, location, material type, geology and proximity to other utilities. Even an appropriate and professionally executed survey may not be able to achieve a 100% detection rate.

Survey control information is regarded as suitable for the survey and correct at the time of survey, but should be verified before being used for any purpose.

WARNINGS:

- Classification of subsurface utility information refer to AS5488.1:2019.
- No design should be undertaken outside of survey extents. If design exceeds survey extents, additional survey data should be acquired.

AS 5488 Subsurface Utility Information
A quality level describes the amount and accuracy of information that is collected or held on a subsurface utility. There are four quality levels—A, B, C & D.

Quality Level A - Location accuracy deemed to be between +/- 50mm. Lowest Risk.
Quality Level B - Location accuracy deemed to be between +/-300mm horizontally and +/- 500mm vertically. Medium Risk.
Quality Level C - Location accuracy assumed to be aligned with visible surface features. High Risk.
Quality Level D - The default level if no level of accuracy is specified. Highest Risk.

DATE OF SURVEY	22/07/2026
BEARING DATUM	MGA2020
HORIZONTAL DATUM	GDA2020
HEIGHT DATUM	AHD(TAS)1983
SURVEY MARK	SPM9422
EASTING	526307.409
NORTHING	5239726.293
HEIGHT	60.855

5			
4			
3			
2			
1			

REV:	Revision Note	Drm	Date
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Utility Detection & Mapping
23/15 Stanton Place
Cambridge, TAS 7170
(03) 6171 2555
admin@udmgroup.com.au
www.udmgroup.com.au

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CLIENT:

ORAMATIS

SITE: 157 Roslyn Avenue
Blackmans Bay TAS 7052

TITLE: U/G Utility Survey -
Sewer Main

SCALE AT A3: 1:200	DATE: 28/07/2026	DRAWN: DY	CHECKED: RB
PROJECT NO: 261098	DRAWING NO: 261098-1	REV: 0	PAGE: 1

Kingborough Council
Development Application: DA-2026-70
Plan Reference No: P6
Date Received: 3/8/2026
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LEGEND

- WM EXISTING WATER METER
- SLC SEWER LOT CONNECTION
- SWLC STORMWATER LOT CONNECTION
- . - . - . SITE BOUNDARY
- - - - - EASEMENT SETBACK
- - - - - FRONTAGE SETBACK
- S - PROPOSED Ø100 UPVC SEWER LINE
- SW - PROPOSED Ø100 UPVC STORMWATER LINE
- W - PROPOSED Ø100 UPVC WATER LINE
- EX S - SEWER MAIN
- EX S - EXISTING SEWER LINE
- EX SW - STORMWATER MAIN
- EX SW - EXISTING STORMWATER LINE
- EX W - WATER MAIN
- EX W - EXISTING WATER LINE

Kingborough Council

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1

AREA PLAN

1:500

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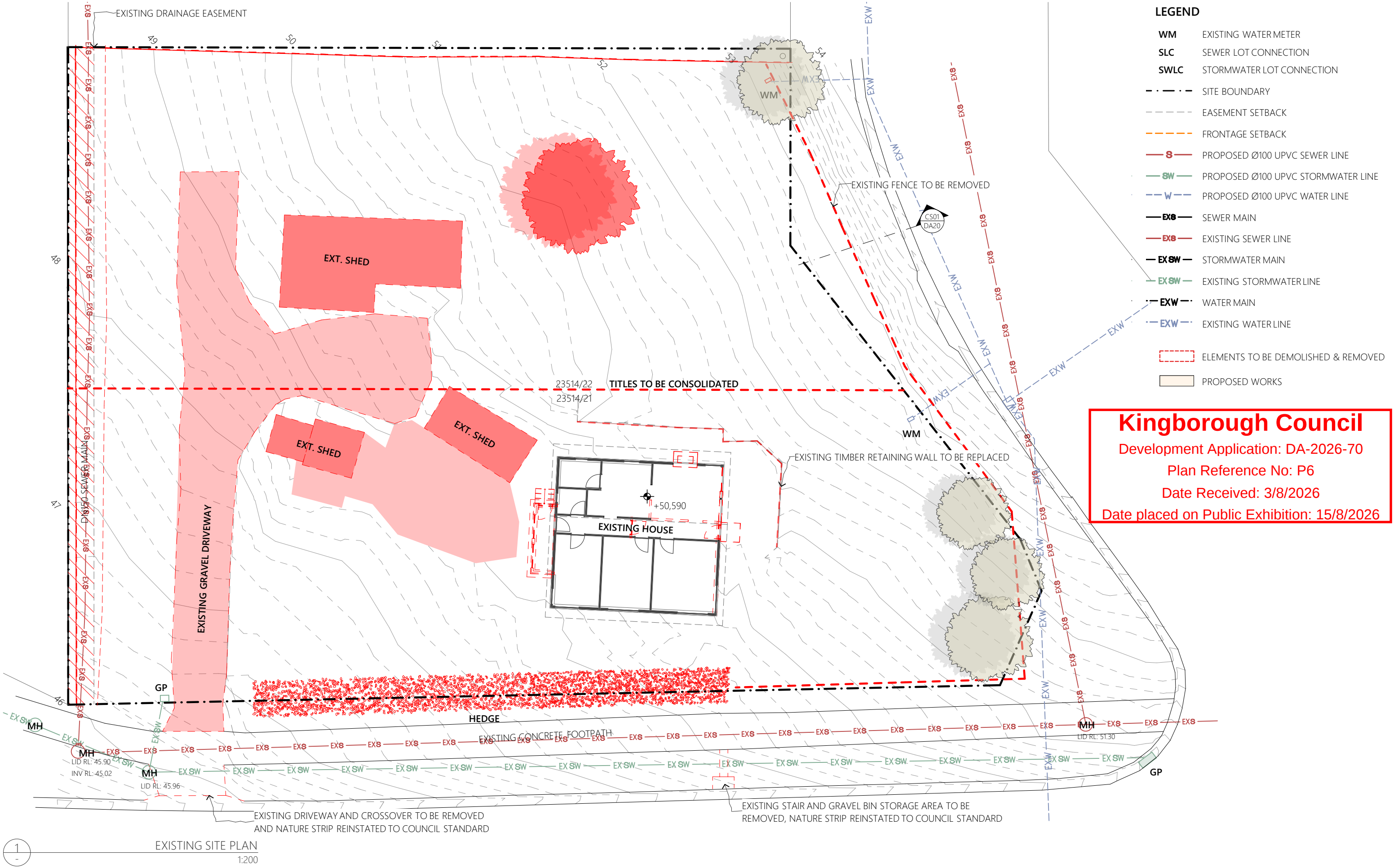
REV ID	DESCRIPTION	DATE

PROJECT	TOWNHOUSES 157 ROSLYN AVE BLACKMANS BAY 7052
CLIENT	

REVISION		DATE	30/07/2026
PROJECT ID	2540	CHECKED BY	A.HILL

SCALE	AS SHOWN @ A3
DRAWN BY	A.PETERSON

PAGE	DA04	NORTH	
DRAWING	AREA PLAN		



1

EXISTING SITE PLAN
1:200



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REV ID	DESCRIPTION	DATE
A	RF11 - GM	12/05/2026
B	PLN RF11	18/05/2026

PROJECT

TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052

CLIENT

REVISION	DATE	SCALE
B	30/07/2026	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2540	A.HILL	A.PETERSON

PAGE

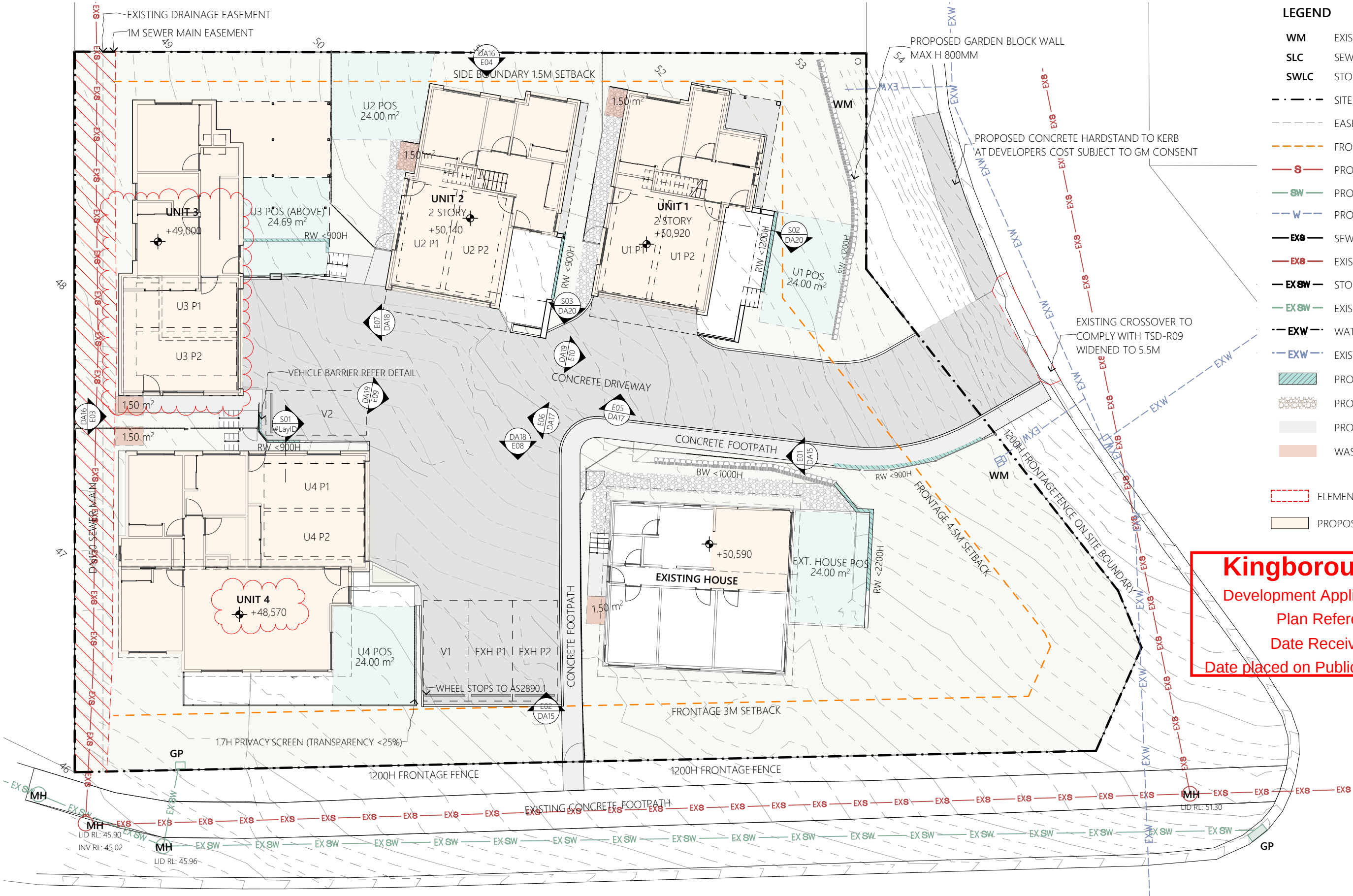
DA05

DRAWING

EXISTING SITE PLAN

NORTH





- LEGEND**
- WM EXISTING WATER METER
 - SLC SEWER LOT CONNECTION
 - SWLC STORMWATER LOT CONNECTION
 - - - - - SITE BOUNDARY
 - - - - - EASEMENT SETBACK
 - - - - - FRONTAGE SETBACK
 - S- PROPOSED Ø100 UPVC SEWER LINE
 - SW- PROPOSED Ø100 UPVC STORMWATER LINE
 - W- PROPOSED Ø100 UPVC WATER LINE
 - EXS- SEWER MAIN
 - EXSW- STORMWATER MAIN
 - EXSW- EXISTING STORMWATER LINE
 - EXW- WATER MAIN
 - EXW- EXISTING WATER LINE
 - [Hatched Box] PROPOSED RETAINING WALL
 - [Stippled Box] PROPOSED GRAVEL PATH
 - [Grey Box] PROPOSED CONCRETE PATH
 - [Orange Box] WASTE STORAGE AREA
 - [Red Dashed Box] ELEMENTS TO BE DEMOLISHED & REMOVED
 - [Orange Box] PROPOSED WORKS

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1
PROPOSED SITE PLAN
1:200

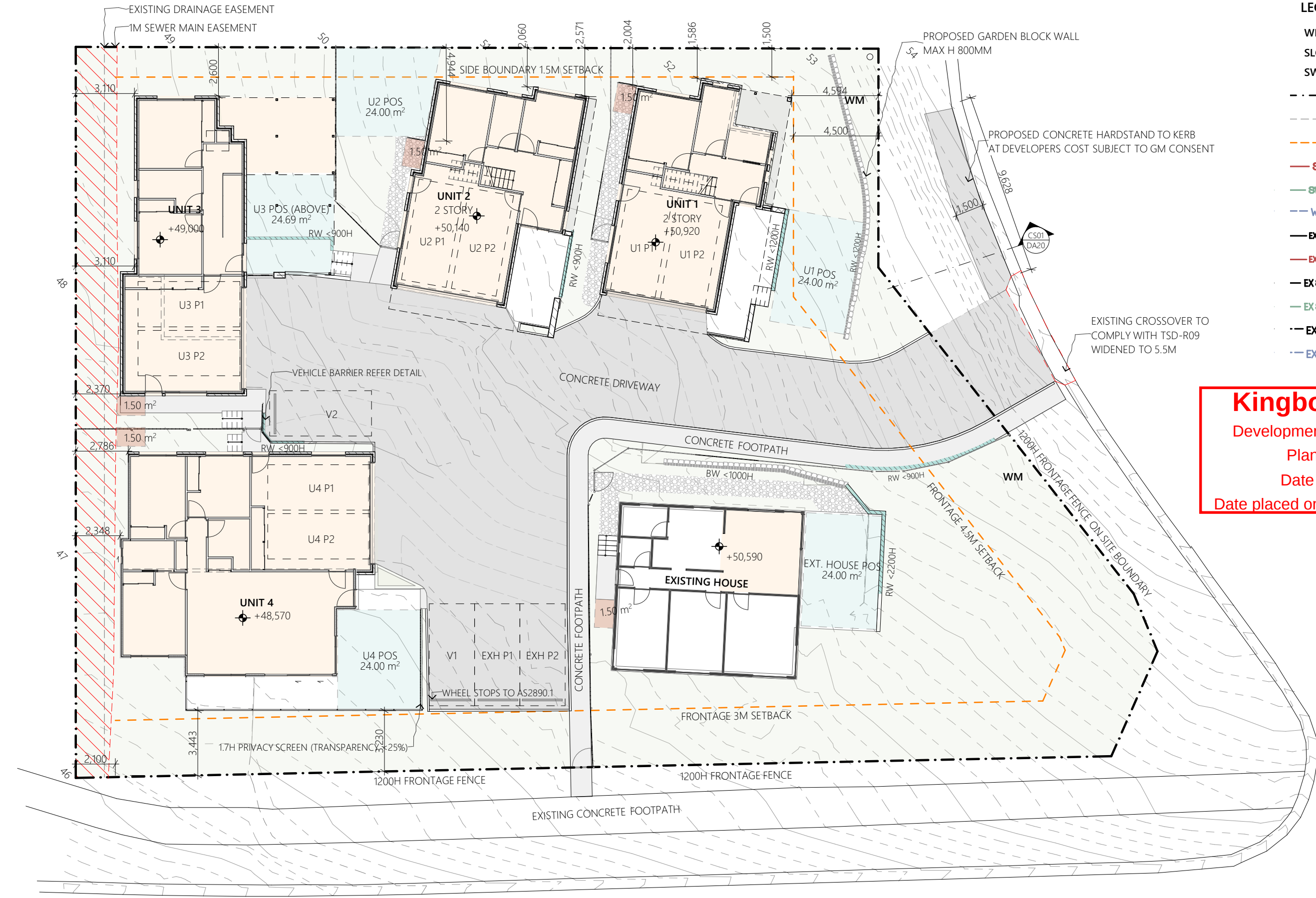
NOTE:
- ALL POS MAX 1:10 FALL
- RETAINING WALL DETAILS REFER CIVIL PLAN

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REV ID	DESCRIPTION	DATE
A	RF11 - GM	12/05/2026
C	PLN RF12	2/06/2026
E	PLN/TASWATER - RFI	30/07/2026

PROJECT
TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052
CLIENT

REVISION	DATE	SCALE
E	30/07/2026	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2540	A.HILL	A.PETERSON



- LEGEND**
- WM EXISTING WATER METER
 - SLC SEWER LOT CONNECTION
 - SWLC STORMWATER LOT CONNECTION
 - - - - - SITE BOUNDARY
 - - - - - EASEMENT SETBACK
 - - - - - FRONTAGE SETBACK
 - S - PROPOSED Ø100 UPVC SEWER LINE
 - SW - PROPOSED Ø100 UPVC STORMWATER LINE
 - W - PROPOSED Ø100 UPVC WATER LINE
 - EX S - SEWER MAIN
 - EX S - EXISTING SEWER LINE
 - EX SW - STORMWATER MAIN
 - EX SW - EXISTING STORMWATER LINE
 - EX W - WATER MAIN
 - EX W - EXISTING WATER LINE

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1
SETOUT PLAN
1:200

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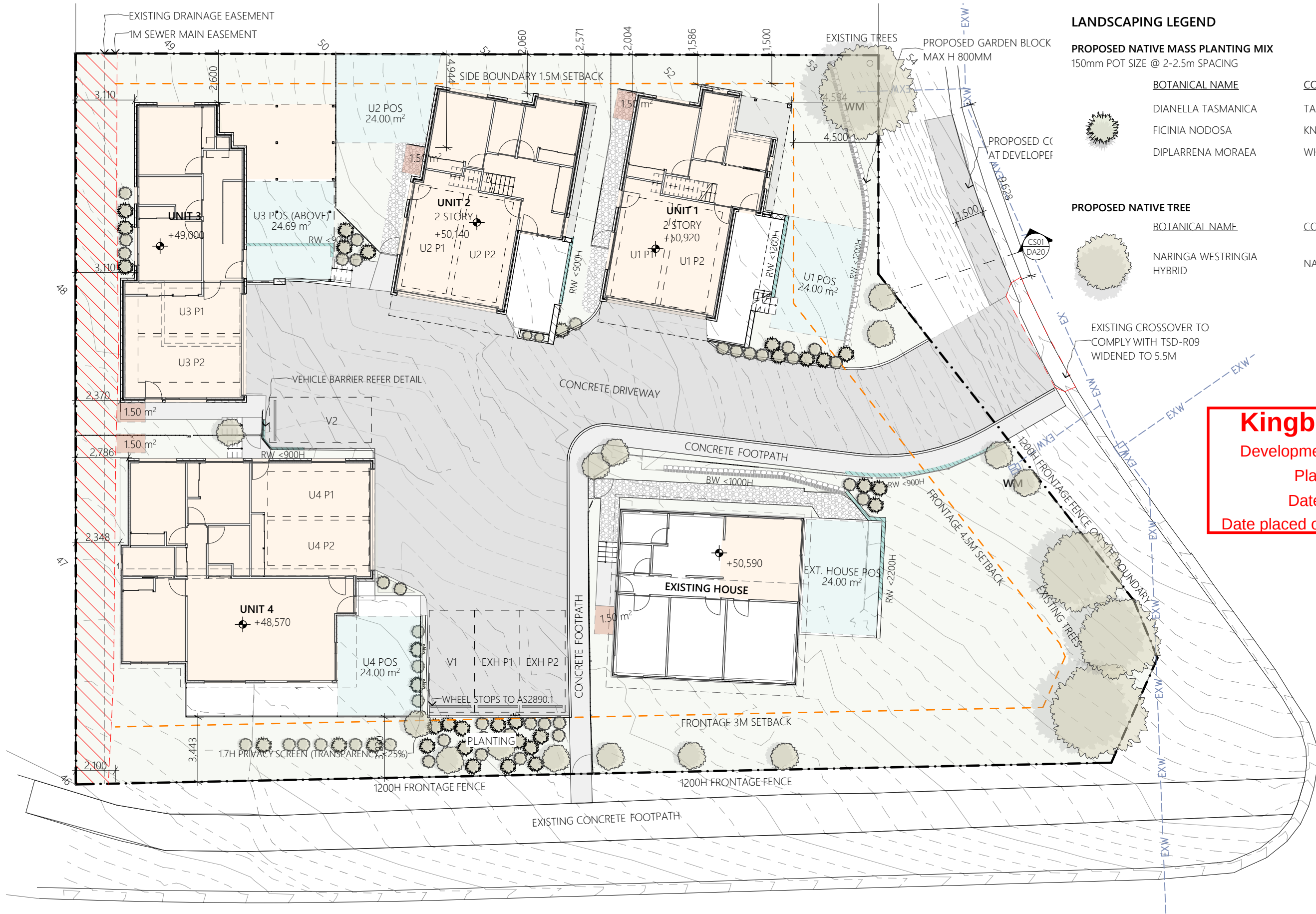
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REV ID	DESCRIPTION	DATE
A	RF11 - GM	12/05/2026
D	PLN RF13	17/06/2026

PROJECT
TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052

REVISION	DATE	SCALE
D	30/07/2026	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2540	A.HILL	A.PETERSON

PAGE	NORTH
DA07	
DRAWING	
SETOUT	



1 LANDSCAPE PLAN



- SITE DRAINAGE LEGEND**
- DP Ø90 DOWNPIPE
 - GD GRATED DRAIN
 - GP GRATED PIT
 - TD TRAFFICABLE GRATE DRAIN
 - WM EXISTING WATER METER
 - ORG OVERFLOW RELIEF GULLY WITH TAP OVER
 - SLC SEWER LOT CONNECTION
 - SWLC STORMWATER LOT CONNECTION
 - EASEMENT SETBACK
 - S** PROPOSED Ø100 UPVC SEWER LINE
 - SW** PROPOSED Ø100 UPVC STORMWATER LINE
 - W** PROPOSED Ø100 UPVC WATER LINE
 - EXS** SEWER MAIN
 - EXSW** STORMWATER MAIN
 - EXW** WATER MAIN

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UPGRADE EXT. CONNECTION TO DN400(ID32) PE100 PN16 SDR11 AND PROPOSED DN32 METER AS PER TWS-W-0002 SHEET 03 AT DEVELOPERS COST.

1 DRAINAGE PLAN 1:200

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REV ID	DESCRIPTION	DATE
C	PLN RF12	2/06/2026

PROJECT	TOWNHOUSES 157 ROSLYN AVE BLACKMANS BAY 7052
CLIENT	

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PROJECT ID	2540	CHECKED BY	A.HILL	DRAWN BY	A.PETERSON

PAGE	DA09	NORTH	
DRAWING	DRAINAGE PLAN		

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NOTE

ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm

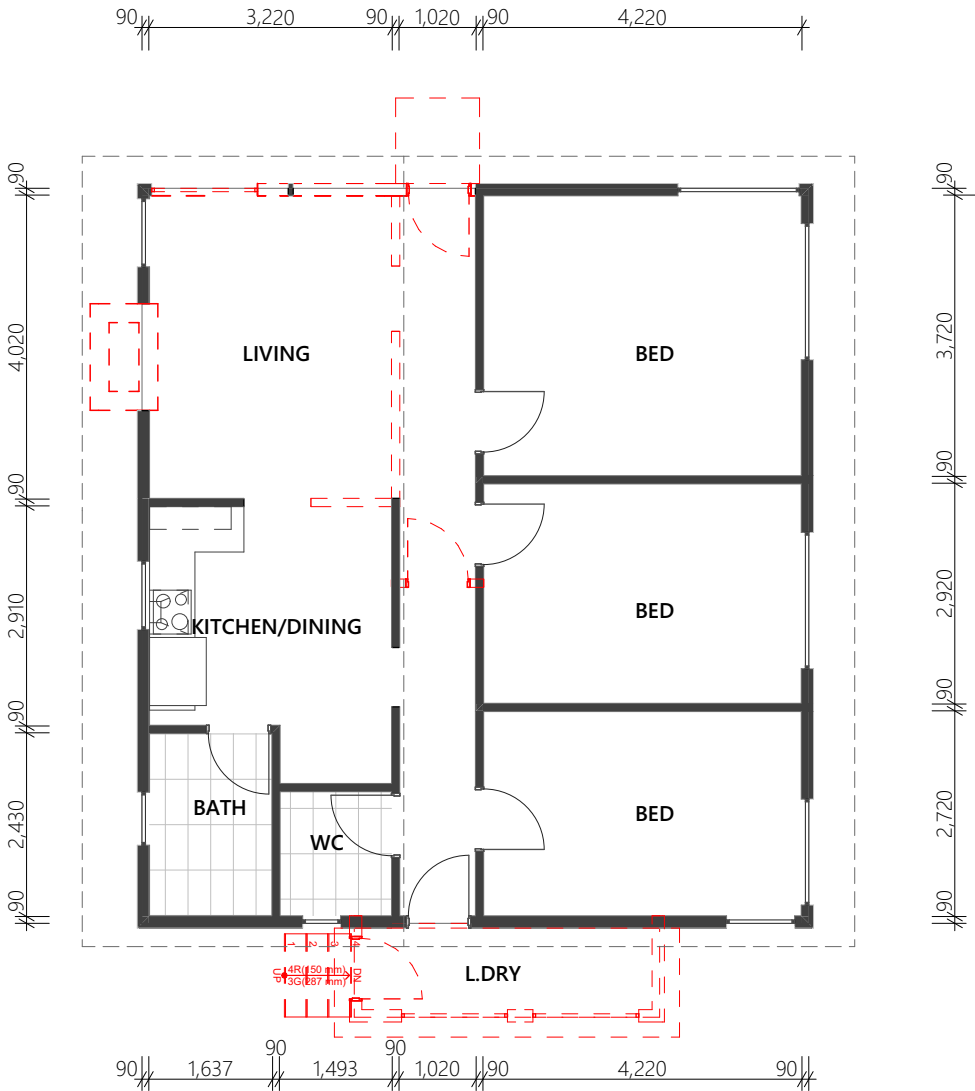
NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

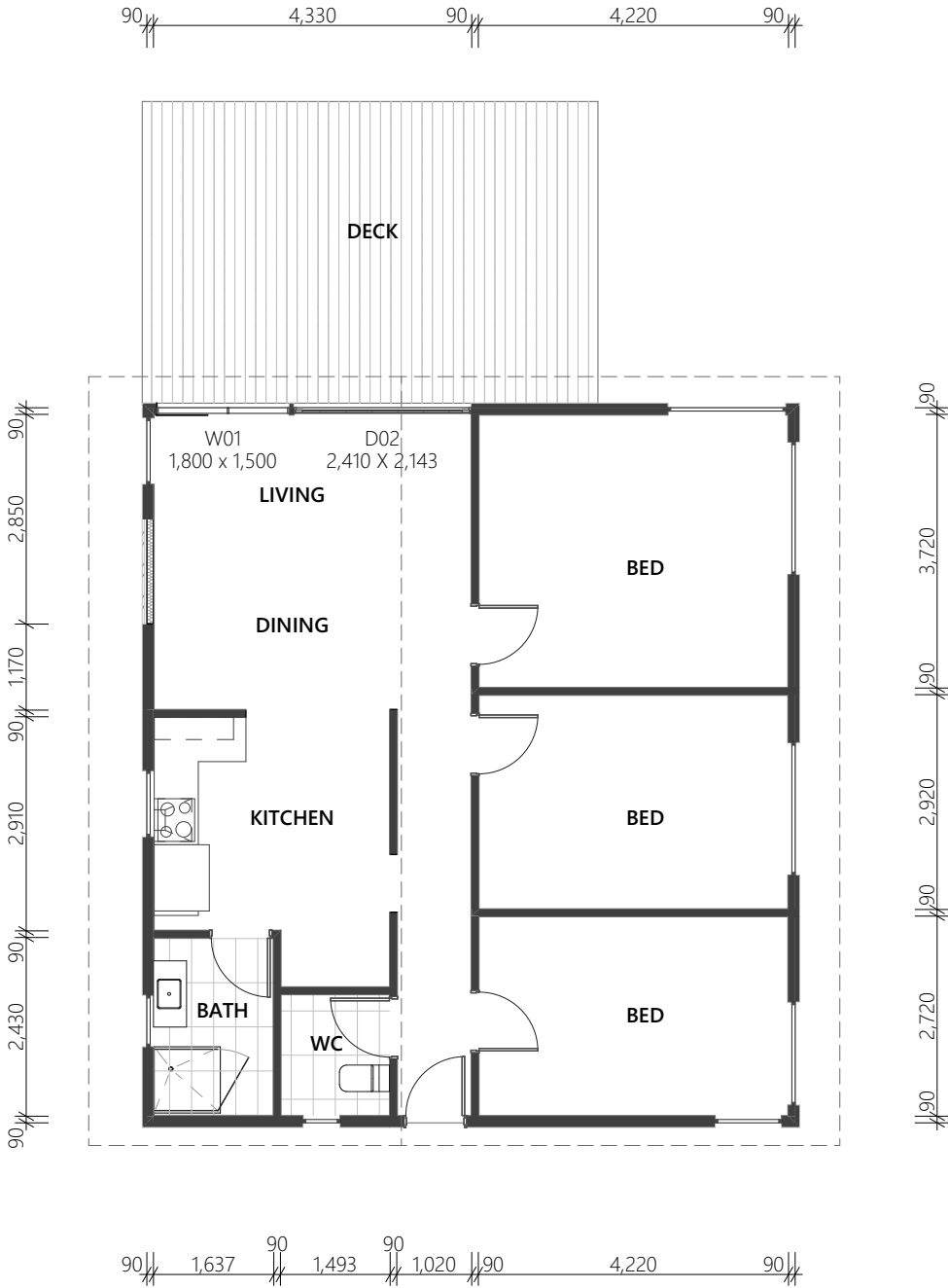
- B BASIN
- BR BROOM CLOSET
- BT BATH TUB
- CT COOKTOP
- DW DISHWASHER
- DR DRYER
- F FRIDGE
- OC OVERHEAD CABINETS
- P PANTRY
- RH RANGEHOOD
- S SINK
- SH SHOWER CABIN
- ST STORAGE
- TR LAUNDRY TROUGH
- V VANITY
- WM WASHING MACHINE

- EXISTING WALLS RETAINED
- ELEMENTS TO BE DEMOLISHED & REMOVED

3 EXISTING HOUSE GROUND FLOOR 1:100



2 EXISTING HOUSE PROPOSED GROUND FLOOR 1:100



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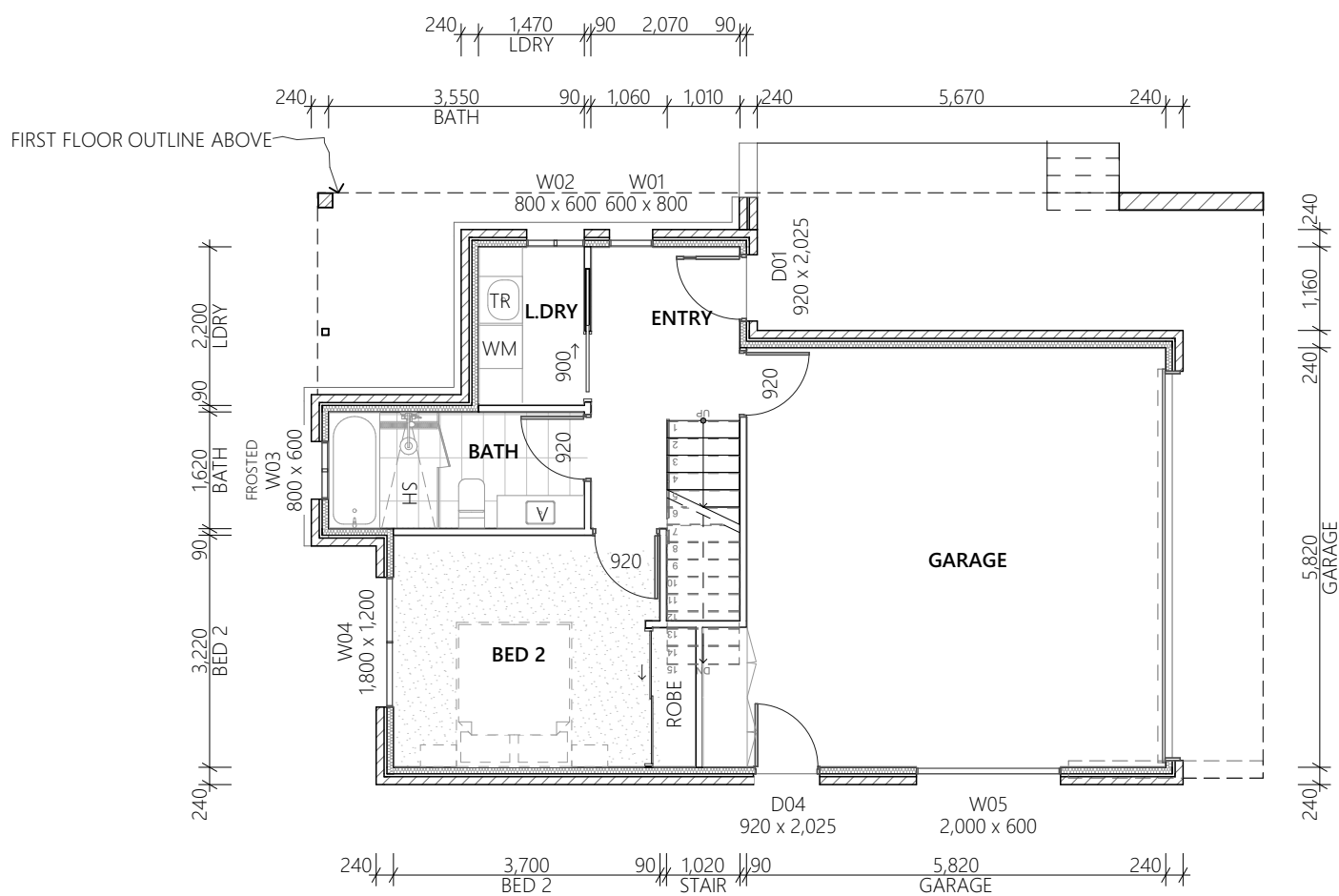
REV ID	DESCRIPTION	DATE
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PROJECT
TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052

REVISION	DATE
	30/07/2026
CLIENT	PROJECT ID
	2540
CHECKED BY	DRAWN BY
A.HILL	A.PETERSON

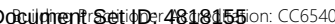
PAGE	NORTH
DA10	
DRAWING	
EXISTING HOUSE	

Date placed on Public Exhibition: 15/8/2026



1:100

NOTE: SOIL CLASS M

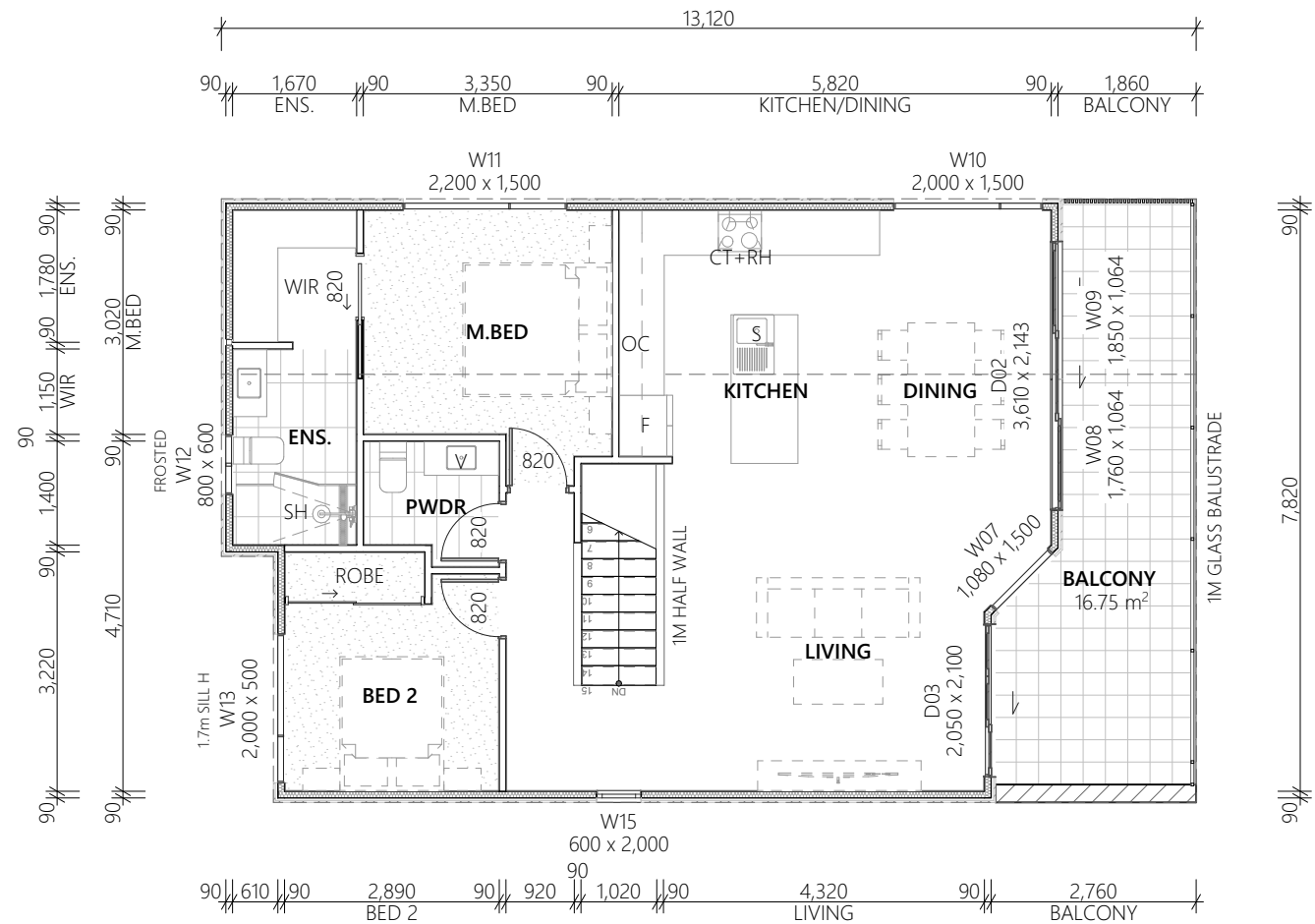


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UNIT 1 FLOOR PLAN

10mm	PLASTERBOARD PAINT FINISH
90mm	STUD MPG 10 GRADE
10mm	PLASTERBOARD PAINT FINISH



1:100

B	BASIN
BR	BROOM CLOSET
BT	BATH TUB
CT	COOKTOP
DW	DISHWASHER
DR	DRYER
F	FRIDGE
OC	OVERHEAD CABINETS
P	PANTRY
RH	RANGEHOOD
S	SINK
SH	SHOWER CABIN
ST	STORAGE
TR	LAUNDRY TROUGH
V	VANITY
WM	WASHING MACHINE

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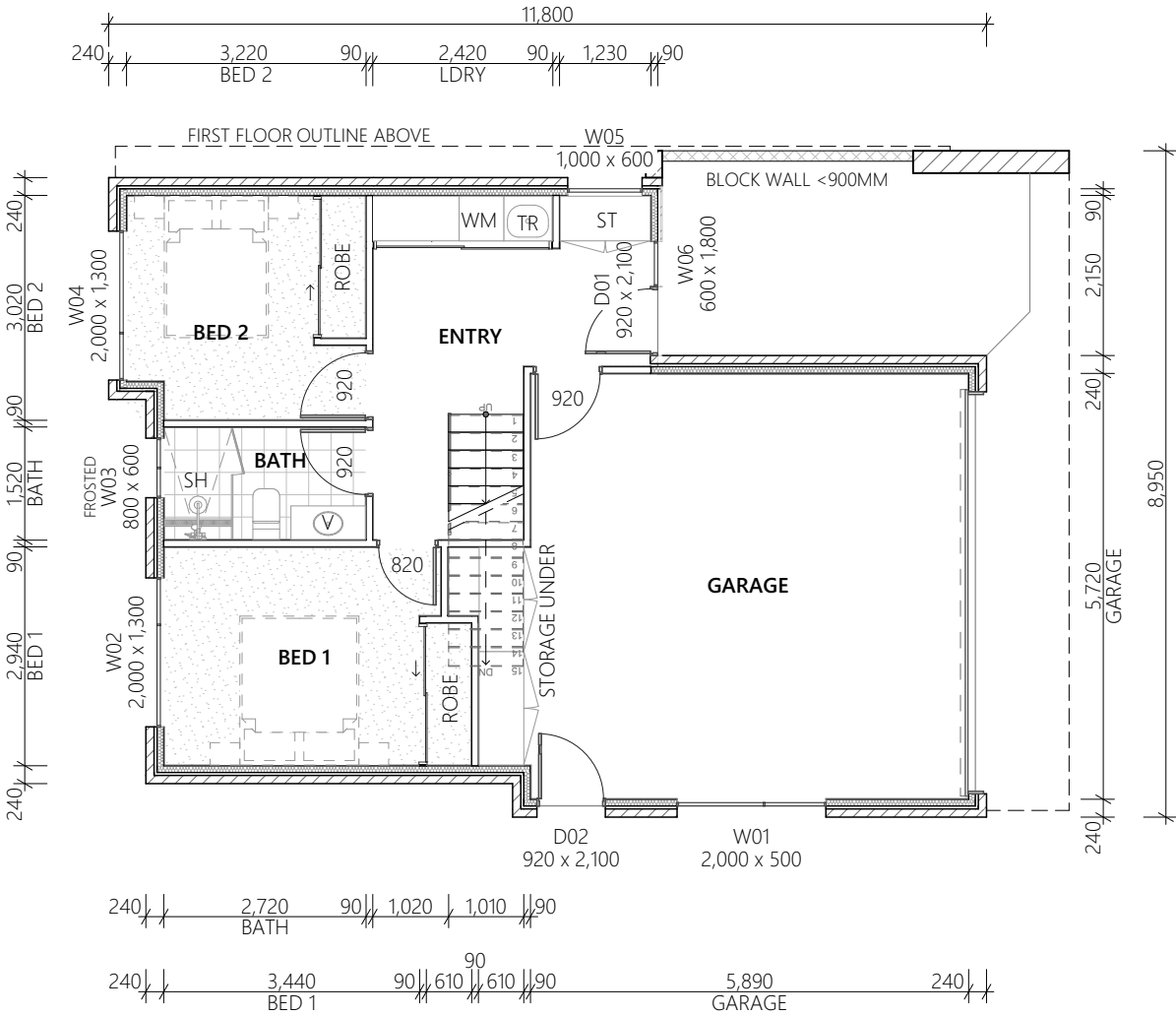
WALL BUILD UP SCHEDULE

PROPOSED WALLS

	SINGLE LEAF BRICK WALL		INTERNAL WALL
		10mm	PLASTERBOARD PAINT FINISH
		90mm	STUD MPG 10 GRADE
		10mm	PLASTERBOARD PAINT FINISH
	BRICK VENEER WALL		
	SELECTED BRICK		
	40mm CAVITY		
	VAPOUR PERMEABLE MEMBRANE		
	90mm STUD MPG 10 GRADE		
	BULK INSULATION		
	10mm PLASTERBOARD PAINT FINISH		
	LIGHTWEIGHT CLADDING WALL		
	SELECTED CLADDING		
	35mm FIXING BATTEN		
	VAPOUR PERMEABLE MEMBRANE		
	90mm STUD MPG 10 GRADE		
	BULK INSULATION		

FLOOR PLAN LEGEND

B	BASIN
BR	BROOM CLOSET
BT	BATH TUB
CT	COOKTOP
DW	DISHWASHER
DR	DRYER
F	FRIDGE
OC	OVERHEAD CABINETS
P	PANTRY
RH	RANGEHOOD
S	SINK
SH	SHOWER CABIN
ST	STORAGE
TR	LAUNDRY TROUGH
V	VANITY
WM	WASHING MACHINE



1

UNIT 2 GROUND FLOOR

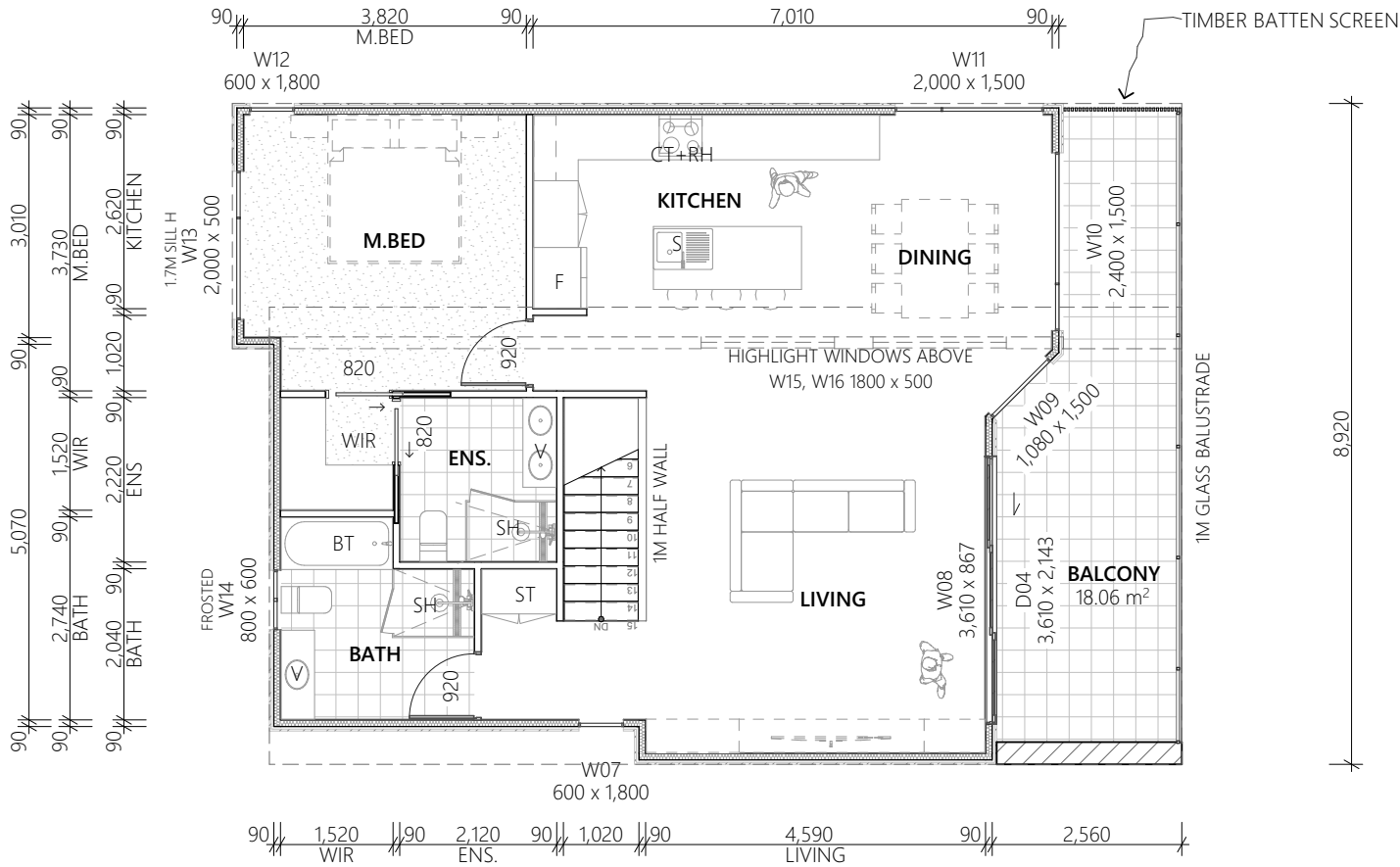
1:100

NOTE

ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm

NOTE: SOIL CLASS M



2

UNIT 2 FIRST FLOOR

1:100

UNIT 2 AREA SCHEDULE

NAME	AREA m2
GARAGE	37.16
GROUND FLOOR	42.54
FIRST FLOOR	85.11
	164.81 m²



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REV ID

DESCRIPTION

DATE

PROJECT

TOWNHOUSES

157 ROSLYN AVE BLACKMANS BAY 7052

CLIENT

REVISION

PROJECT ID

2540

DATE

30/07/2026

CHECKED BY

A.HILL

SCALE

AS SHOWN @ A3

DRAWN BY

A.PETERSON

PAGE

DA12

DRAWING

UNIT 2 FLOOR PLAN

NORTH

N



WALL BUILD UP SCHEDULE

PROPOSED WALLS

SINGLE LEAF BRICK WALL

BRICK VENEER WALL

SELECTED BRICK
40mm CAVITY
VAPOUR PERMEABLE MEMBRANE
90mm STUD MPG 10 GRADE
BULK INSULATION
10mm PLASTERBOARD PAINT FINISH

LIGHTWEIGHT CLADDING WALL

SELECTED CLADDING
35mm FIXING BATTEN
VAPOUR PERMEABLE MEMBRANE
90mm STUD MPG 10 GRADE
BULK INSULATION

INTERNAL WALL

10mm PLASTERBOARD PAINT FINISH
90mm STUD MPG 10 GRADE
10mm PLASTERBOARD PAINT FINISH

NOTE

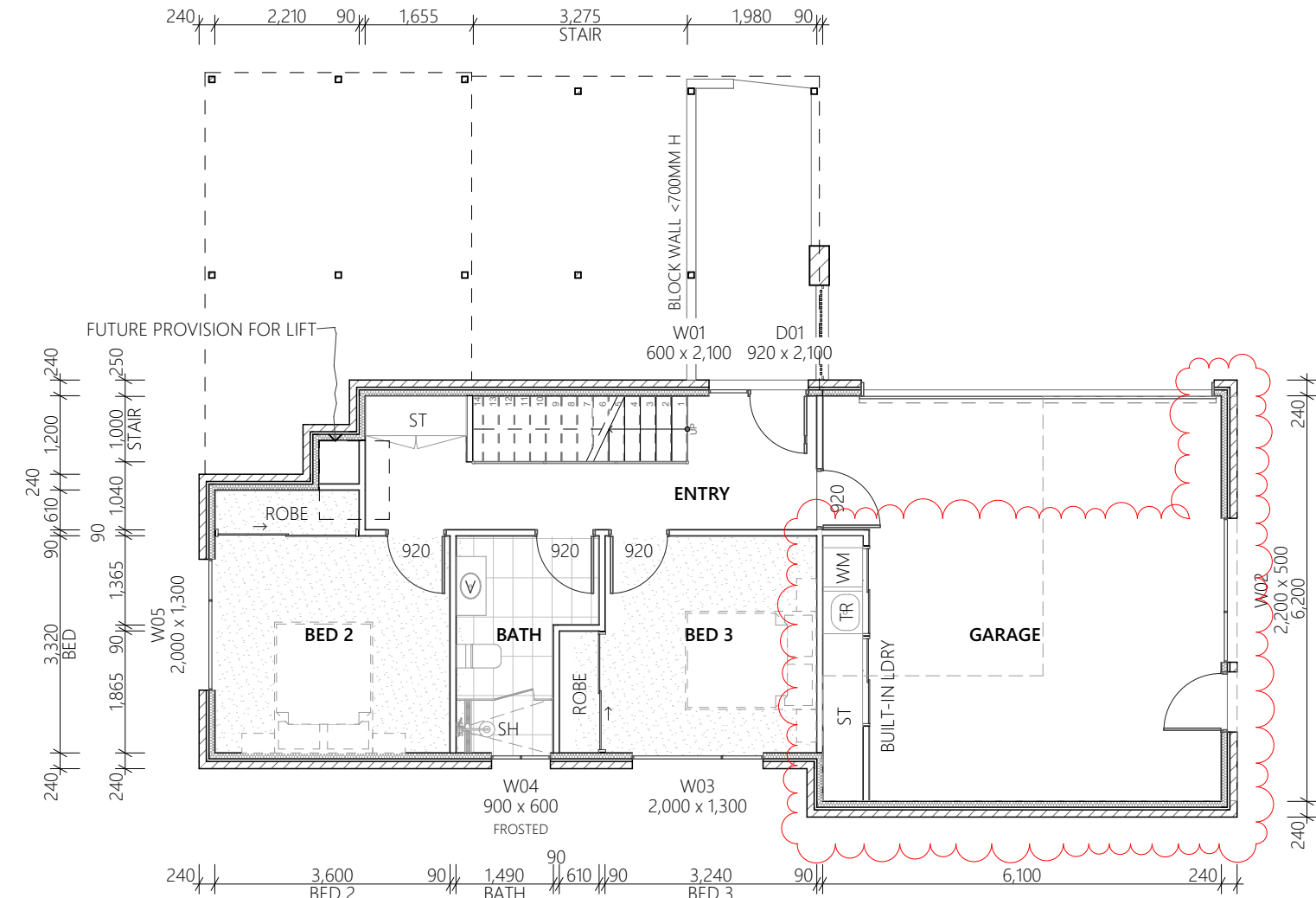
ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm

NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

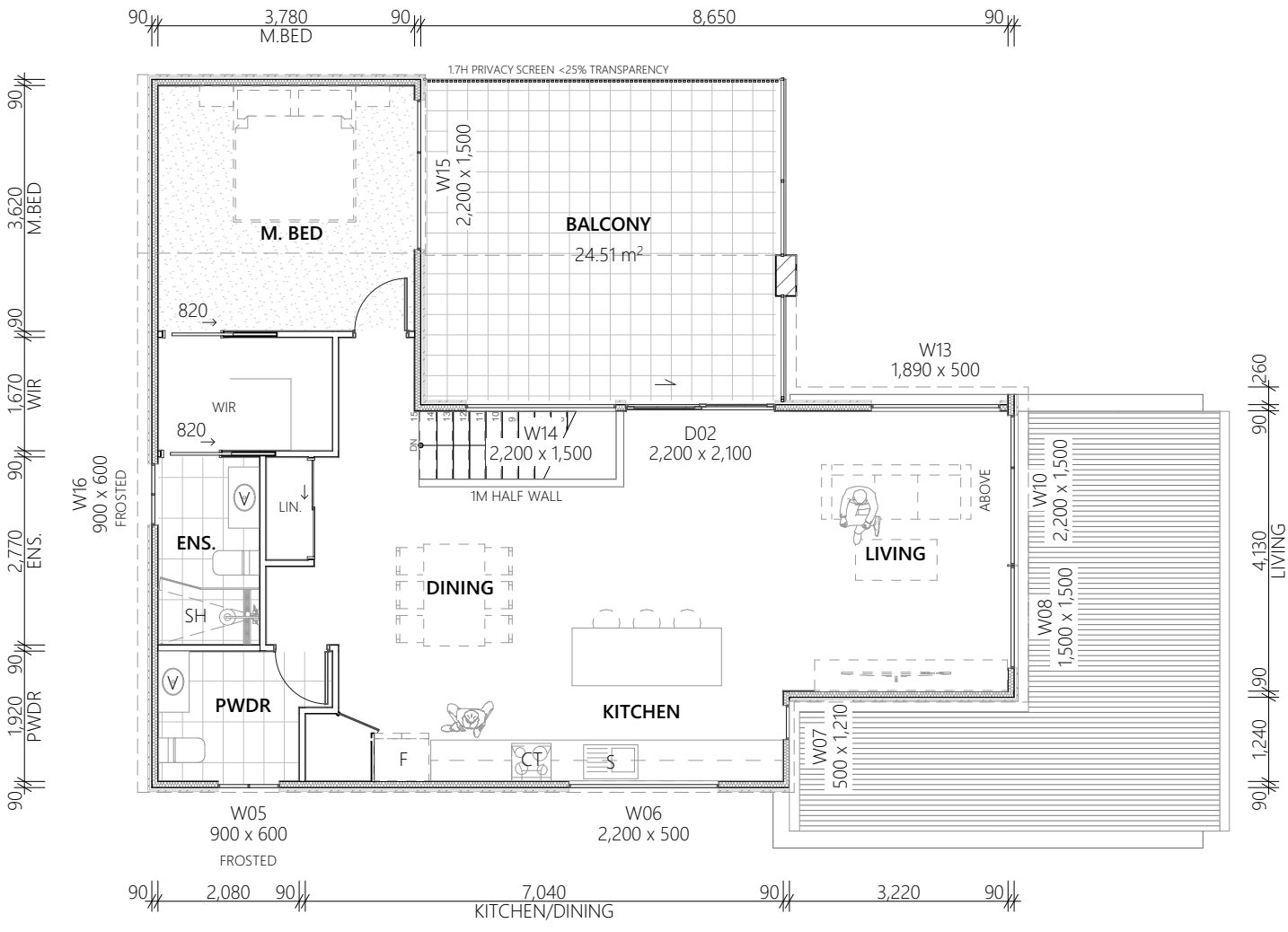
B BASIN
BR BROOM CLOSET
BT BATH TUB
CT COOKTOP
DW DISHWASHER
DR DRYER
F FRIDGE
OC OVERHEAD CABINETS
P PANTRY
RH RANGEHOOD
S SINK
SH SHOWER CABIN
ST STORAGE
TR LAUNDRY TROUGH
V VANITY
WM WASHING MACHINE



1

UNIT 3 GROUND FLOOR

1:100



2

UNIT 3 FIRST FLOOR

1:100

UNIT 3 AREA SCHEDULE

AREA m2

FIRST FLOOR 83.59

GARAGE 40.07

GROUND FLOOR 49.68

173.34 m2



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E	PLN/TASWATER - RFI	30/07/2026

PROJECT
TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052

CLIENT

REVISION

E

DATE

30/07/2026

SCALE

AS SHOWN @ A3

PROJECT ID

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DRAWN BY

A.PETERSON

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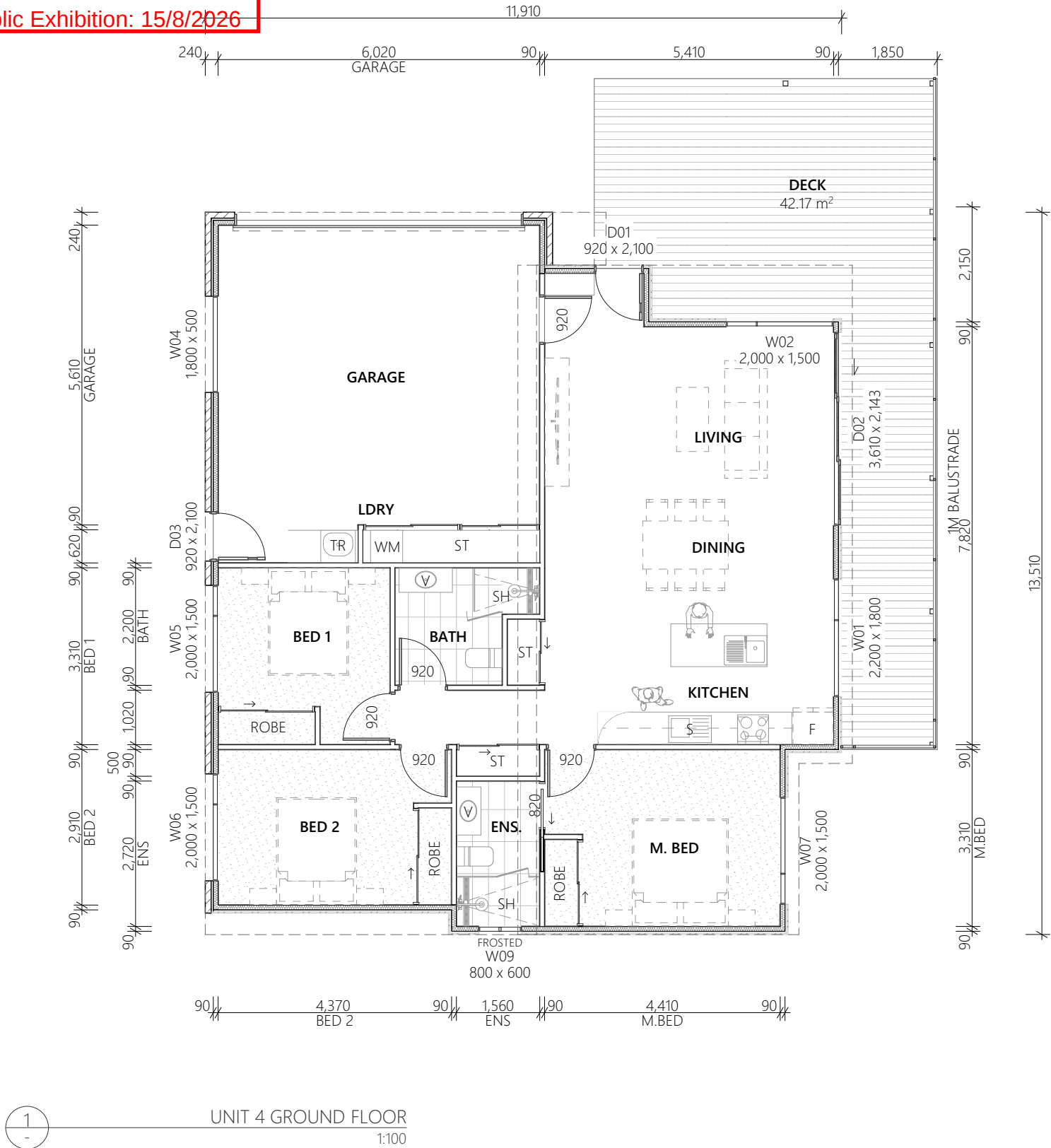
DA13

DRAWING

UNIT 3 FLOOR PLAN

NORTH





WALL BUILD UP SCHEDULE

PROPOSED WALLS

- SINGLE LEAF BRICK WALL**
- BRICK VENEER WALL**
SELECTED BRICK
40mm CAVITY
VAPOUR PERMEABLE MEMBRANE
90mm STUD MPG 10 GRADE
BULK INSULATION
10mm PLASTERBOARD *PAINT FINISH*
- LIGHTWEIGHT CLADDING WALL**
SELECTED CLADDING
35mm FIXING BATTEN
VAPOUR PERMEABLE MEMBRANE
90mm STUD MPG 10 GRADE
BULK INSULATION
10mm PLASTERBOARD *PAINT FINISH*
- INTERNAL WALL**
10mm PLASTERBOARD *PAINT FINISH*
90mm STUD MPG 10 GRADE
10mm PLASTERBOARD *PAINT FINISH*

NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME

AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS M

FLOOR PLAN LEGEND

- B**

BASIN
- BR**

BROOM CLOSET
- BT**

BATH TUB
- CT**

COOKTOP
- DW**

DISHWASHER
- DR**

DRYER
- F**

FRIDGE
- OC**

OVERHEAD CABINETS
- P**

PANTRY
- RH**

RANGEHOOD
- S**

SINK
- SH**

SHOWER CABIN
- ST**

STORAGE
- TR**

LAUNDRY TROUGH
- V**

VANITY
- WM**

WASHING MACHINE

UNIT 4 AREA SCHEDULE	
NAME	AREA m2
GARAGE	39.28
GROUND FLOOR	102.80
	142.08 m²

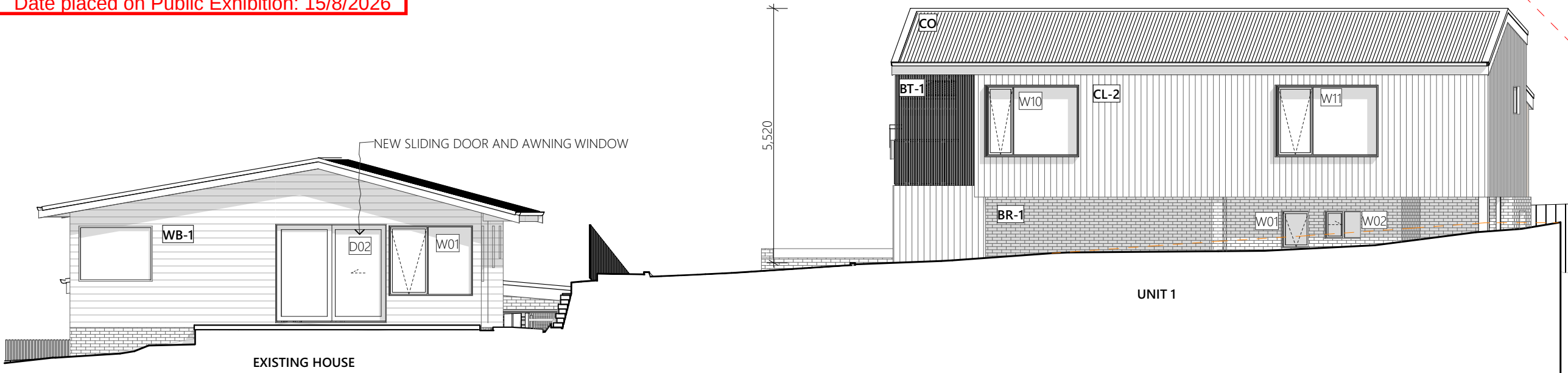
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Development Application: DA-2026-70

Plan Reference No: P6

Date Received: 3/8/2026

Date placed on Public Exhibition: 15/8/2026



E01 NORTH ELEVATION

MATERIAL & FINISHES

ROOF

CO CUSTOM ORB ROOF SHEET
COLOUR: SURFMIST TBC

D1

DOWNPIPES
COLOUR: TO MATCH WALL

WALL

BR-1 BRICK VENEER WALL
COLOUR: IB PEARL WHITE ECO TBC

CL-1

HARDIE FC PANEL
COLOUR: SURFMIST TBC

CL-2

TRIMDEK STEEL SHEET
COLOUR: MONUMENT TBC

CL-3

HARDWOOD PANEL
FINISH: NATURAL TBC

COLUMN

C1

SHS COLUMN EPOXY FINISH
COLOUR: SURFMIST TBC

C2

MASONRY COLUMN RENDER FINISH
COLOUR: SURFMIST TBC

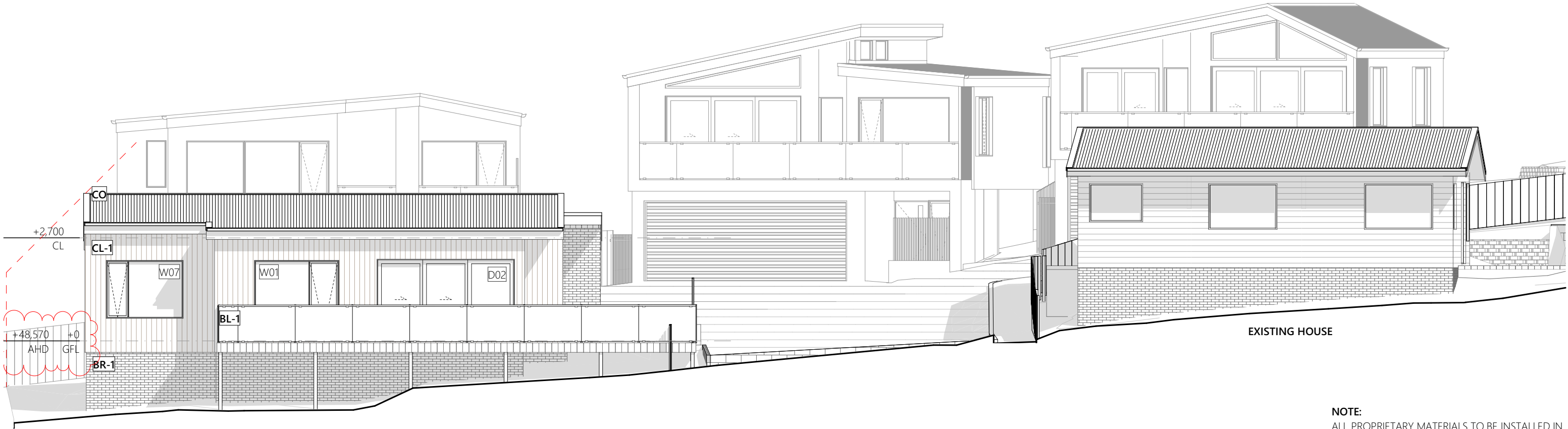
MISC

BL-1

STEEL FRAMED GLASS BALUSTRADE
GLASS: GRADE A TOUGHENED TBC

BT-1

TIMBER-LOOK BATTEN SCREEN
DECOBATTEN BIRCH 40MM TBC



E02 EAST ELEVATION
1:100

NOTE:

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						2540				
						A.HILL				
						A.PETERSON				

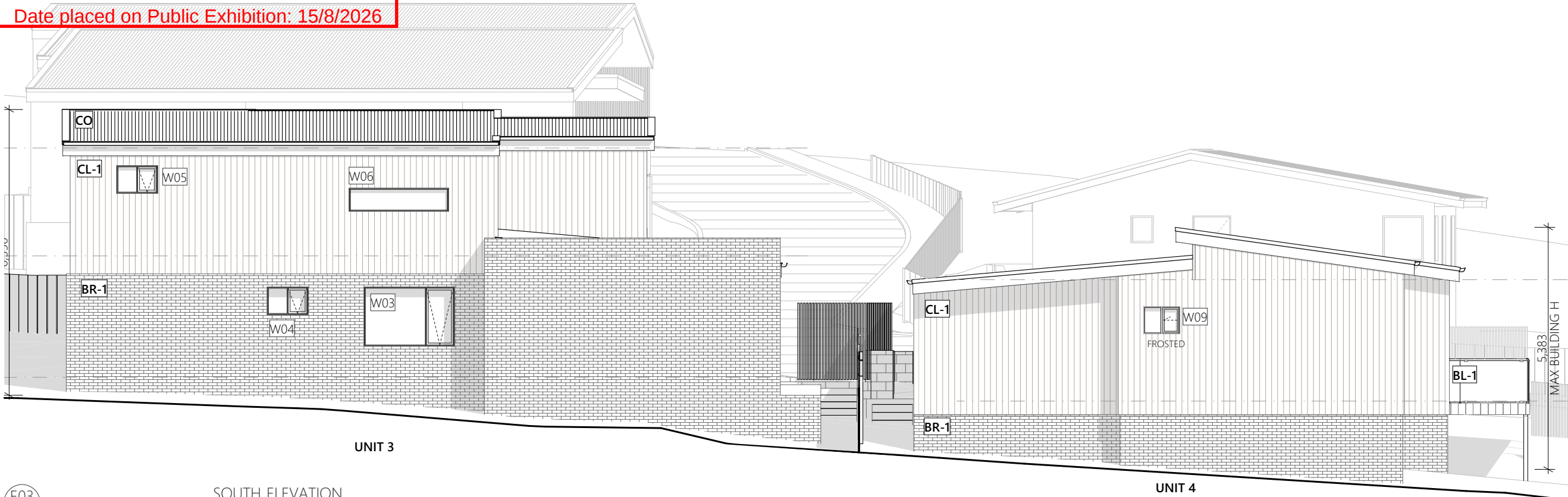
Kingborough Council

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Plan Reference No: P6

Date Received: 3/8/2026

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E03 SOUTH ELEVATION 1:100

MATERIAL & FINISHES

ROOF

CO CUSTOM ORB ROOF SHEET
COLOUR: SURFMIST TBC

D1

DOWNPipes
COLOUR: TO MATCH WALL

WALL

BR-1 BRICK VENEER WALL
COLOUR: IB PEARL WHITE ECO TBC

CL-1

HARDIE FC PANEL
COLOUR: SURFMIST TBC

CL-2

TRIMDEK STEEL SHEET
COLOUR: MONUMENT TBC

CL-3

HARDWOOD PANEL
FINISH: NATURAL TBC

COLUMN

C1 SHS COLUMN EPOXY FINISH
COLOUR: SURFMIST TBC

C2

MASONRY COLUMN RENDER FINISH
COLOUR: SURFMIST TBC

MISC

BL-1

STEEL FRAMED GLASS BALUSTRADE
GLASS: GRADE A TOUGHENED TBC

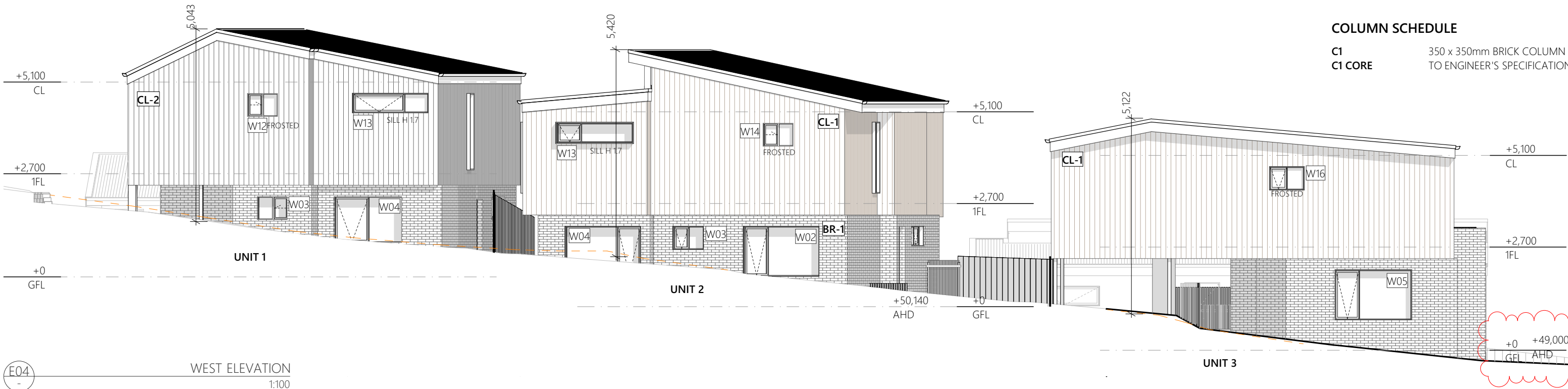
BT-1

TIMBER-LOOK BATTEN SCREEN
DECOBATTEN BIRCH 40MM TBC

NOTE:
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COLUMN SCHEDULE

C1 350 x 350mm BRICK COLUMN
C1 CORE TO ENGINEER'S SPECIFICATION



E04 WEST ELEVATION 1:100

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E	PLN/TASWATER - RFI	30/07/2026

PROJECT	
TOWNHOUSES 157 ROSLYN AVE BLACKMANS BAY 7052	
CLIENT	

REVISION	DATE	SCALE
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2540	A.HILL	A.PETERSON

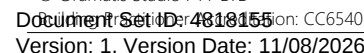
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DA16	
DRAWING	
SITE ELEVATION S/W	

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BT-1 TIMBER-LOOK BATTEN SCREEN
DECOBATTEN BIRCH 40MM TBC

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2540	A.HILL	A.PETERSON

PAGE	NORTH
DA17	
DRAWING	
ELEVATION	

MATERIAL & FINISHES

ROOF

CO CUSTOM ORB ROOF SHEET
COLOUR: *SURFMIST TBC*

D1 DOWNPIPES
COLOUR: *TO MATCH WALL*

WALL

BR-1 BRICK VENEER WALL
COLOUR: *IB PEARL WHITE ECO TBC*

CL-1 HARDIE FC PANEL
COLOUR: *SURFMIST TBC*

CL-2 TRIMDEK STEEL SHEET
COLOUR: *MONUMENT TBC*

CL-3 HARDWOOD PANEL
FINISH: *NATURAL TBC*

COLUMN

C1 SHS COLUMN EPOXY FINISH
COLOUR: *SURFMIST TBC*

C2 MASONRY COLUMN RENDER FINISH
COLOUR: *SURFMIST TBC*

MISC

BL-1 STEEL FRAMED GLASS BALUSTRADE
GLASS: *GRADE A TOUGHENED TBC*

BT-1 TIMBER-LOOK BATTEN SCREEN
DECOBATTEN BIRCH 40MM TBC

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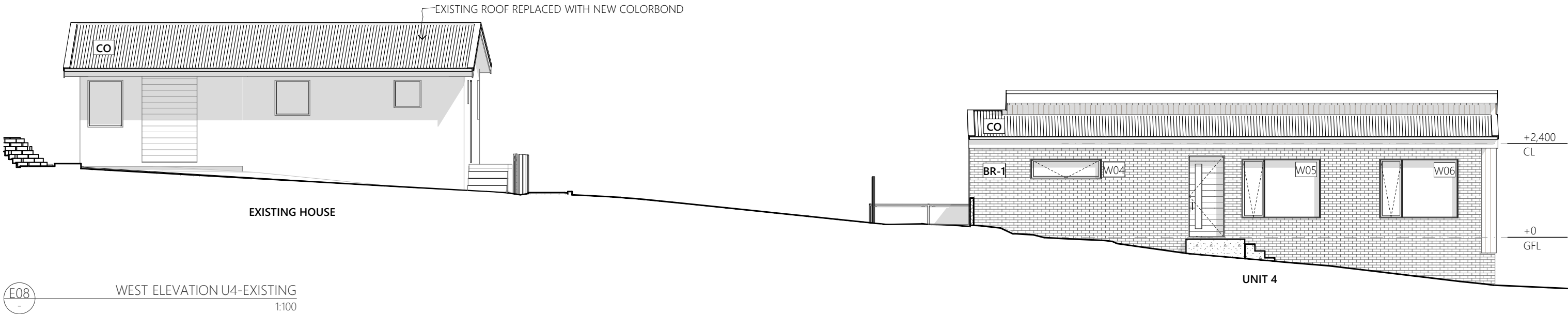
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Plan Reference No: P6

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PROJECT
TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052

CLIENT

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DRAWN BY
A.PETERSON

PAGE
DA18
DRAWING
ELEVATION
NORTH

MATERIAL & FINISHES

ROOF

CO CUSTOM ORB ROOF SHEET
COLOUR: *SURFMIST TBC*

D1

DOWNPipes
COLOUR: *TO MATCH WALL*

WALL

BR-1 BRICK VENEER WALL
COLOUR: *IB PEARL WHITE ECO TBC*

CL-1

HARDIE FC PANEL
COLOUR: *SURFMIST TBC*

CL-2

TRIMDEK STEEL SHEET
COLOUR: *MONUMENT TBC*

CL-3

HARDWOOD PANEL
FINISH: *NATURAL TBC*

COLUMN

C1

SHS COLUMN EPOXY FINISH
COLOUR: *SURFMIST TBC*

C2

MASONRY COLUMN RENDER FINISH
COLOUR: *SURFMIST TBC*

MISC

BL-1

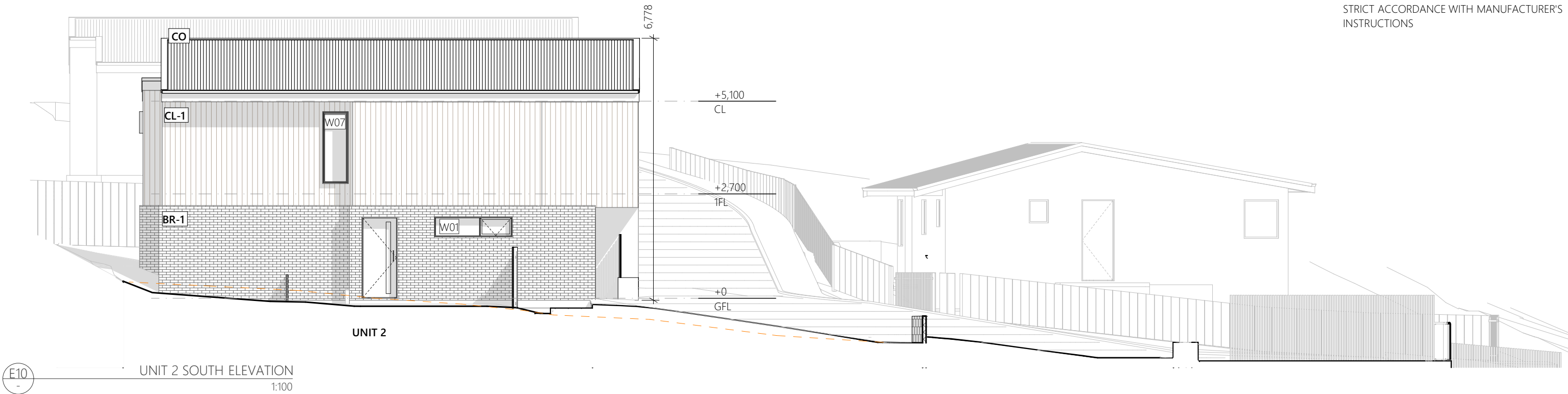
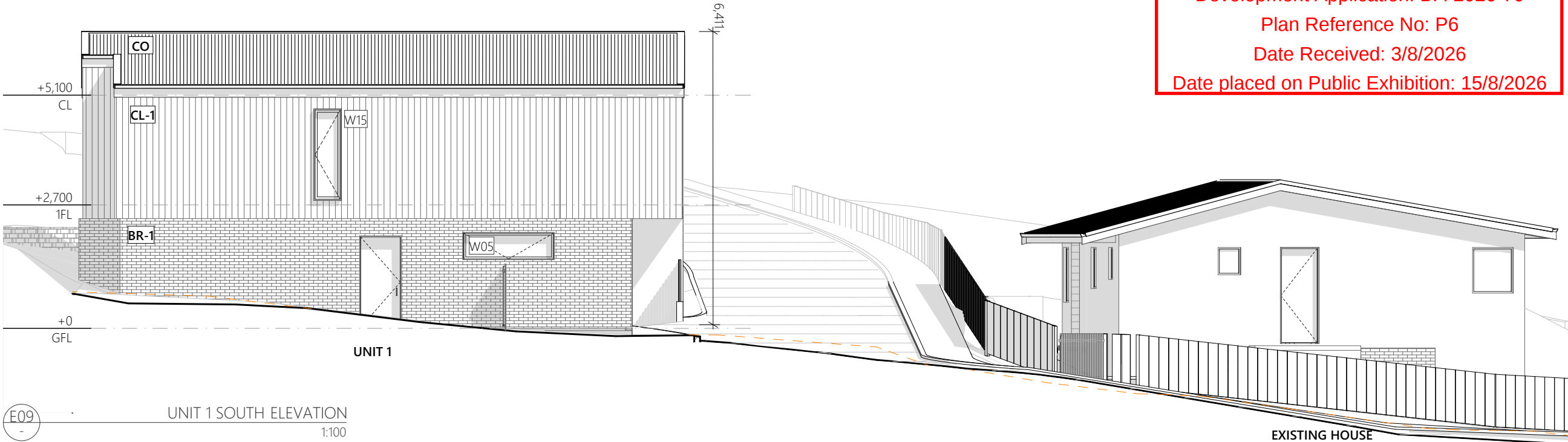
STEEL FRAMED GLASS BALUSTRADE
GLASS: *GRADE A TOUGHENED TBC*

BT-1

TIMBER-LOOK BATTEN SCREEN
DECOBATTEN BIRCH 40MM TBC

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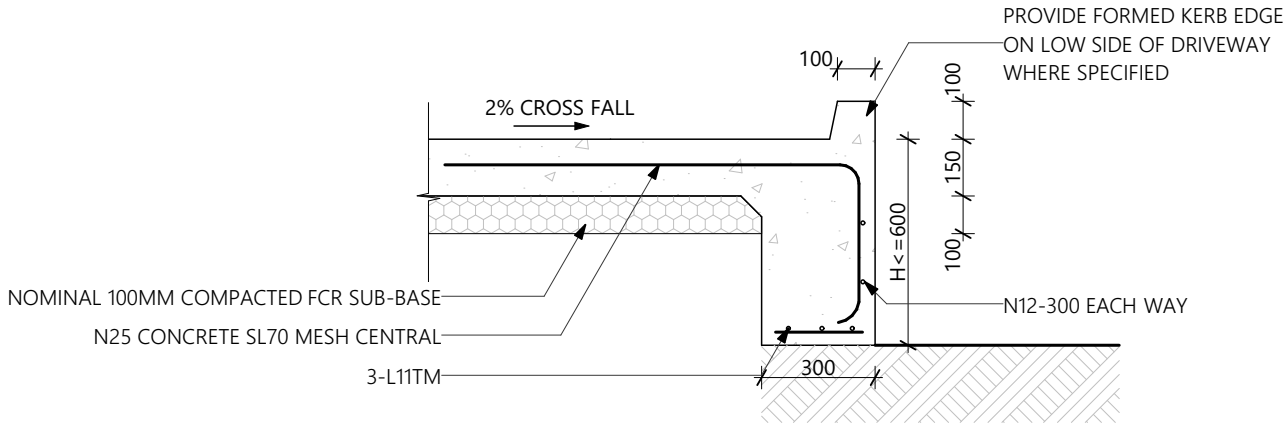
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TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052

CLIENT

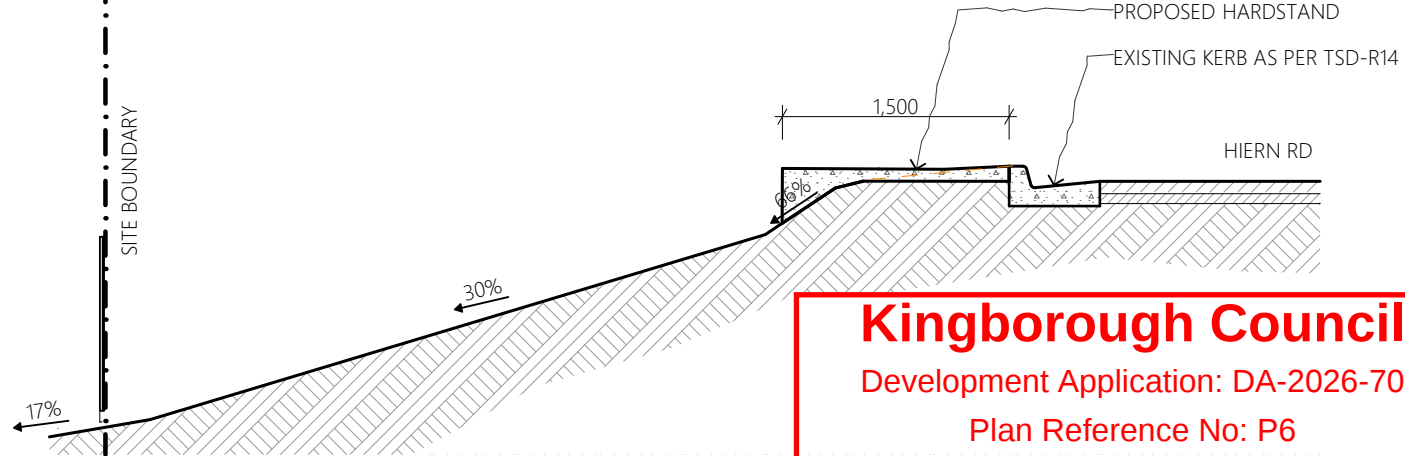
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DA19	
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ELEVATION	

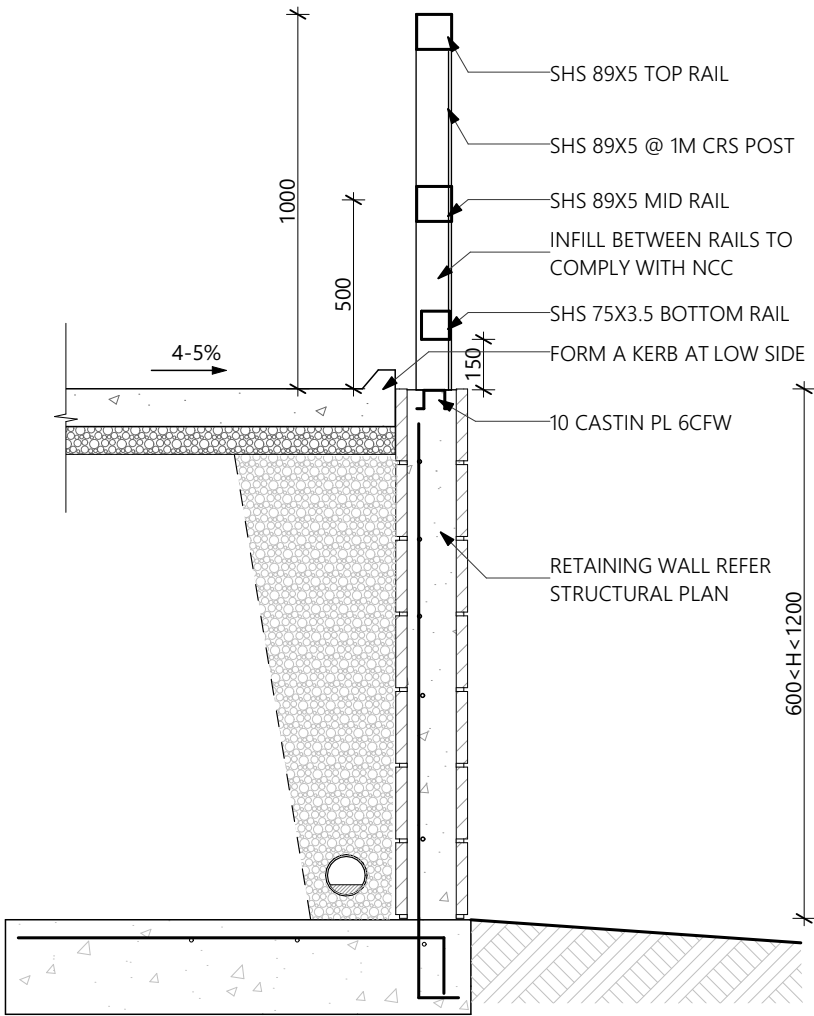


1 TYPICAL DRIVEWAY SECTION 1:20

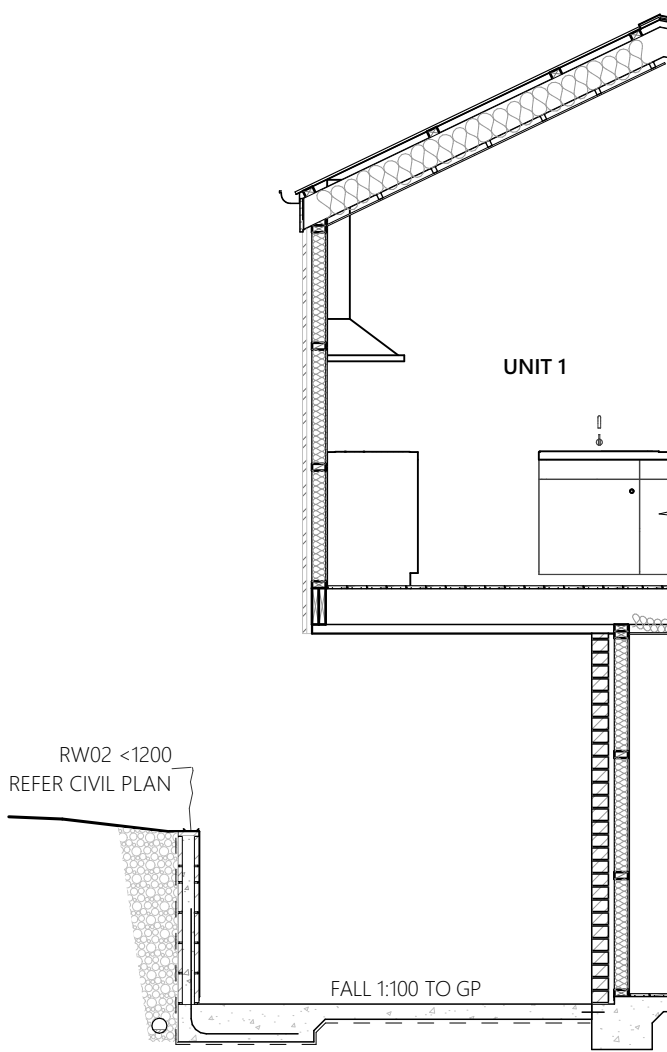


CS01 WASTE HARDSTAND SECTION 1:50

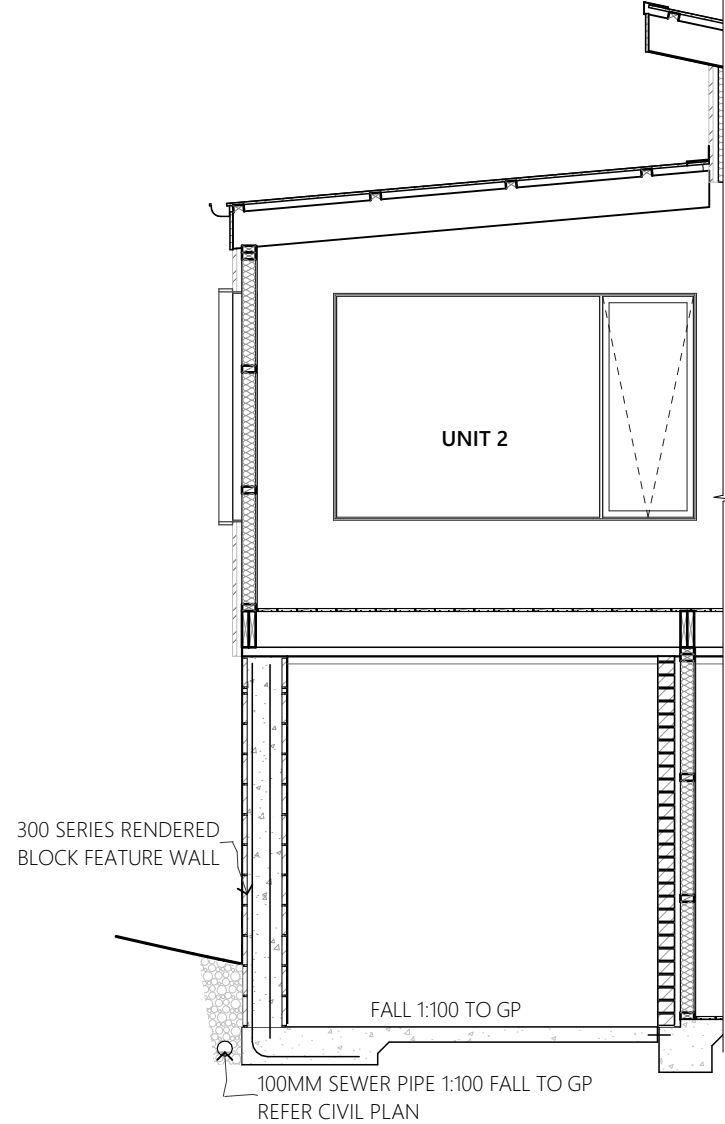
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2 CAR BARRIER DETAIL 1:20



S02 SECTION S02 1:50

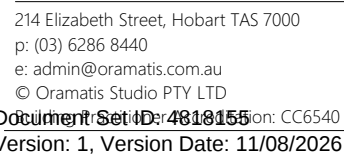


S03 SECTION S03 1:50

Date placed on Public Exhibition: 15/8/2026



1. SEWER MAIN LOCATION AND LEVELS LOCATED BY UDM REFER SURVEY (DA03)
2. MINIMUM 1000MM HORIZONTAL OFFSET FROM FOOTING TO SEWER MAIN



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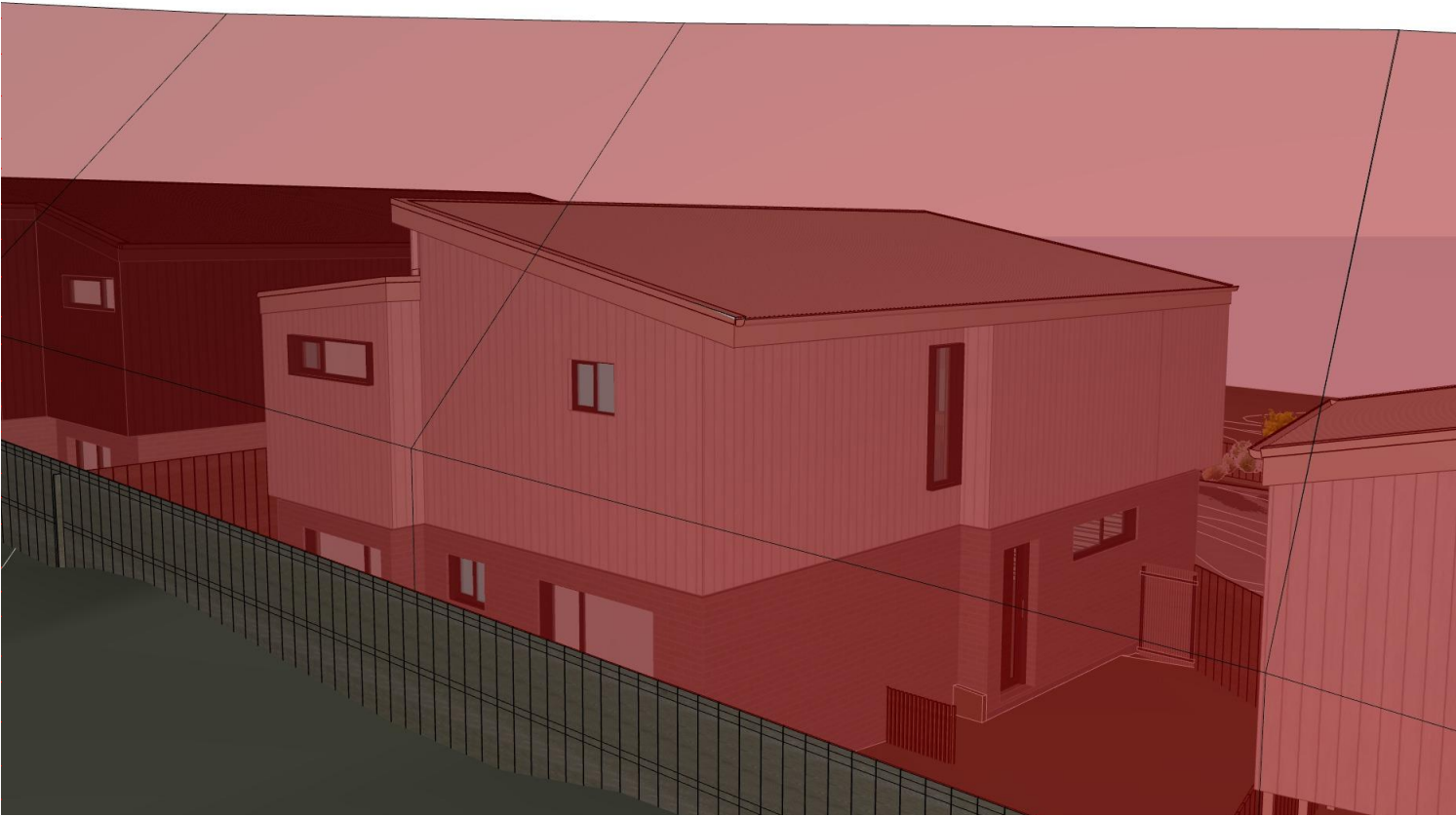
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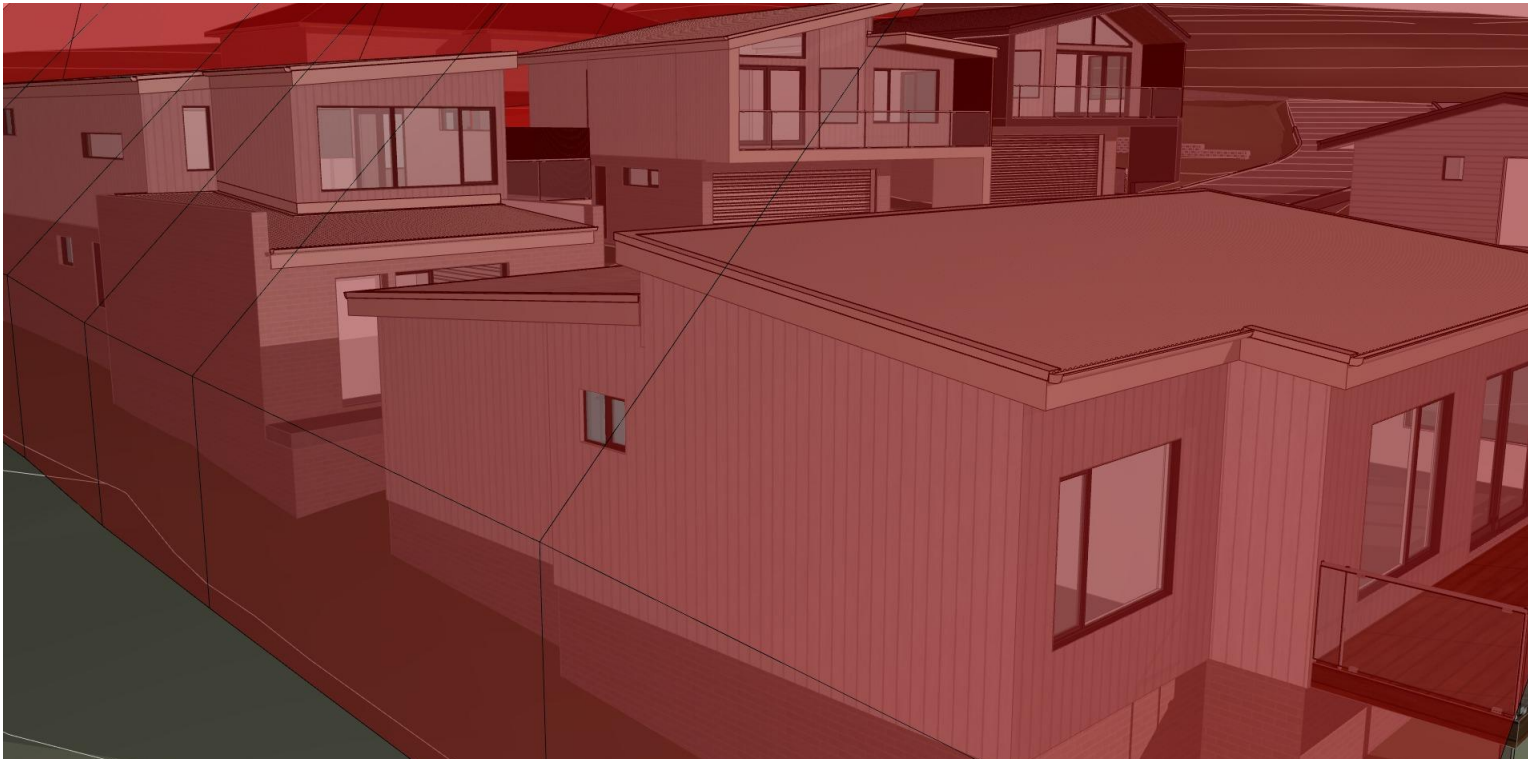
DRAWING

SECTIONS - DRAINAGE



1
-

UNIT 2 BUILDING ENVELOPE



2
-

UNIT 4 BUILDING ENVELOPE

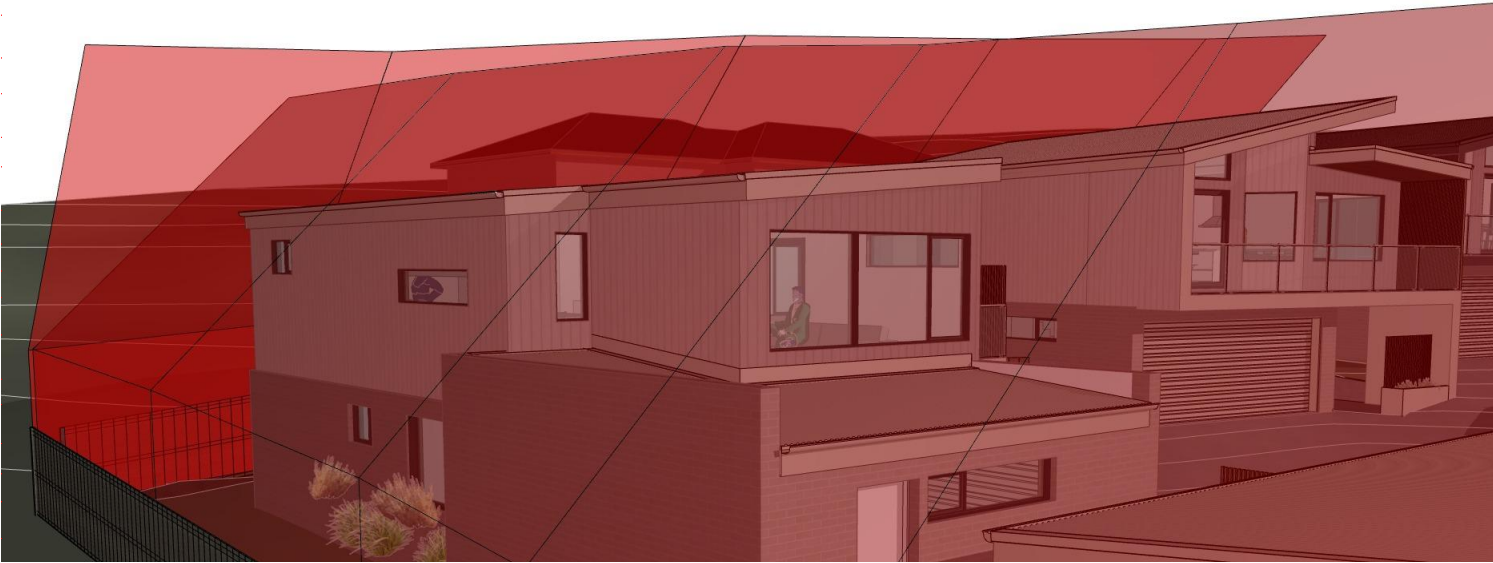
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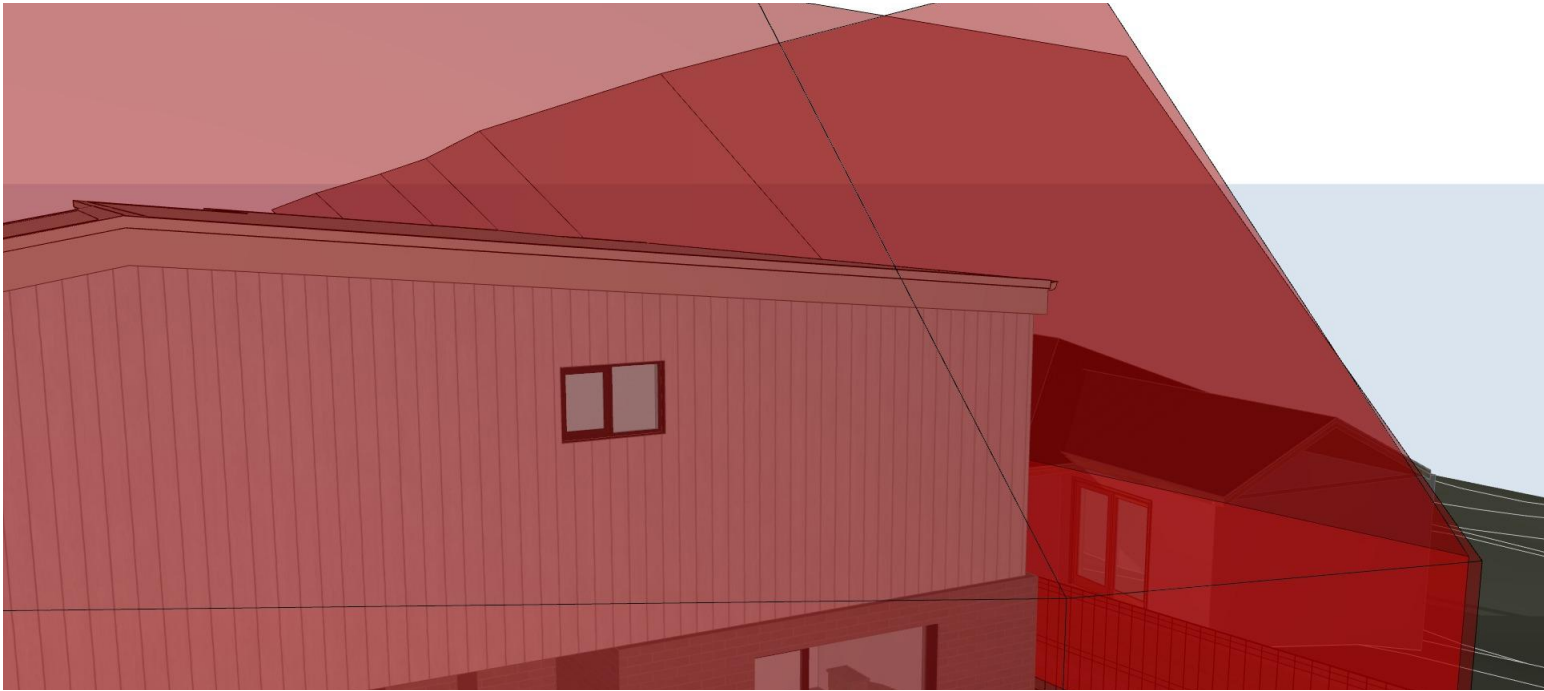
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3
-

UNIT 3 BUILDING ENVELOPE



4
-

UNIT 3 BUILDING ENVELOPE 2



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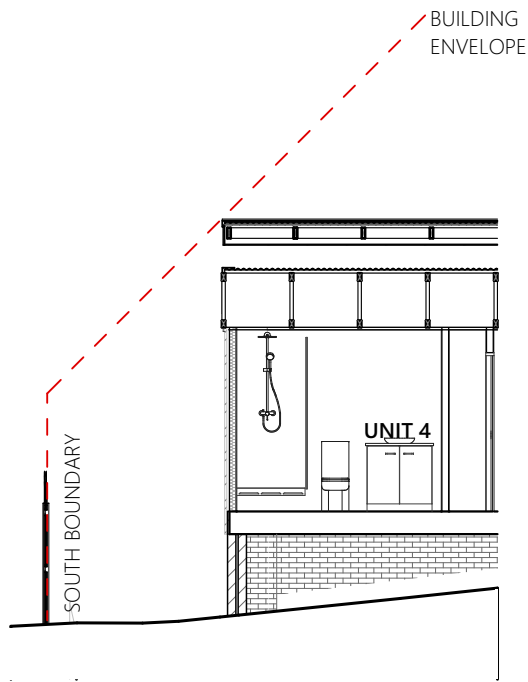
GENERAL NOTES		
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E	PLN/TASWATER - RFI	30/07/2026

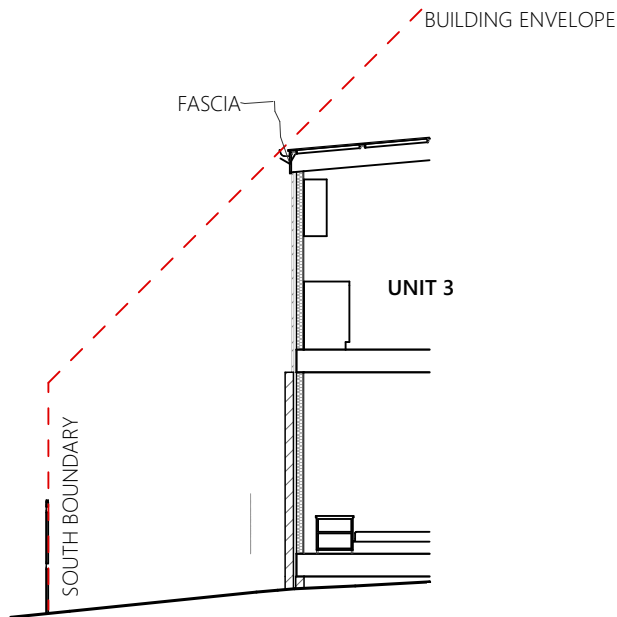
PROJECT	TOWNHOUSES 157 ROSLYN AVE BLACKMANS BAY 7052
CLIENT	

REVISION	DATE	SCALE
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PROJECT ID	CHECKED BY	DRAWN BY
2540	A.HILL	A.PETERSON

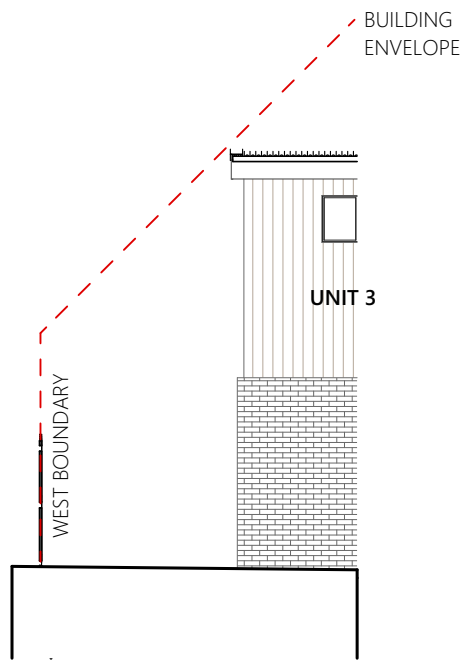
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DA22	
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BUILDING ENVELOPE	



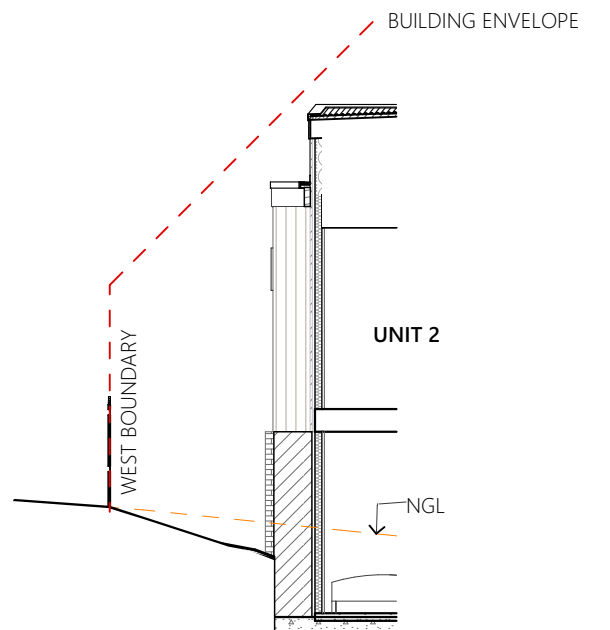
S05
UNIT 4 BUILDING ENVELOPE
1:100



S06
UNIT 3 BUILDING ENVELOPE
1:100



S07
UNIT 3 BUILDING ENVELOPE
1:100



S08
UNIT 2 BUILDING ENVELOPE
1:100

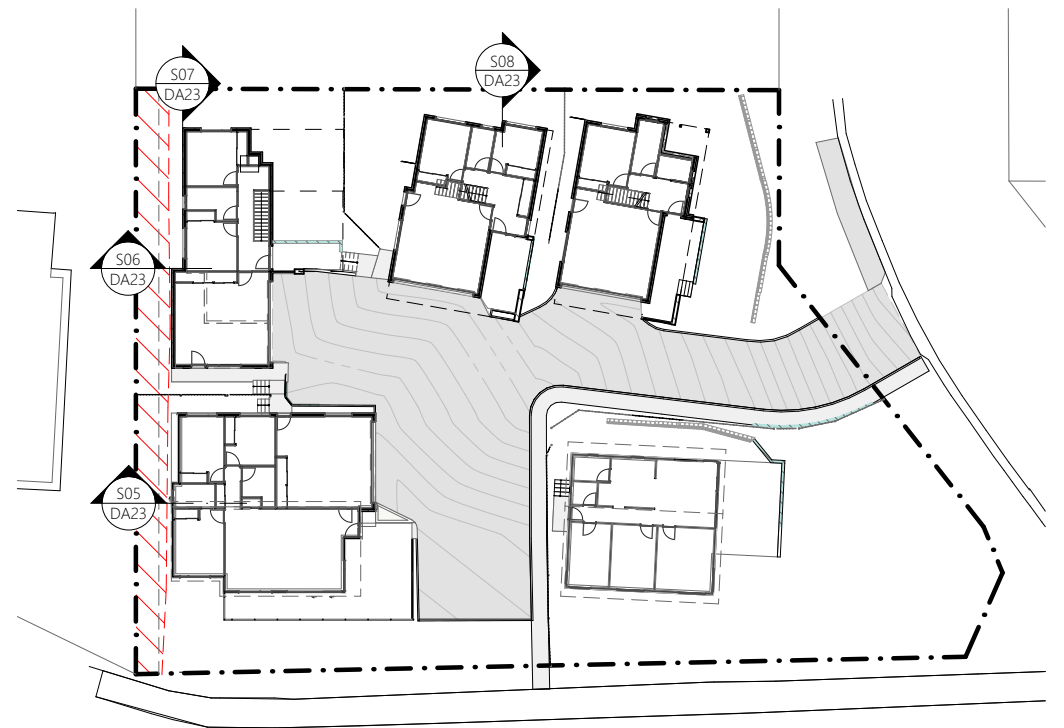
Kingborough Council

Development Application: DA-2026-70

Plan Reference No: P6

Date Received: 3/8/2026

Date placed on Public Exhibition: 15/8/2026



BUILDING ENVELOPE MARKERS
1:500



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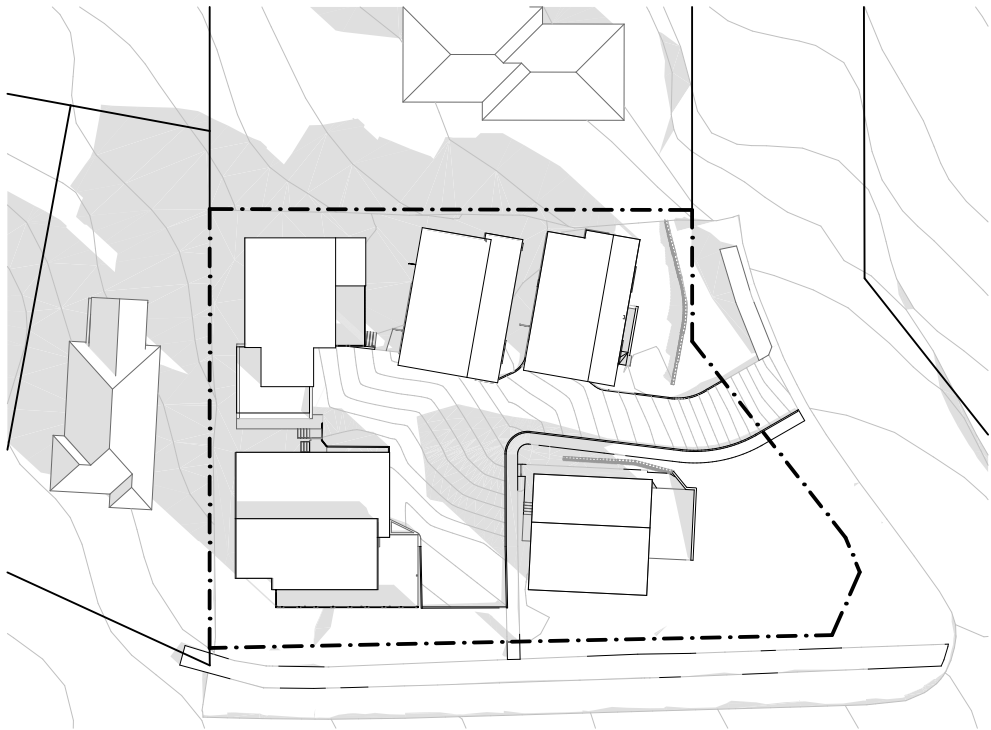
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D	PLN RF13	17/06/2026
E	PLN/TASWATER - RFI	30/07/2026

PROJECT
TOWNHOUSES
157 ROSLYN AVE BLACKMANS BAY 7052

CLIENT

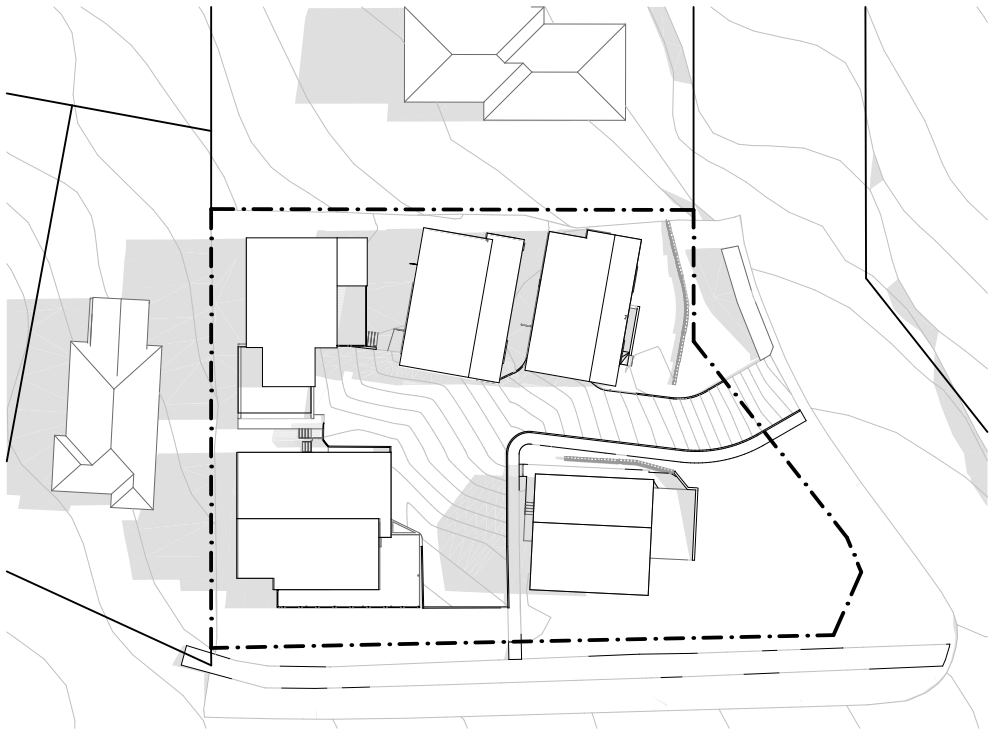
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PROJECT ID	CHECKED BY	DRAWN BY
2540	A.HILL	A.PETERSON

PAGE	NORTH
DA23	
DRAWING	
BUILDING ENVELOPE SECTIONS	



1
-

SHADOW STUDY 21 JUNE AT 0900H



2
-

SHADOW STUDY 21 JUNE AT 1200H



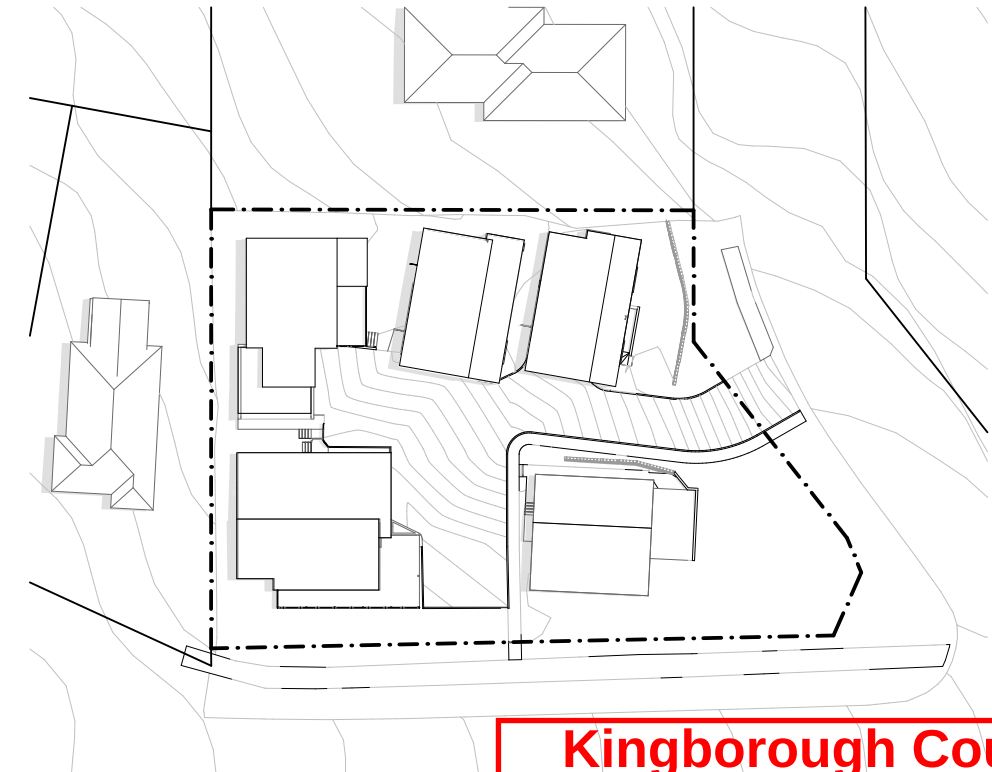
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SHADOW STUDY 21 JUNE AT 1500H



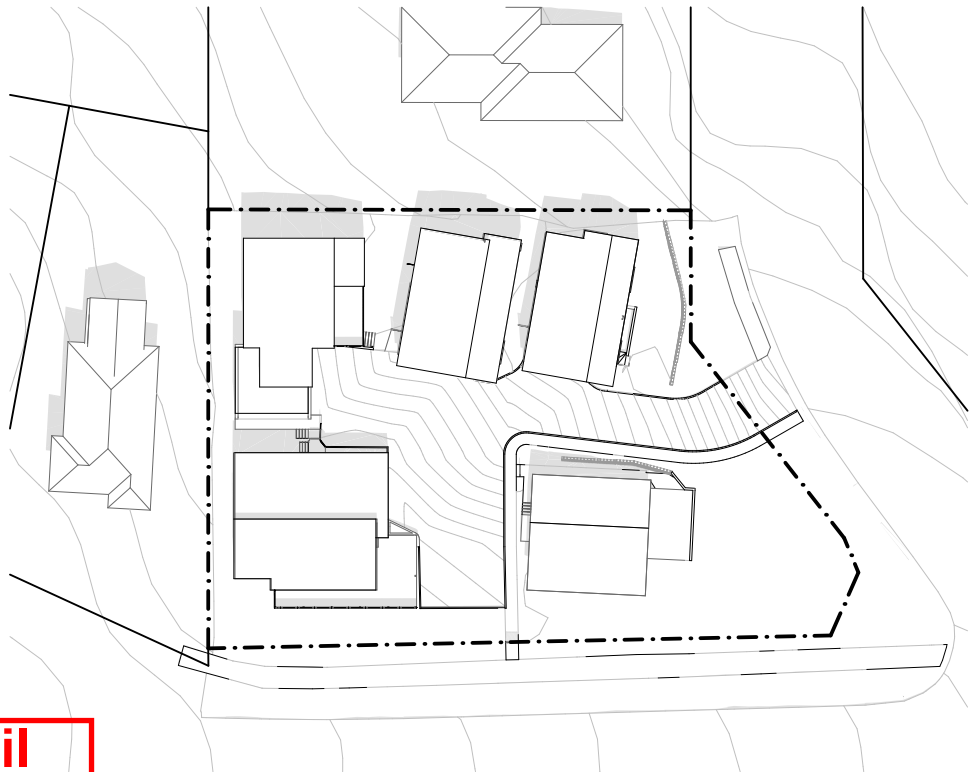
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SHADOW STUDY 21 DEC AT 1500h



5
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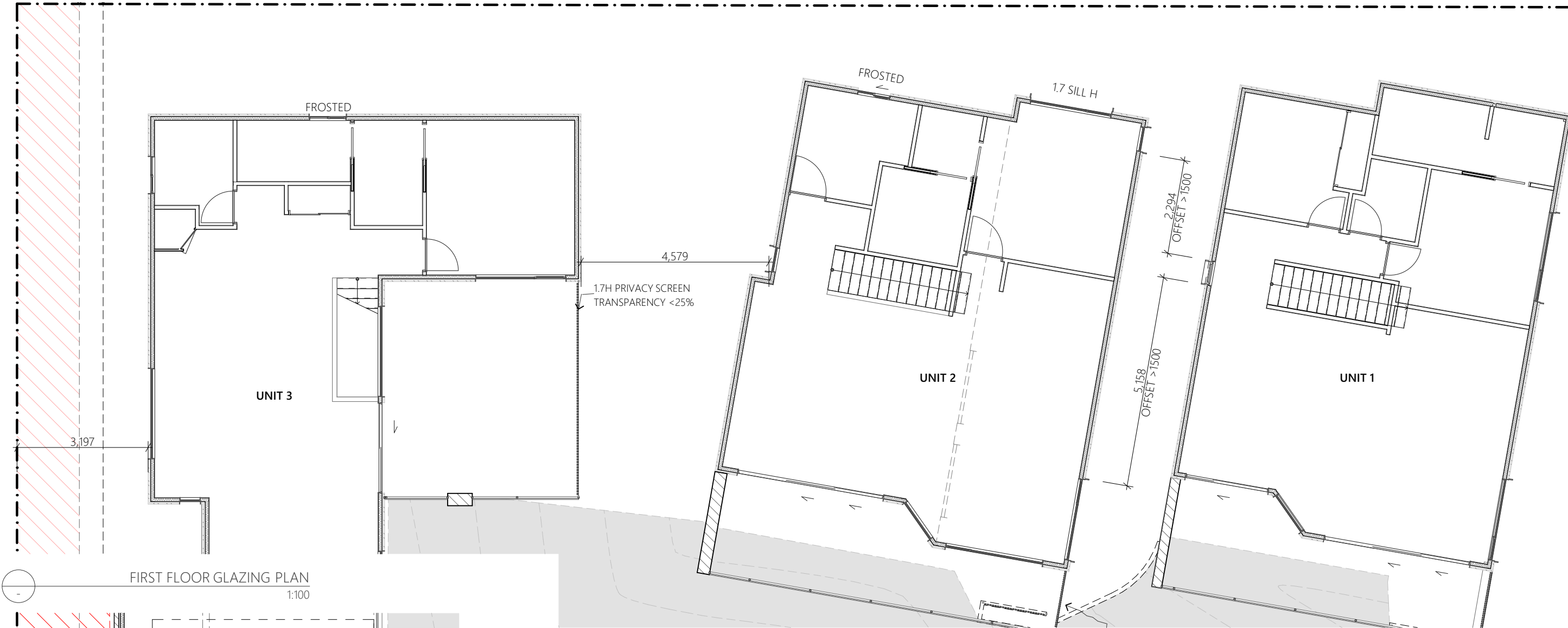
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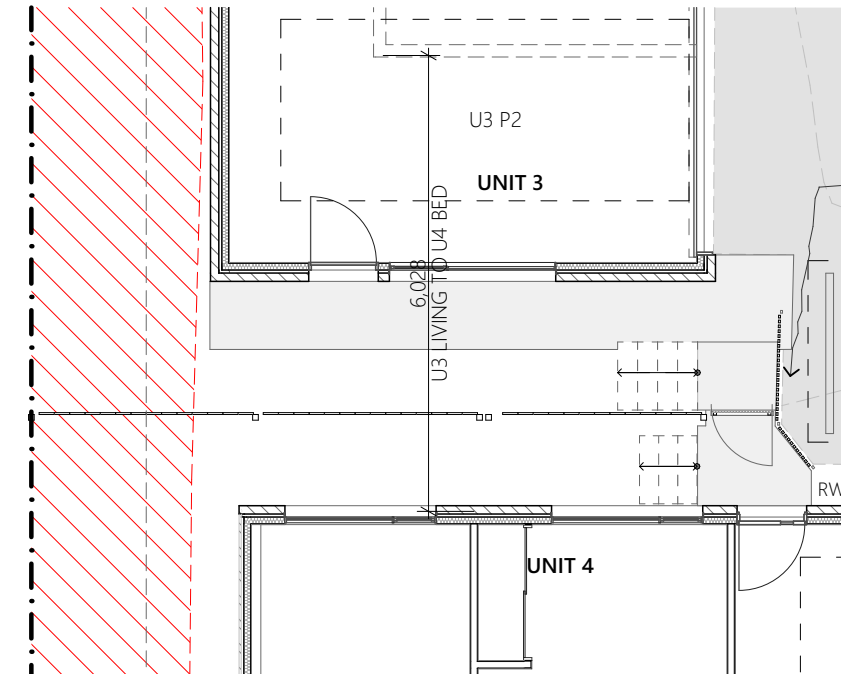
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SHADOW STUDY 21 DEC AT 0900h

Kingborough Council
Development Application: DA-2026-70
Plan Reference No: P6
Date Received: 3/8/2026
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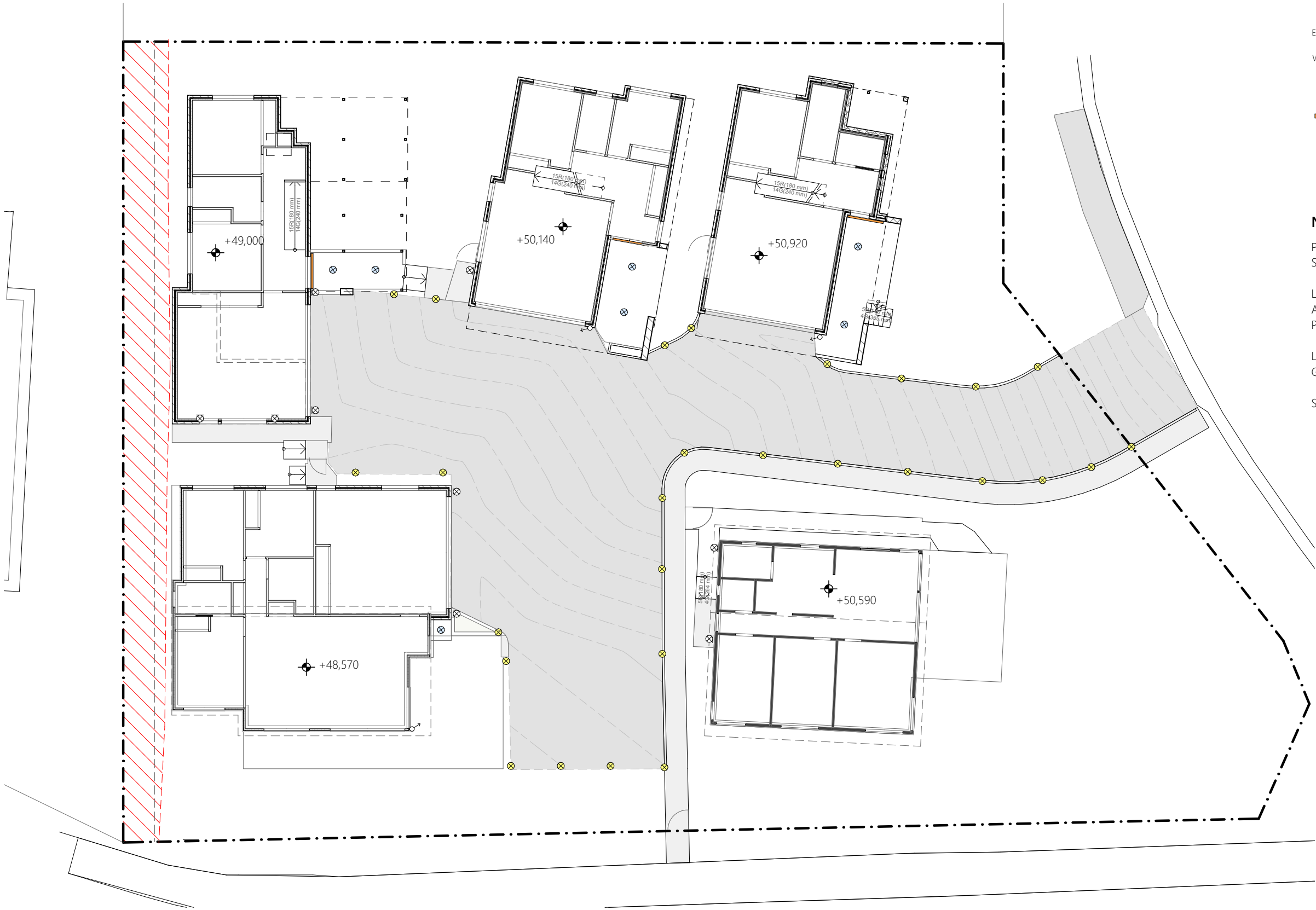


FIRST FLOOR GLAZING PLAN
1:100



GROUND LEVEL GLAZING PLAN
1:100

Kingborough Council
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LIGHTING LEGEND

BL	SOLAR LED BOLLARD LIGHT	20W - 60LM
BL	240V LED BOLLARD LIGHT	18W - 100LM
EDL	EXTERNAL LED DOWNLIGHT	15W
WL	WALL LIGHT	
SL	SPOT LIGHT	
	RECESSED LED STRIP LIGHT	

NOTES

- PROVIDE LED LIGHTING TO ALL SHARED VEHICLE ACCESSWAYS PARKING SPACES AND PEDESTRIAN PATHS
- LIGHTING SHALL PROVIDE A MINIMUM MAINTAINED ILLUMINANCE OF APPROXIMATELY 5 LUX TO PARKING AND DRIVEWAY AREAS AND 10 LUX TO PEDESTRIAN CIRCULATION AREAS.
- LUMINAIRES SHALL BE SHIELDED AND DIRECTED DOWNWARD TO MINIMISE GLARE AND LIGHT SPILL TO ADJOINING PROPERTIES.
- SUPPLY & INSTALL WORKING GLOBES TO ALL LIGHT FITTINGS.

Kingborough Council

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LIGHTING PLAN
1:200



SW VIEW FROM HIERN ST



NW VIEW FROM ROSLYN AVE



UNIT 3



UNIT 2