

APPLICATION FOR PLANNING APPROVAL

Application Number:	DA-2026-276
Proposal:	Outbuildings (poly-tunnel and roofed shipping container building - retrospective)
Subject Site:	671 Van Morey Road, Margate
Responsible Planning Officer:	Cassinia Devries

Advertised Documents:

- Application Plans

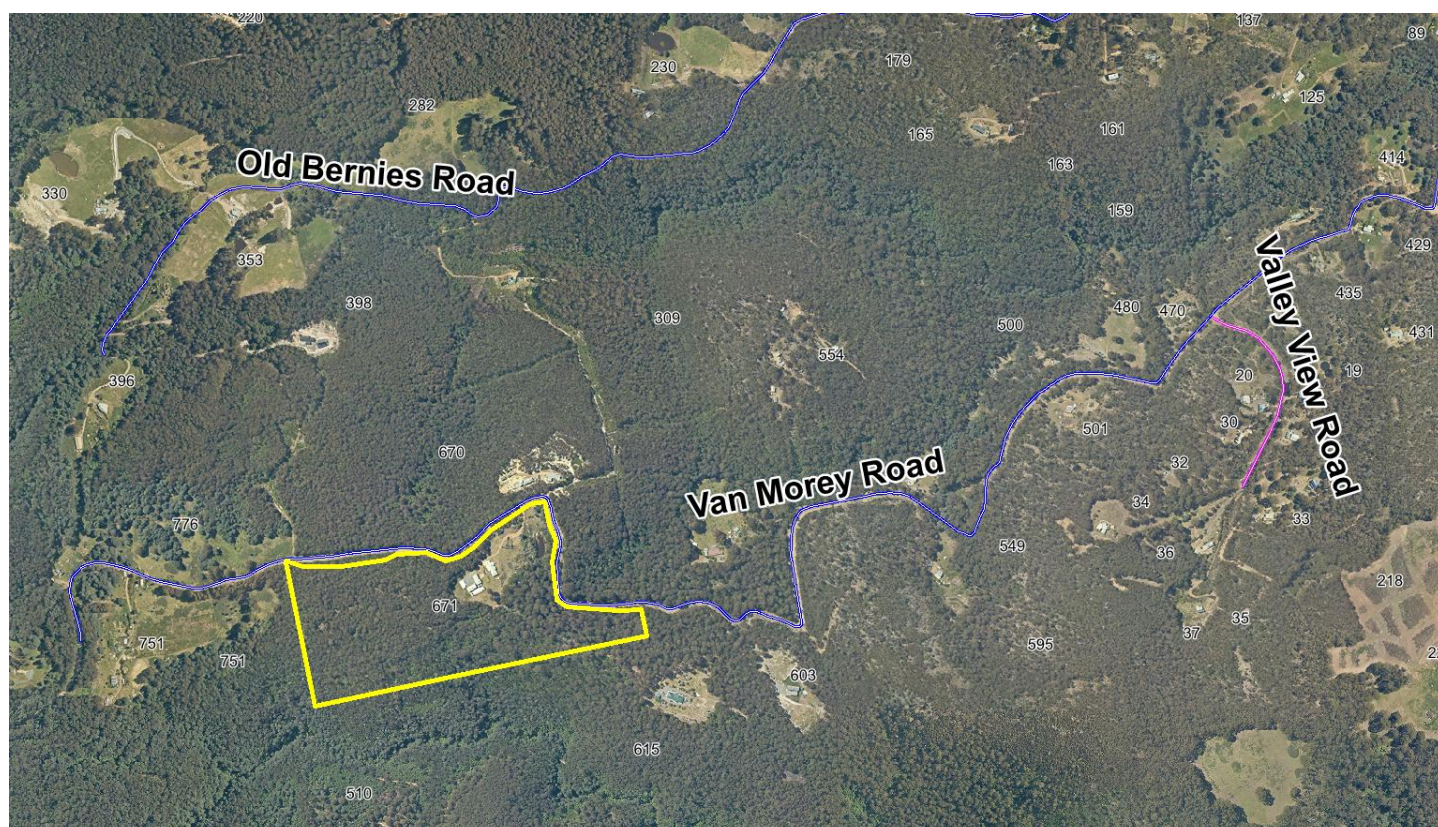
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **1 September 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



[1870] 671 Van Morey Rd, Margate 7054

Project Title:

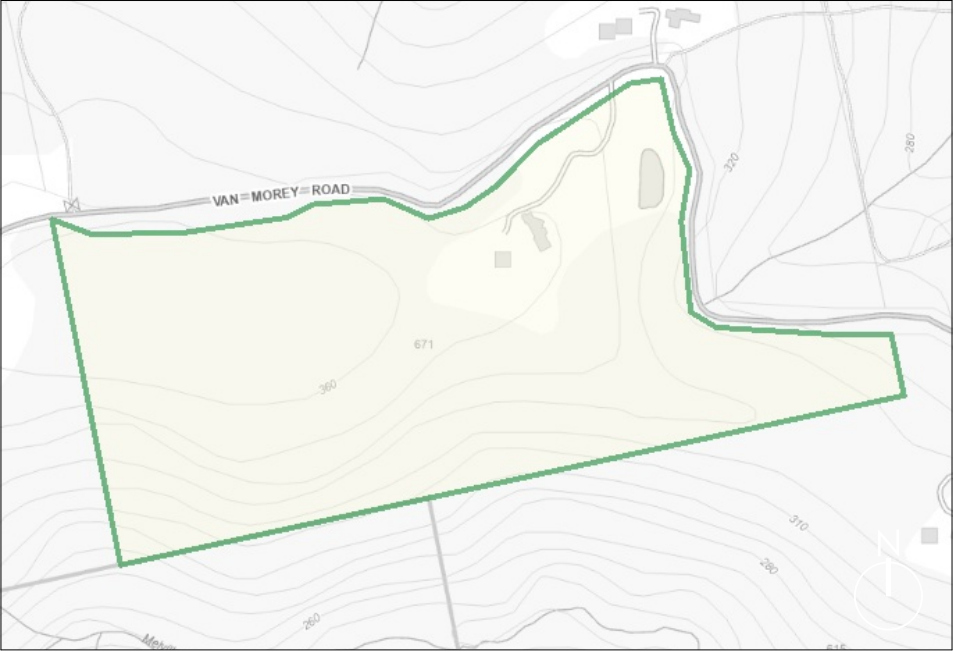
Van Morey Structure Approvals

671 Van Morey Rd, Margate 7054

Stage: PLANNING APPLICATION Date: 17 / 07 / 2026

Client: Brett Lambert Rev: -

LOCATION MAP:



LEGEND:

AC	AIR CONDITIONING	HWU	HOT WATER UNIT
AS	ADJUSTABLE SHELF	L	LOUVRES
APP	APPLIANCES	LN	LINEN
CBD	CUPBOARD	M	MIRROR
COL	COLUMN	NGL	NATURAL GROUND LINE
CONC	CONCRETE	OF	OVERFLOW
COS	CHECK ON SITE	OBS	OBSCURED GLAZING
CR	CEMENT RENDER	OV	OVEN
CT	COOK TOP	P	PANTRY
D	DRAWER	PB	PAINTED BRICKWORK
DP	DOWN PIPE	PLB	PLASTERBOARD
DR	DRYER	R	RELOCATE
DW	DISH WASHER	REF	REFRIDGERATOR
EX	EXISTING	RB	ROBE
F	FIXED	RT	ROOF TILE
FB	FACE BRICK	RWT	RAIN WATER TANK
FC	FIBRE CEMENT SHEET	SHR	SHOWER
FCL	FINISHED CEILING LEVEL	SK	SINK
FFL	FINISHED FLOOR LEVEL	SL	SKYLIGHT
FHR	FIRE HOSE REEL	STK	STONework
FP	FIREPLACE	TBC	TO BE CONFIRMED
FS	FIXED SHELF	TIM	TIMBER
FW	FLOOR WASTE	TUB	TUB (LAUNDRY)
GO	GAS OUTLET	TYP	TYPICAL
GPO	GENERAL PURPOSE OUTLET (DOUBLE)	VP	VENT PIPE
GSS	GLAZED SHOWER SCREEN	WC	TOILET
GD	GRATED DRAIN	WM	WASHING MACHINE
H	HEIGHT	WPM	WATERPROOF MEMBRANE
HTR	HEATED TOWEL RAIL		

GENERAL NOTES

- NOTE 1: All work to be completed in accordance with AS australian standards & BCA requirements.
- NOTE 2: These drawings are to be read in conjunction with the complete documentation set. Any discrepancies / conflicts / variations in site conditions to be reported to the design team immediately for further instruction.
- NOTE 3: Do not scale off drawings.
- NOTE 4: All dimensions to be checked & confirmed on site prior to fabrication.
- NOTE 5: Refer to Council Approval DA-2026-151 / DA-2016-67 / DA-2022-136
- NOTE 6: All structural requirements to Engineers requirements.
- NOTE 7: Plumbing connection to be undertaken by registered Plumber
- NOTE 8: Ensure new window fixings suit manufactuers requirements.
- NOTE 9: Fire rating BAL performance to Bushfire Consultant's requirements.
- NOTE 10: Documented works are indicative only & subject to unknown on-site parameters.

COUNCIL REQUIREMENTS

Address: 671 Van Morey Rd, Margate - 7054
Property ID: 1805097
Title Reference: 128062 / 2

Zone: Environmental Living
Scheme code: 14.0
Planning Scheme: Kingborough - Interim Planning Scheme
Site Area: 135,900 m2
Locality: Margate

Planning Controls:

- Bushfire Prone Area (C.13 - BPA - 220618)
- Landslip Hazard Area
- Scenic Landscape Area
- Biodiversity Protection Area

Proposed Works:

- AS BUILT POLY TUNNEL
- ON SITE SHIPPING CONTAINERS (x2) WITH ROOF STRUCTURE OVER

Kingborough Council

Development Application: DA-2026-276

Plan Reference No: P1

Date Received: 22/7/2026

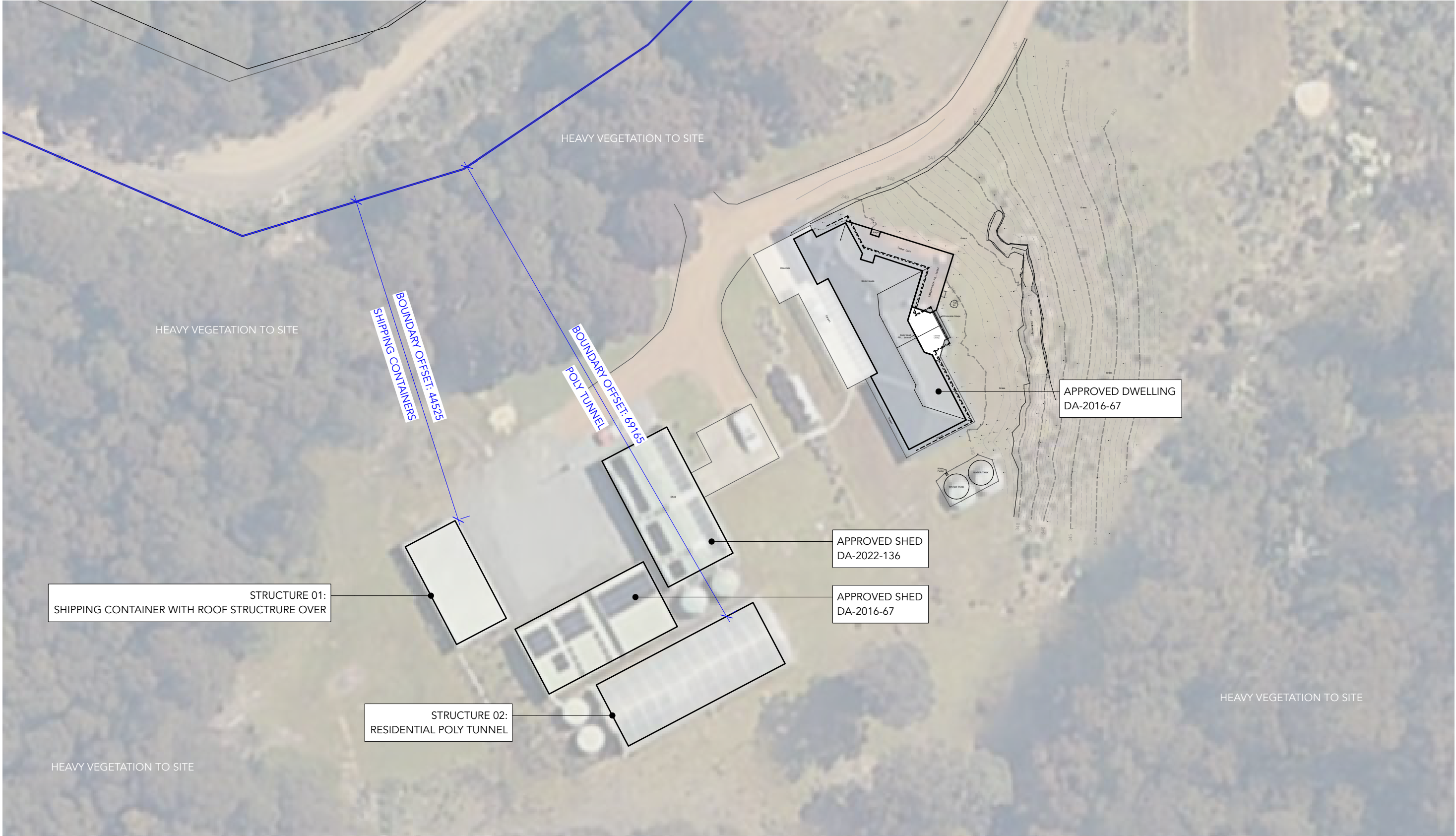
Date placed on Public Exhibition: 19/8/2026

DRAWING LIST

No:	REV:	TITLE:	Scale:
000	REV -	Cover Sheet	-
002	REV -	Existing Site Plan	1:500@A3
RET-01	REV -	Structure Data	1:200@A3
901	REV -	Environmental Management Plan	1:400@A3

Contractors to check & verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to AAA. All work to comply with N.C.C. Statutory Authorities and relevant Australian Standards.

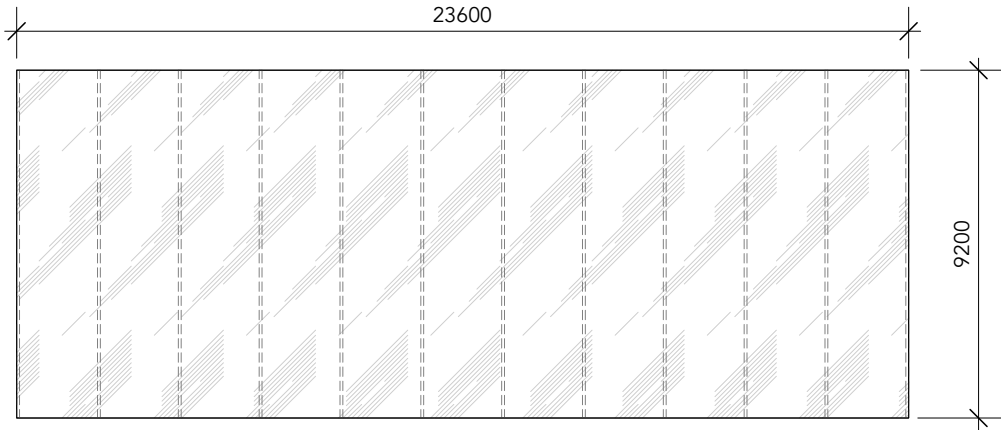
•ANDY ARMSTRONG - ARCHITECT
•Tel: (+61) 0405 200 034
•Email: andy@andyarmstrong.com.au
•Please consider the environment before printing



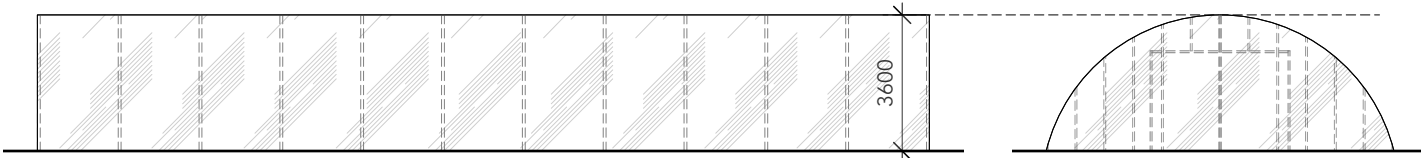
1 EXISTING SITE PLAN
Scale 1:500 @A3

Kingborough Council
Development Application: DA-2026-276
Plan Reference No: P1
Date Received: 22/7/2026
Date placed on Public Exhibition: 19/8/2026

ISSUE	DATE	REVISION	BY	
PROJECT:	Van Morey Landscape Works 671 Van Morey Road - Margate 7054		STAGE:	1870
CLIENT:	Mr. B. Lambert		DATE:	17/7/2026
DRAWING:	Existing Site Plan		SCALE:	1:500 @ A3
			DRAWN:	AA
			CHECKED:	BL
DRAWING SIGN OFF			NAME / POSITION:	DATE: 21/7/2026
CONTRACTORS TO CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION/FABRICATION. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHOULD BE IMMEDIATELY REFERRED TO A.A.A. ALL WORK TO COMPLY WITH N.C.C. STATUTORY AUTHORITIES AND RELEVANT AUSTRALIAN STANDARDS.			APPROVAL SIGNATURE:	
			•ANDY ARMSTRONG : ARCHITECT •Tel: (+61) 0405 200 034 •Email: andy@andyarmstrong.com.au •Please consider the environment before printing	
SCALE BAR			Registered Architect UK: 077501 K Registered Architect TAS: 1532 Company: F391 / Registered Architect NSW: 12716	

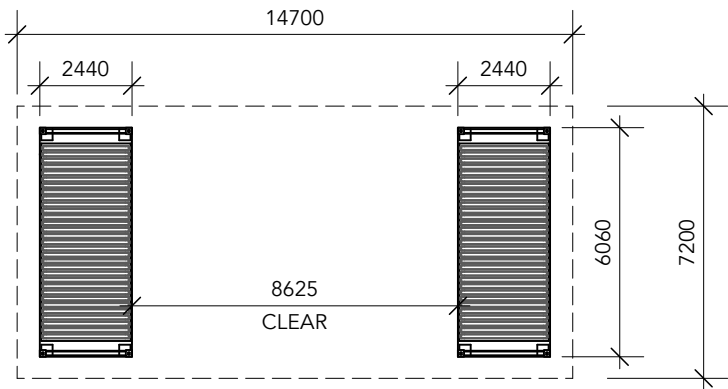


1 POLY TUNNEL PLAN
1:200@A3

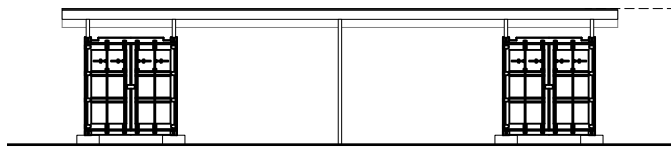


2 POLY TUNNEL SIDE ELEVATION
1:200@A3

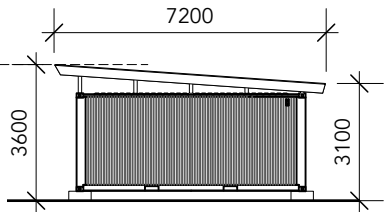
3 POLY TUNNEL FACE ELEVATION
1:200@A3



4 CONTAINER PLAN
1:200@A3



5 CONTAINER FACE ELEVATION
1:200@A3



6 CONTAINER SIDE
1:200@A3

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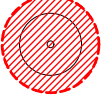
ISSUE	DATE	REVISION	BY
PROJECT:	Van Morey Landscape Works	STAGE:	1870
CLIENT:	Mr. B. Lambert	DATE:	17/7/2026
DRAWING:	Structure data	SCALE:	1:200 @ A3
		DRAWN:	AA
		CHECKED:	BL
		PROJECT #	1870
		DWG #	Ret-01
		REVISION	







HATCH DENOTES AREA OF SUBJECT WORKS



HATCH DENOTES 'TPZ' INDICATIVE TREE PROTECTION ZONE - Aligned with AS 4970-2009

1

PROPOSED SITE PLAN
Scale 1:400 @A3

Kingborough Council

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ENVIRONMENTAL MANAGEMENT PLAN:

NOTE: Proposed works located to avoid existing vegetation removal or root protection zone impact.

TREE ROOT PROTECTION:

Objective: Identify trees which may be impacted during construction.
Response: Existing Trees Retained, all works located beyond RPZ (Root Protection Zones). No vegetation removal required.

WEED MANAGEMENT:

Objective: Building and works may result in the spread of existing weeds or the introduction of new weeds into a site.
Response: No vegetation removal required.

VEHICLE HYGIENE:

Objective: In addition to preventing the spread of weeds, vehicle hygiene is important for preventing the spread of soil borne pathogens resulting in die- back of native vegetation.
Response: No Works Required.

BUSHFIRE HAZARD MANAGEMENT:

Objective: Implementing bushfire hazard management measures, including vegetation removal
Response: N/A. No impact to existing vegetation. Existing managment retained. No vegetation removal required.

VEGETATION MANAGEMENT/HABITAT FOR NATIVE ANIMALS:

Objective: Impact on native vegetation, including habitat values.
Response: No vegetation removal required.

WATERWAYS OR THE COAST:

Objective: All works within the waterway must be designed & constructed to minimise impacts on existing natural values
Response: N/A. No works within waterways or coastal area.

ISSUE

DATE

REVISION

PROJECT:

CLIENT:

DRAWING:

17/7/2026

1:400 @ A3

AA

1870

901

BL

PROJECT #

DWG #

REVISION

1870

901

N

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NORTH POINT

DRAWING SIGN OFF

NAME / POSITION:

DATE: 21/7/2026

APPROVAL SIGNATURE:

Contractors to check & verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to A.A.A. All work to comply with N.C.C. Statutory Authorities and relevant Australian Standards.

•ANDY ARMSTRONG : ARCHITECT

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SCALE BAR

Registered Architect TAS: 1532 Company: F391 / Registered Architect NSW: 12716

Registered Architect UK: 077501 K

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