

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-285
Proposal: Alteration and extension to dwelling
Subject Site: Unit 2/62 Ocean Esplanade, Blackmans Bay
Responsible Planning Officer: Rika Terblanche

Advertised Documents:

- Application Plans

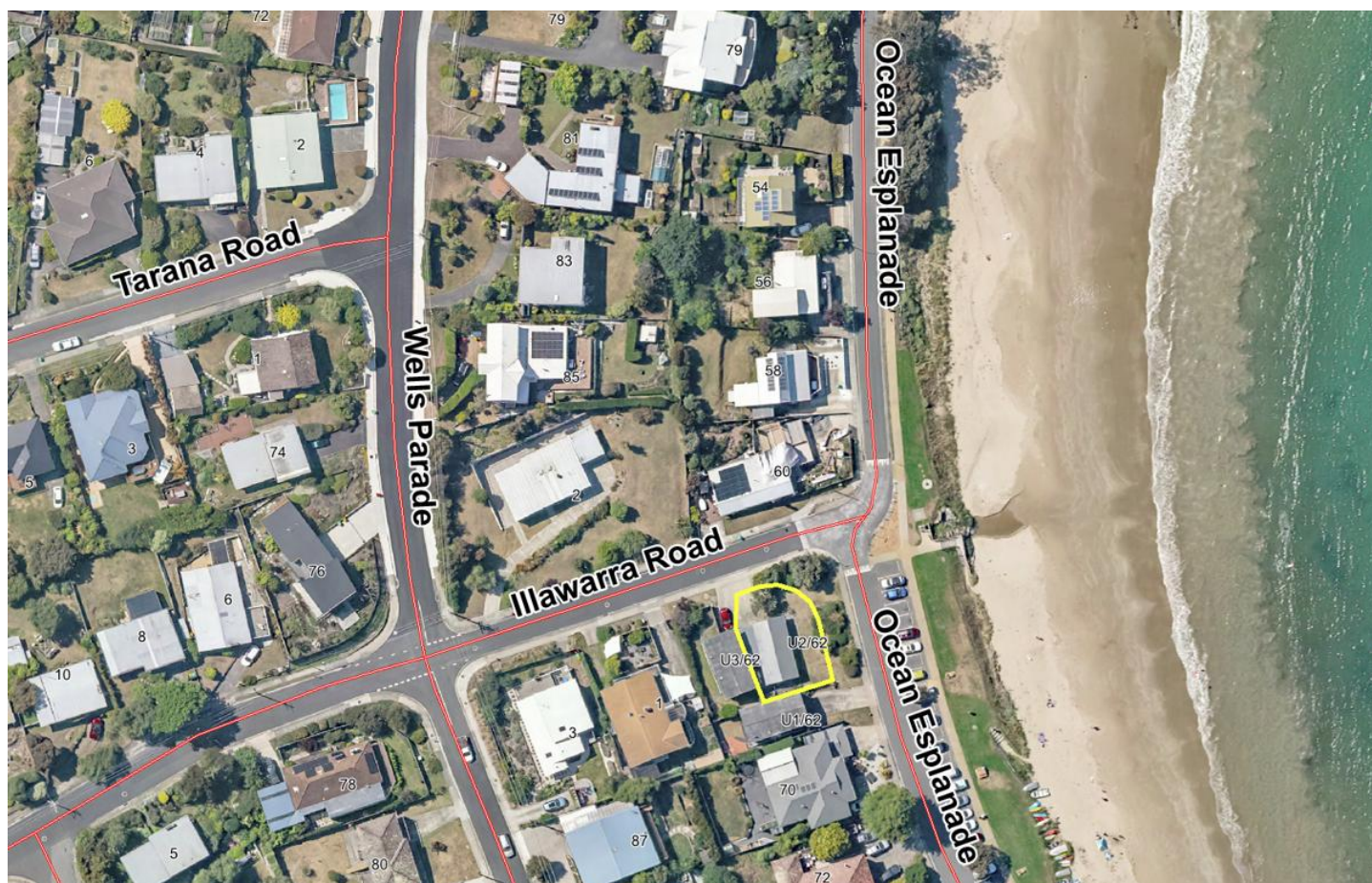
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **4 September 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.

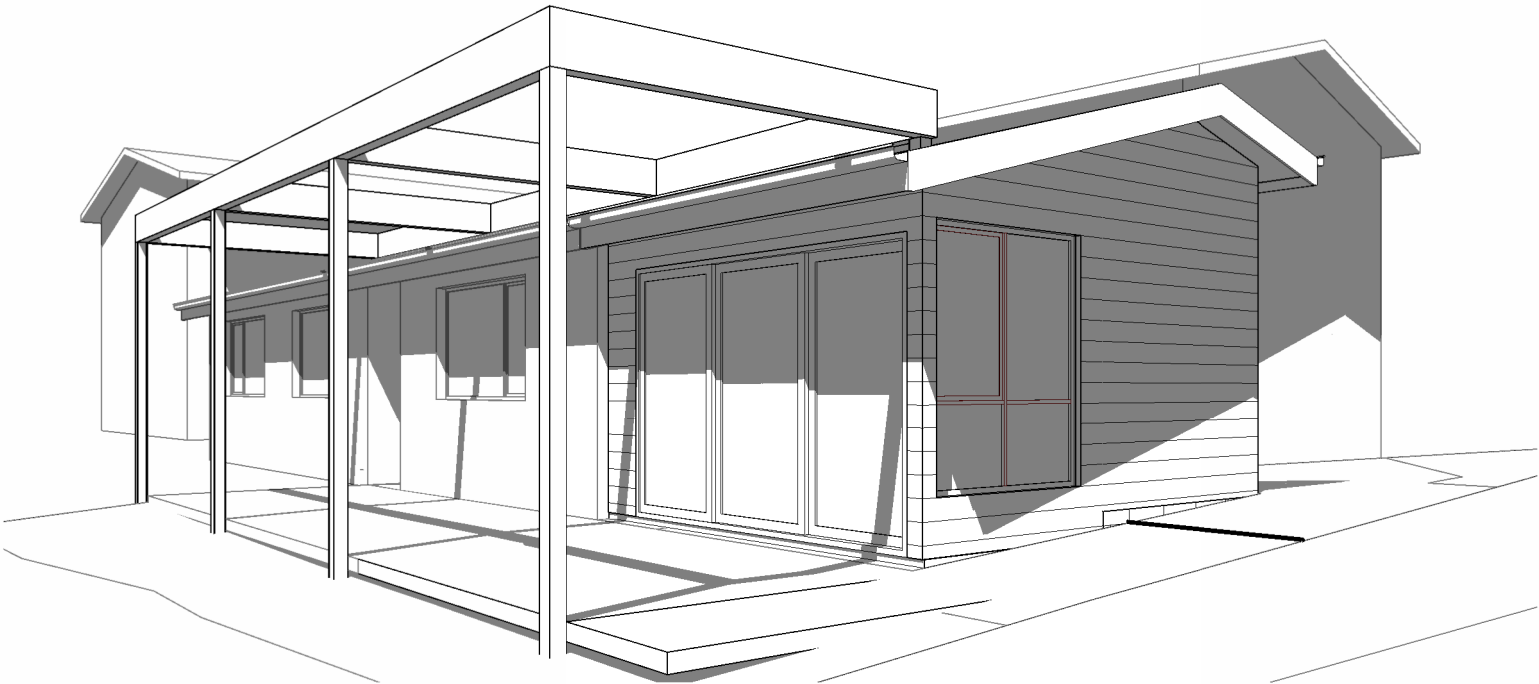


PROPOSED ALTERATIONS UNIT 2, 62 OCEAN ESPLANADE BLACKMANS BAY

L. GRANT
PDH26029

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	LOCALITY PLAN
03	DEMOLITION PLAN
04	FLOOR PLAN
05	ELEVATIONS
06	ELEVATIONS
07	ROOF PLAN



PLANNING

Kingborough Council

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EX. HOUSE AREA	75.90	m2	(8.16	SQUARES)
ENSUITE AREA	5.01	m2	(0.54	SQUARES)
LOUNGE AREA	15.03	m2	(1.62	SQUARES)
TOTAL AREA	95.93		10.32	

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 59073/2

SITE AREA: 326m²

DESIGN WIND SPEED: TBC

SOIL CLASSIFICATION: TBC

CLIMATE ZONE: 7

ALPINE AREA: NO

CORROSIVE ENVIRONMENT: SEVERE (VERY HIGH)

BAL RATING: EXEMPT

OTHER KNOWN HAZARDS: NONE



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p(l) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
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info@primedesignntas.com.au primedesignntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

JULY 2026

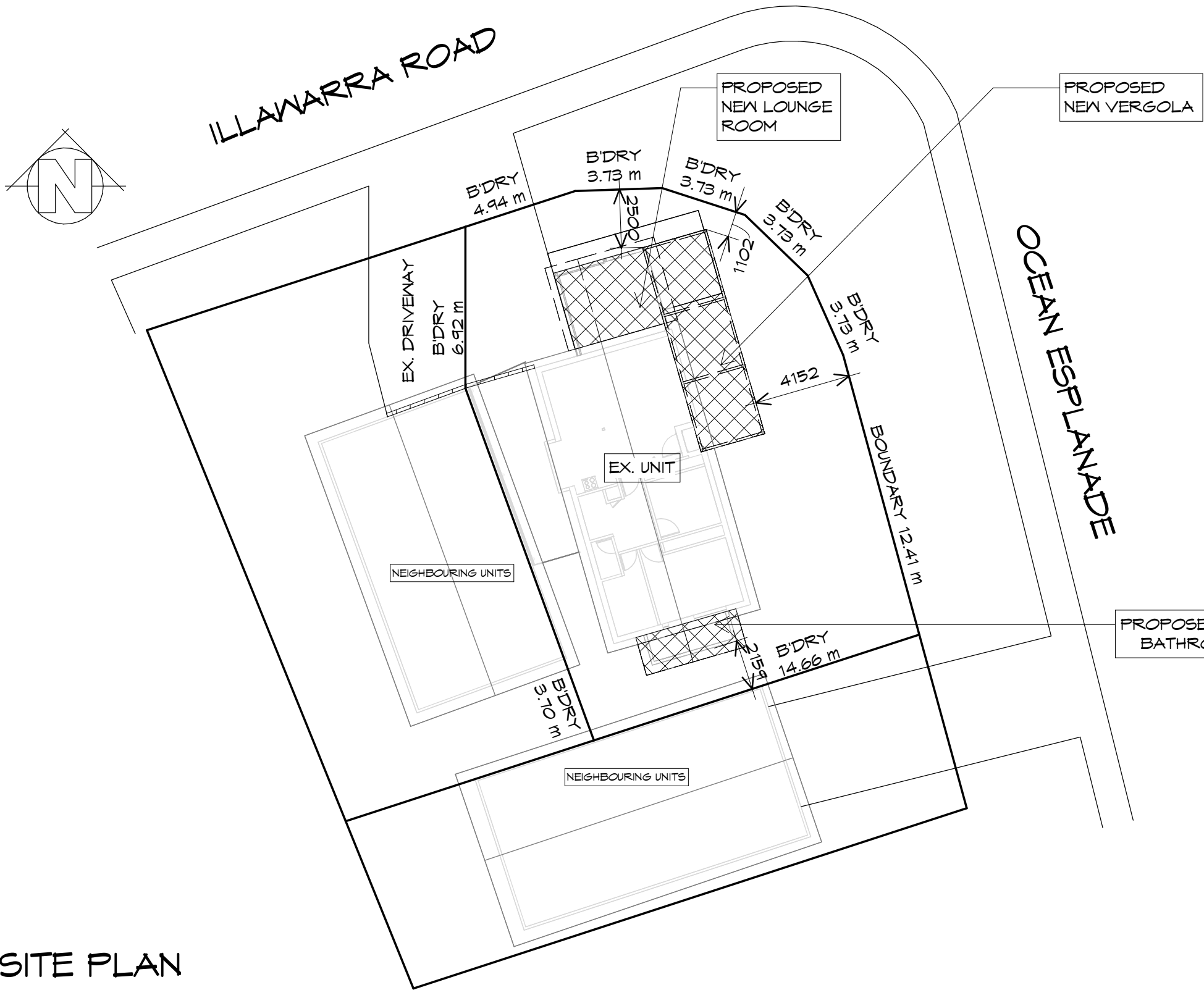
GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2019, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

IMPORTANT NOTE:

DRAWINGS CAN BE READ IN BLACK & WHITE. HOWEVER ARE BEST PRINTED IN FULL COLOUR FOR OPTIMUM CLARITY. A COLOUR COPY SHOULD BE RETAINED ON SITE AT ALL TIMES FOR CONTRACTORS COMPLETING WORKS.

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.



SITE PLAN

1 : 200



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Project:
PROPOSED ALTERATIONS
UNIT 2, 62 OCEAN ESPLANADE
BLACKMANS BAY

Client name:
L. GRANT

Drafted by:
A.D.

Approved by:
F.G.



Drawing:
SITE PLAN

Date: 27.07.2026
Scale: 1 : 200

Project/Drawing no: PDH26029 -01
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

Kingborough Council

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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



PROPOSED ALTERATIONS
UNIT 2, 62 OCEAN ESPLANADE,
BLACKMANS BAY

LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED GENERAL RESIDENTIAL AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.



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Client name:
L. GRANT

Drawing:
LOCALITY PLAN

Drafted by: A.D. Approved by: F.G.

Date: 27.07.2026 Scale: 1 : 2000

Project/Drawing no: PDH26029 -02 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



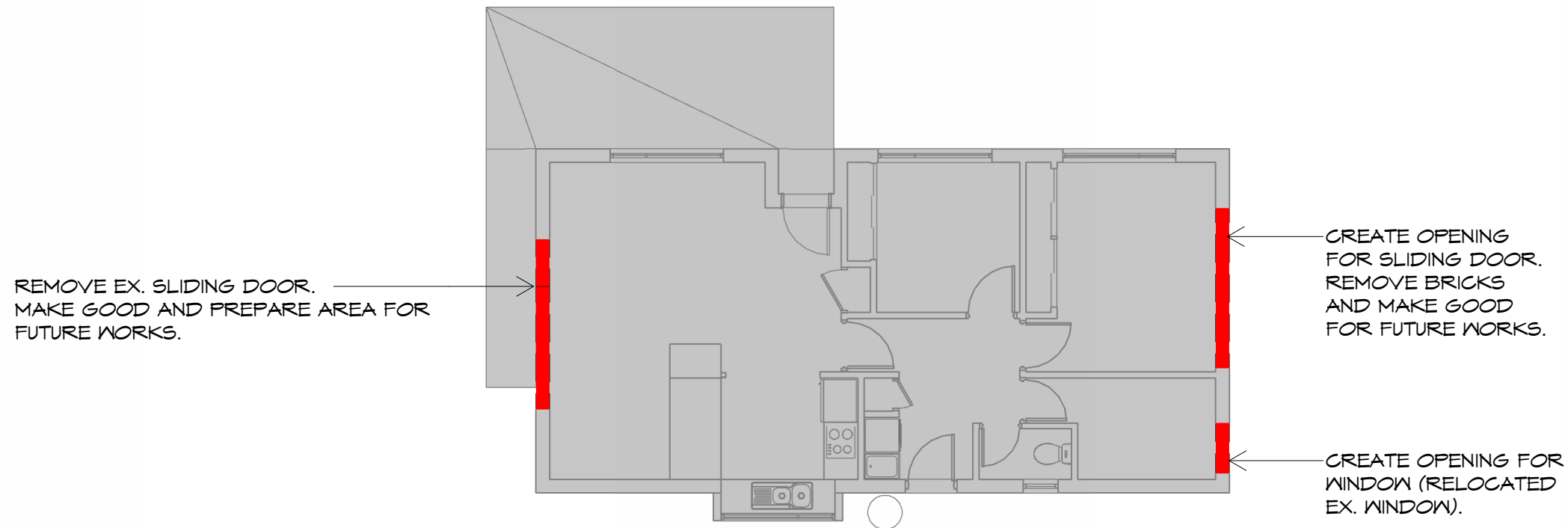
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DEMOLITION PLAN

1 : 100

DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS.



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Drawing:
DEMOLITION PLAN

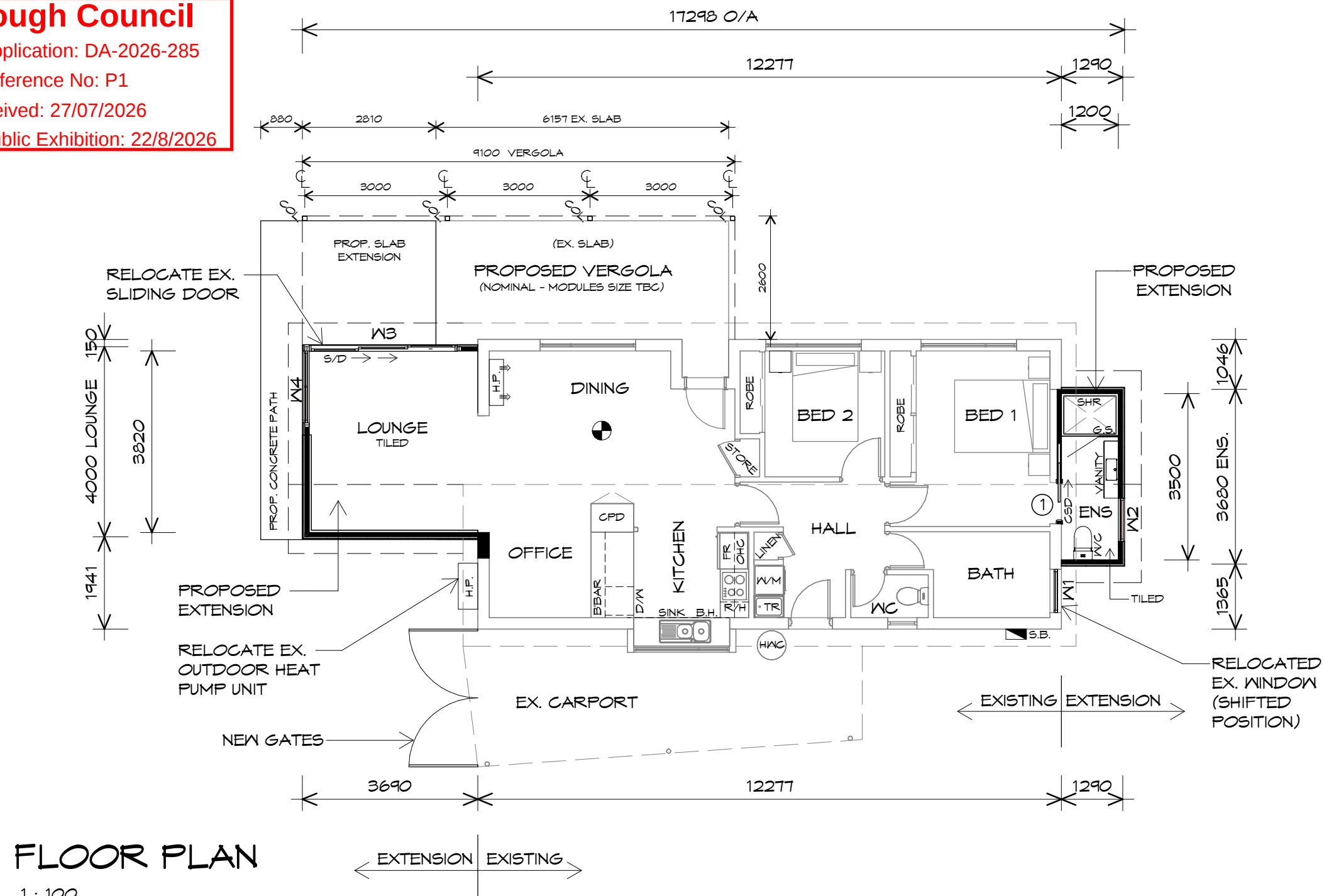
Date: 27.07.2026
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Project/Drawing no:
PDH26029 -03

Revision:
02

Accredited building practitioner: Frank Geskus -No CC246A





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Client name:
L. GRANT

Drawing:
FLOOR PLAN

Drafted by:
A.D.

Approved by:
F.G.

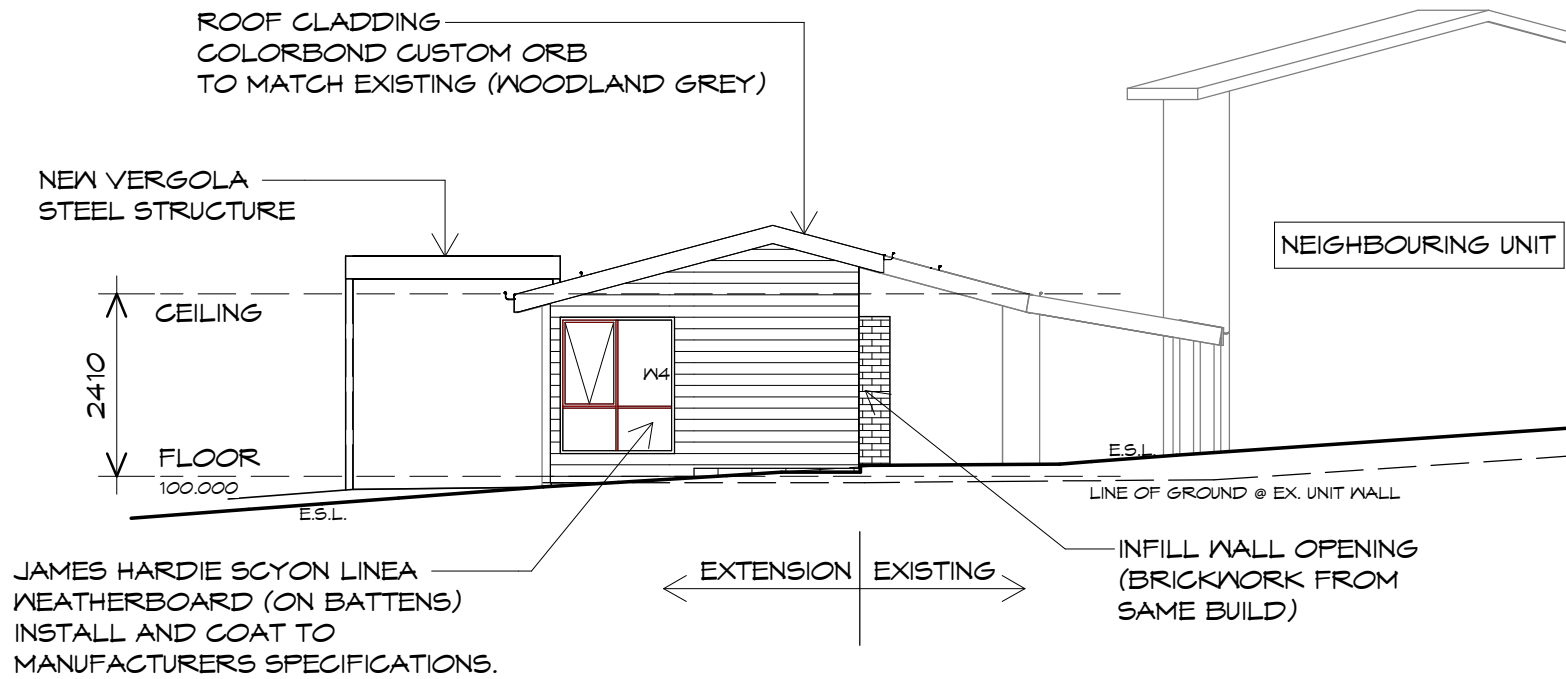
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Project/Drawing no:
PDH26029 -04

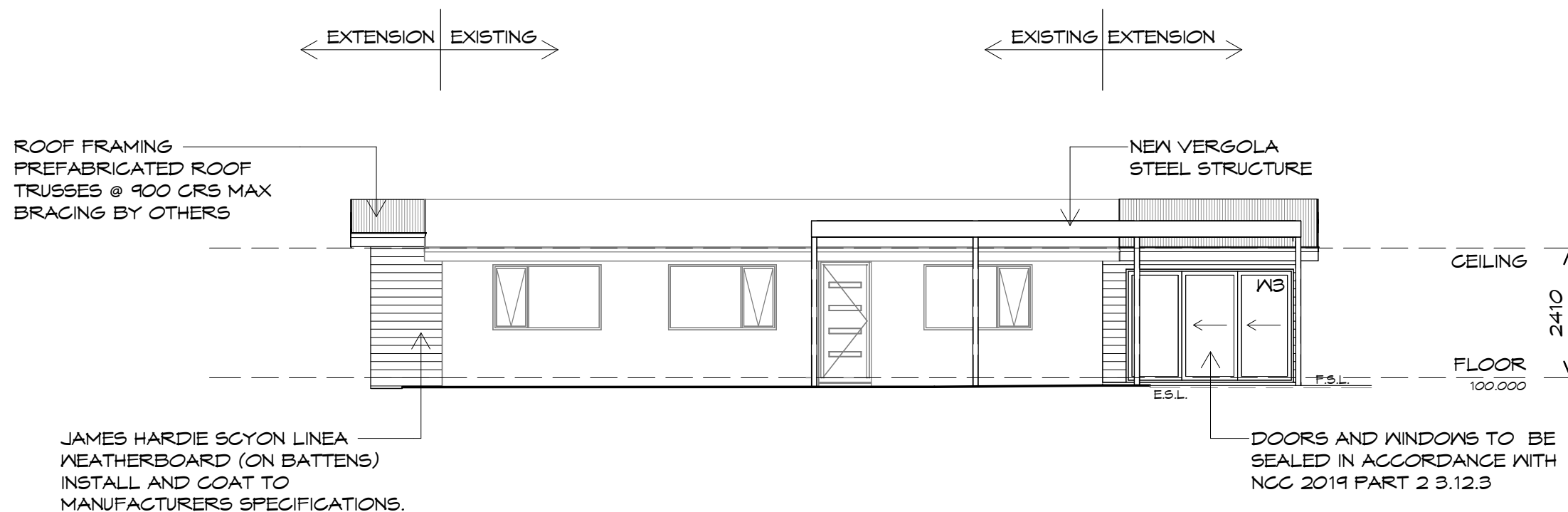
Revision:
02

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NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

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Prime Design

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Drafted by: A.D. Approved by: F.G.

Date: 27.07.2026 Scale: 1 : 100

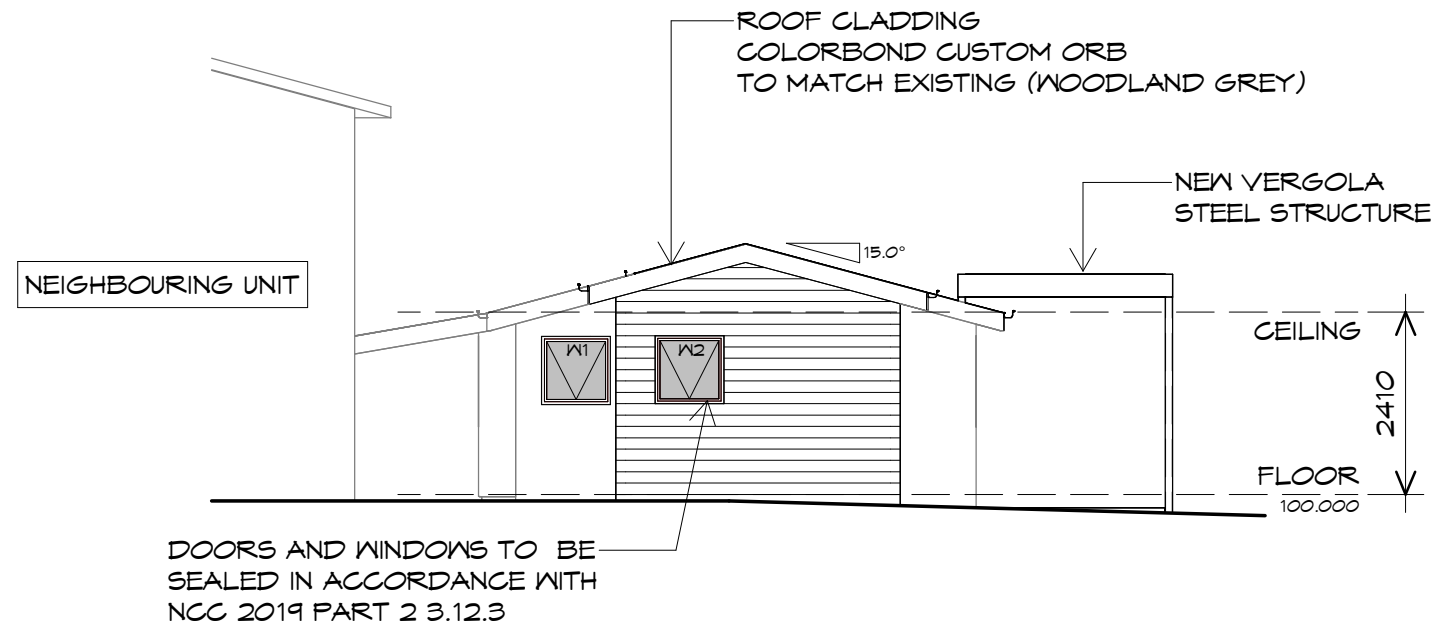
Project/Drawing no: PDH26029 -05 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

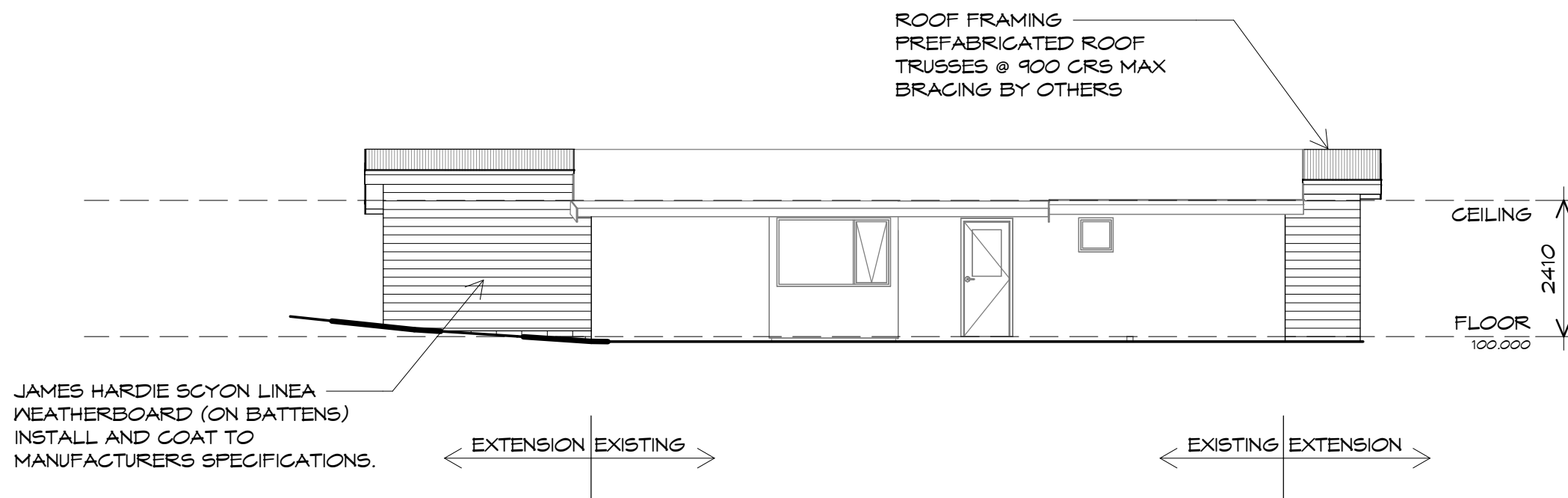
PLANNING

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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

NOTE:
CARPORT NOT SHOWN FOR CLARITY.

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Drawing:
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Drafted by: A.D. Approved by: F.G.

Date: 27.07.2026 Scale: 1 : 100

Project/Drawing no: PDH26029 -06 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

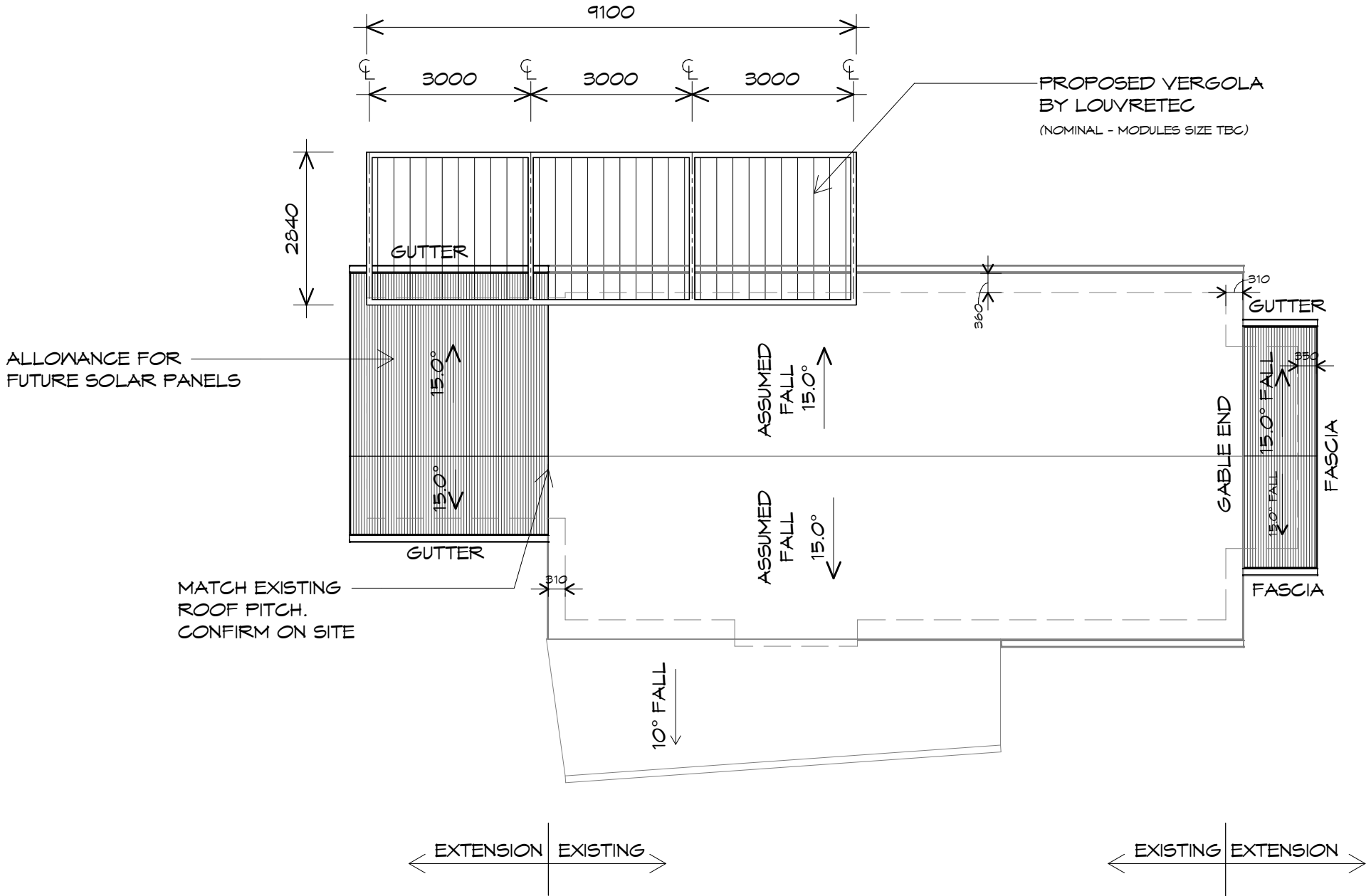
UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8



ROOF PLAN

1 : 100



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Approved by:
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Drawing:
ROOF PLAN

Date: 27.07.2026
Scale: 1 : 100

Project/Drawing no:
PDH26029 -07

Revision:
02

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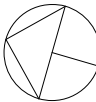
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