

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-189
Proposal: Extension to dwelling
Subject Site: 6 Perrins Road, Margate
Responsible Planning Officer: Tayla Beagley

Advertised Documents:

- Application Plans
- Geo-environmental assessment
- Environmental management plan
- Bushfire hazard report

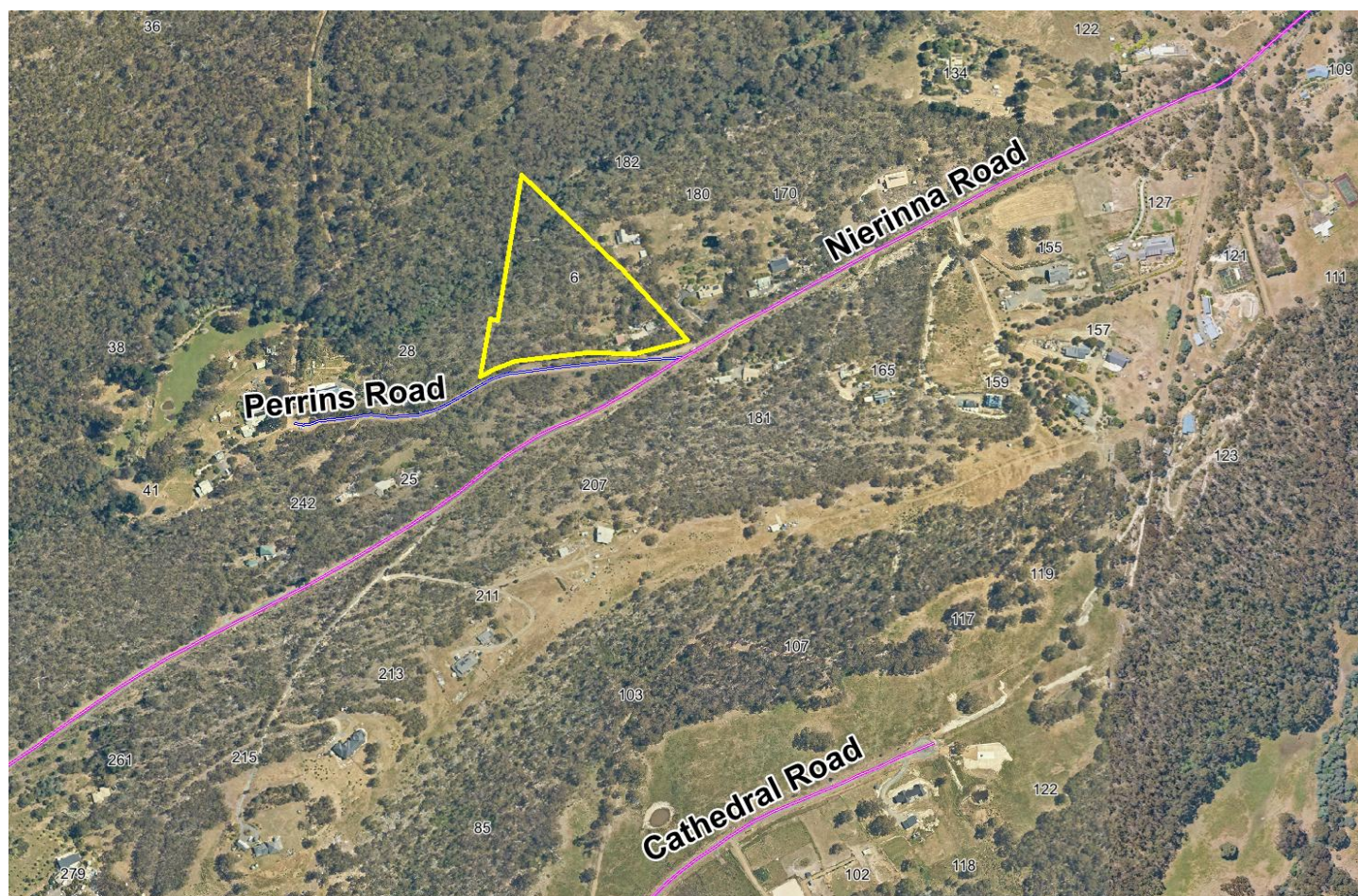
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **4 September 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



Kingborough Council

Development Application: DA-2026-189

Plan Reference No: P2

Date Received: 10/8/2026

Date placed on Public Exhibition: 22/8/2026



Sheet List				
Sheet Number	Sheet Name	Project Status	Current Revision	Current Revision Date
1 G-01	COVER	DA	R6	10/08/26
1 G-01a	PERSPECTIVES	DA	R6	10/08/26
2 A-01	SITE PLAN	DA	R6	10/08/26
2 A-01a	EXISTING SITE SURVEY	DA	R6	10/08/26
2 A-01b	EXISTING SITE AERIAL VIEW	DA	R6	10/08/26
2 A-01c	EXISTING DWELLING	DA	R6	10/08/26
2 A-02	PROPOSED FLOOR PLANS	DA	R6	10/08/26
2 A-03	ELEVATIONS	DA	R6	10/08/26

General Information

Architect: Shane Geard

Reg: 1301 (Tas)

BSP Licence No: 740796453

Classification: Architect

Local Council: Kingborough

Local Gov. Zone: 14.0 Environmental Living

Overlay Codes: Scenic Landscape Area, Biodiversity Protection Area, Waterway and Coastal Protection Area, Landslide Hazard Area, Bushfire Prone Areas

Address: 6 Perrins Rd., Margate

Lot: 2

Title Reference: 12098/2

Site Area: 19778m²

Soil Classification: M Site Classification to AS2870-2011 (GES)

Terrain Category: 2.5 (GES)

Shielding Classification: PS - partial shielding

Climate Zone: 7

Wind Classification: N3 (GES)

Design Wind Gust Speed m/s: 50 (GES)

BAL: 29 (Philip Cullen Report)

Corrosion Environment: Medium

Floor Area: Refer to Floor Plan

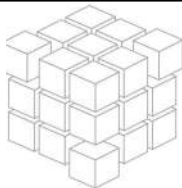
DA ISSUE



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PERSPECTIVES

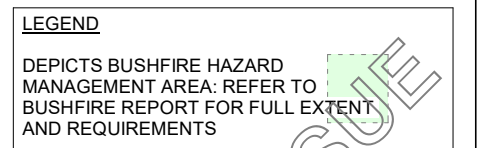
Project number	251110
Drawing Status	DA
Current Revision	10/08/26 R6

1 G-01a

Scale on A3

Date placed on Public Exhibition: 22/8/2026

Cladding materials and fixings to be in accordance with the ABCB Housing Provisions for Corrosion Environment = Medium



Scale on A3	1 : 200
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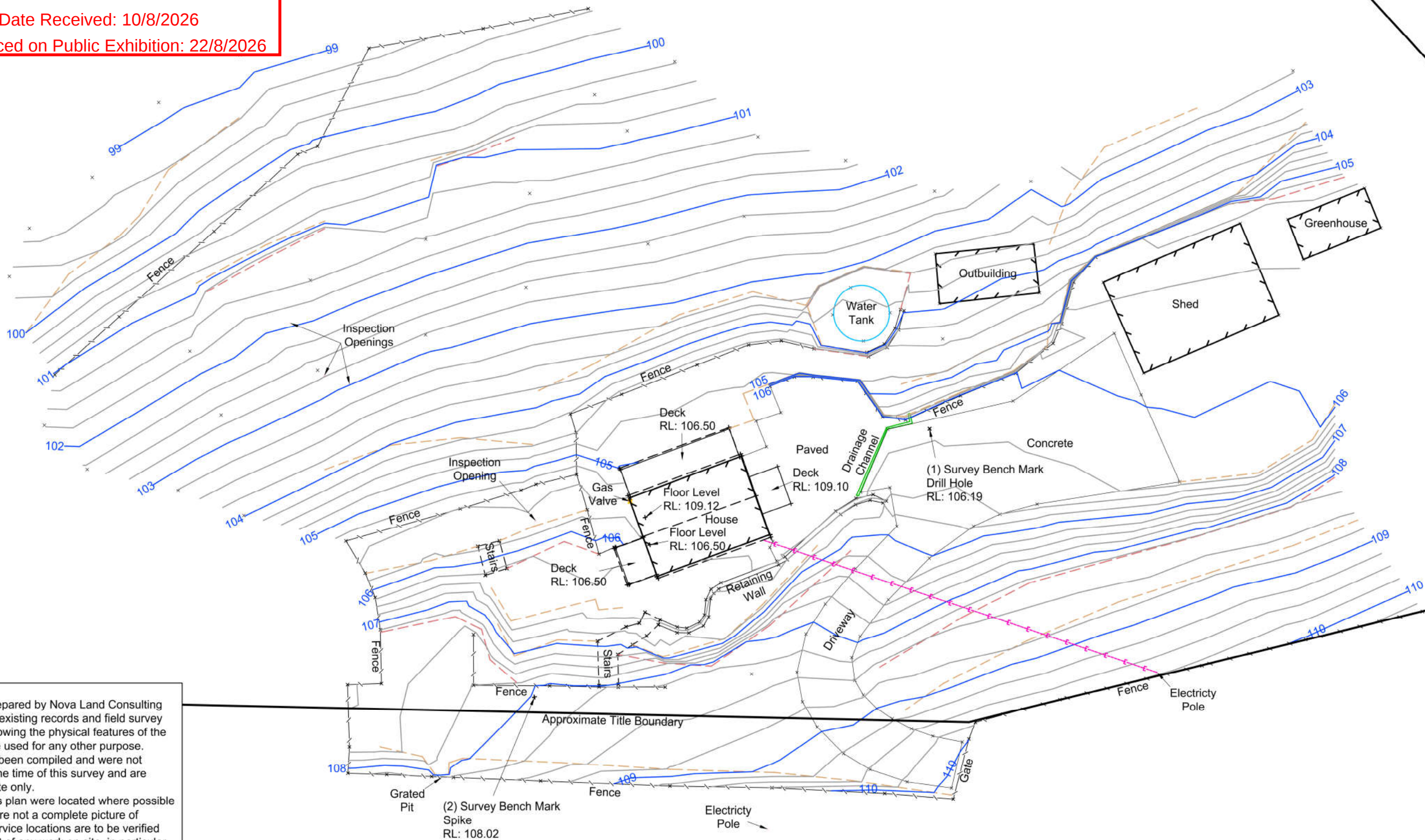
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Notes:

1. This plan has been prepared by Nova Land Consulting from a combination of existing records and field survey for the purposes of showing the physical features of the land and should not be used for any other purpose.
2. Title boundaries have been compiled and were not verified or marked at the time of this survey and are considered approximate only.
3. Services shown on this plan were located where possible by field survey. They are not a complete picture of services on site. All service locations are to be verified before commencement of any work on site, in particular those services not previously located through field survey.
4. Nova Land Consulting can not accept liability whatsoever for loss or damage caused to any underground service whether shown by our survey or not.
5. This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such a reproduction invalid and not suitable for use without prior authority of Nova Land Consulting.
6. Horizontal datum is MGA2020 based on RTK GNSS.
7. Vertical datum is AHD'83 based on RTK GNSS.
8. Co-ordinates are plane based on MGA2020 at (1).
9. Contour interval is 0.25m, index is 1.0m.



Rear Studio,
132 Davey Street,
Hobart 7000

Phone: (03) 6227 7968
Email: info@novaland.com.au

DETAIL SURVEY
6 PERRINS ROAD, MARGATE
C.T.12098/2

Job Number	H260205
Drawn	BMW
Scale	1:250 @ A3
Date	19/02/26
Edition	V.1
Sheet	2/2



PERRINS ROAD

Kingborough Council

Development Application: DA-2026-189

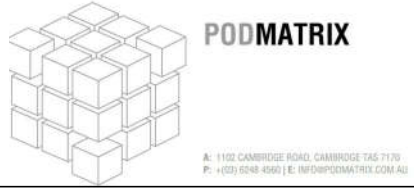
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General Notes
Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.
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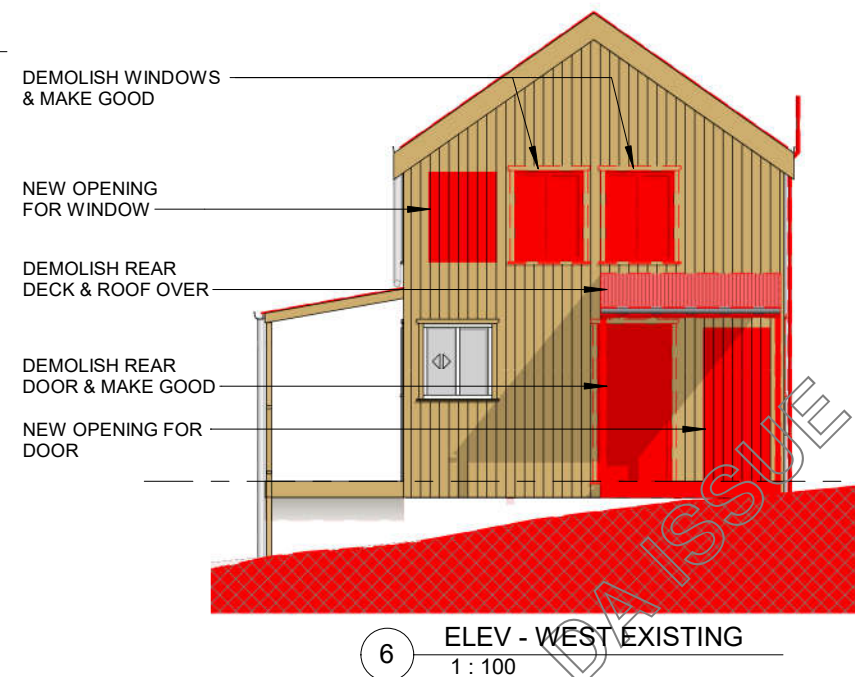
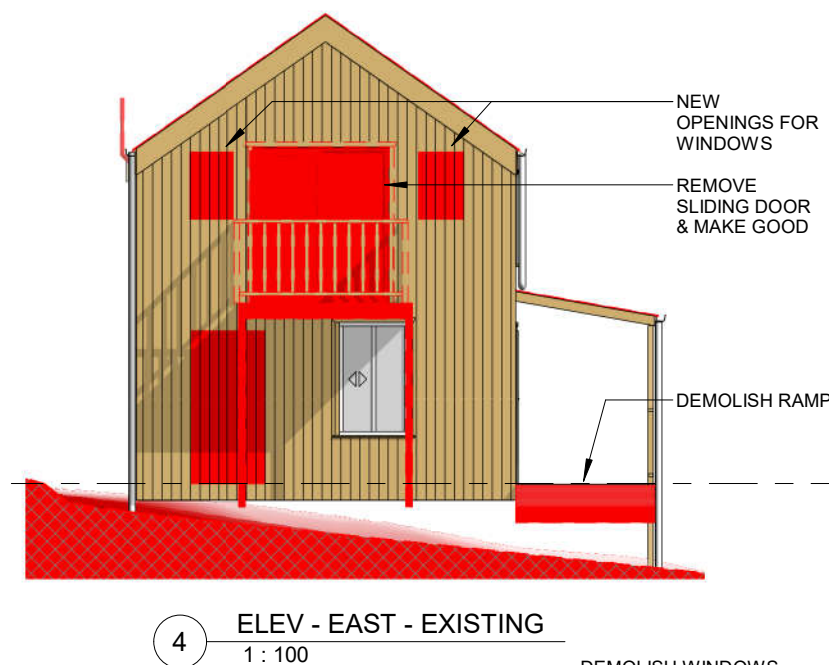
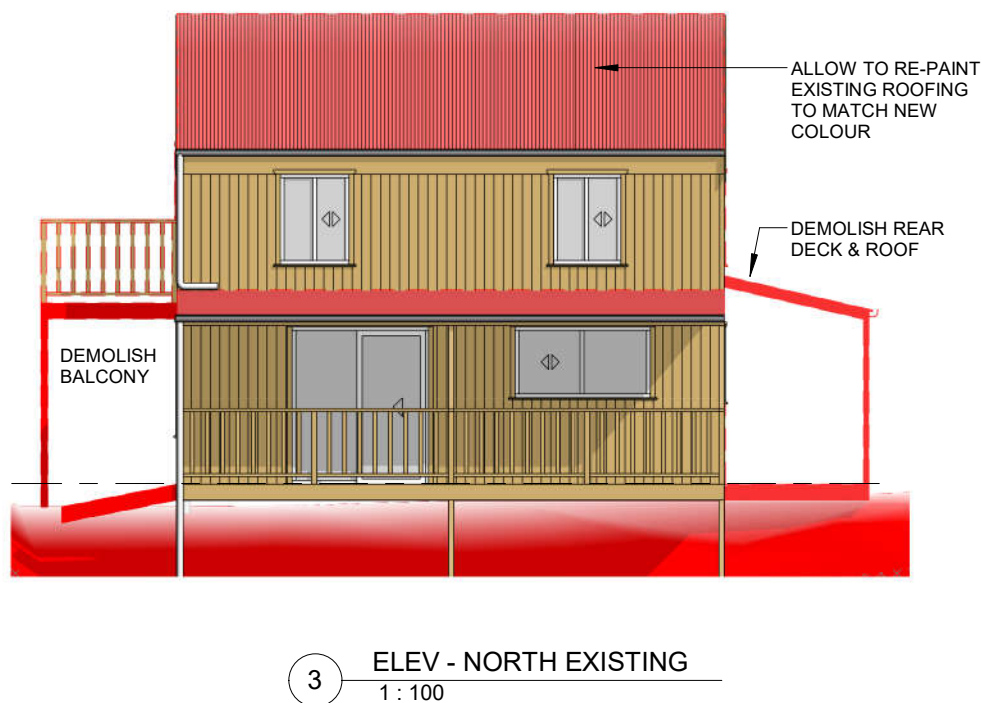
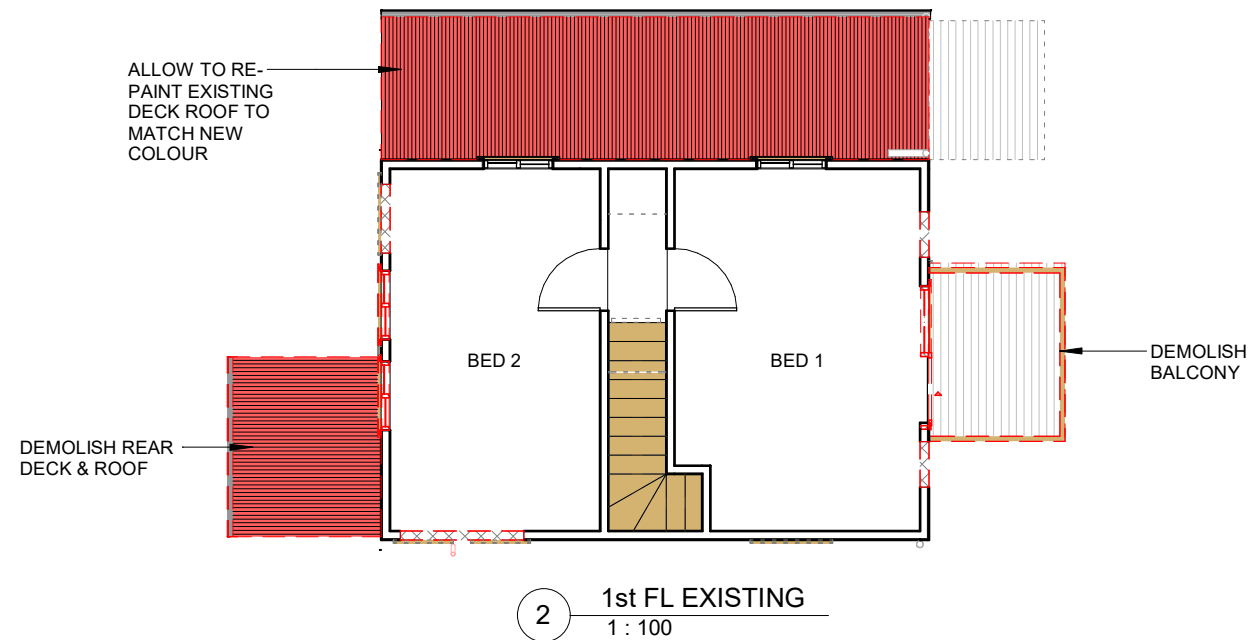
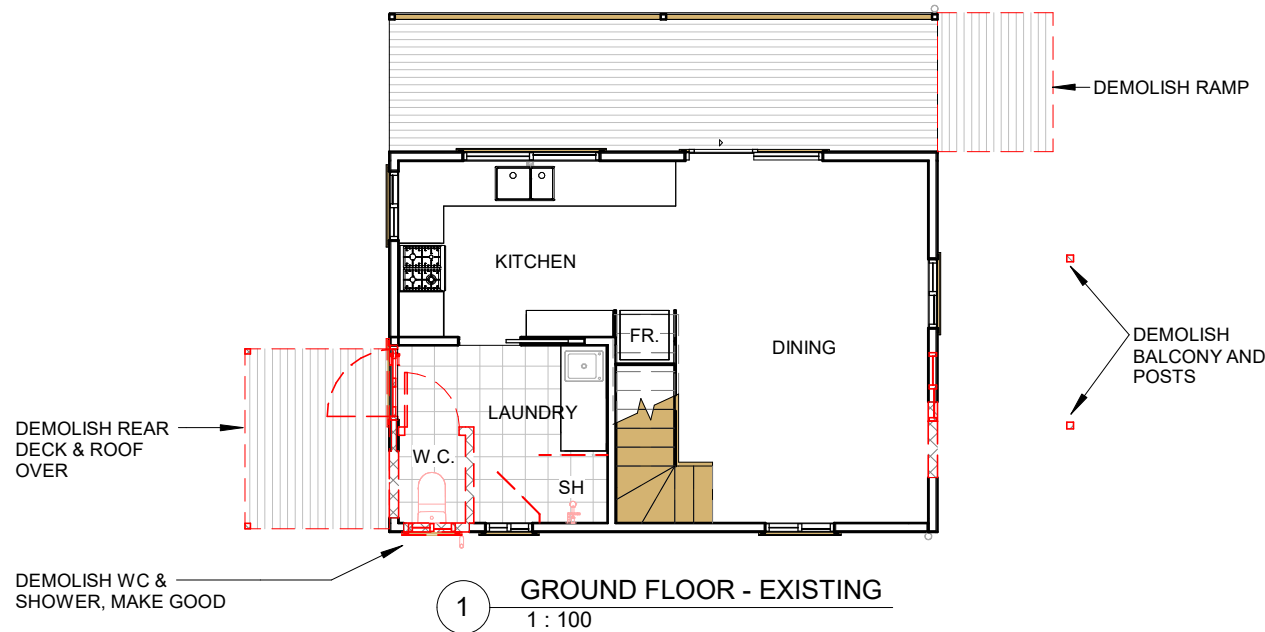


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ALTERATIONS
6 PERRINS RD. MARGATE
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	EXISTING SITE AERIAL VIEW				2 A-01b	
	Project number		251110			
	Drawing Status		DA			
	Current Revision		10/08/26 R6		Scale on A3	1 : 200

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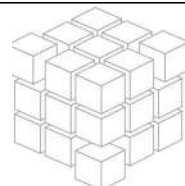
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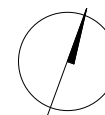
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EXISTING DWELLING

Project number 251110

Drawing Status DA

Current Revision 10/08/26 R6

2 A-01c

Scale on A3 1 : 100

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Construction and materials in accordance with current NCC requirements and all relevant Australian Standards
BAL construction in accordance with AS3959 = 29

Cladding materials and fixings to be in accordance with the ABCB Housing Provisions for Corrosion Environment = Medium

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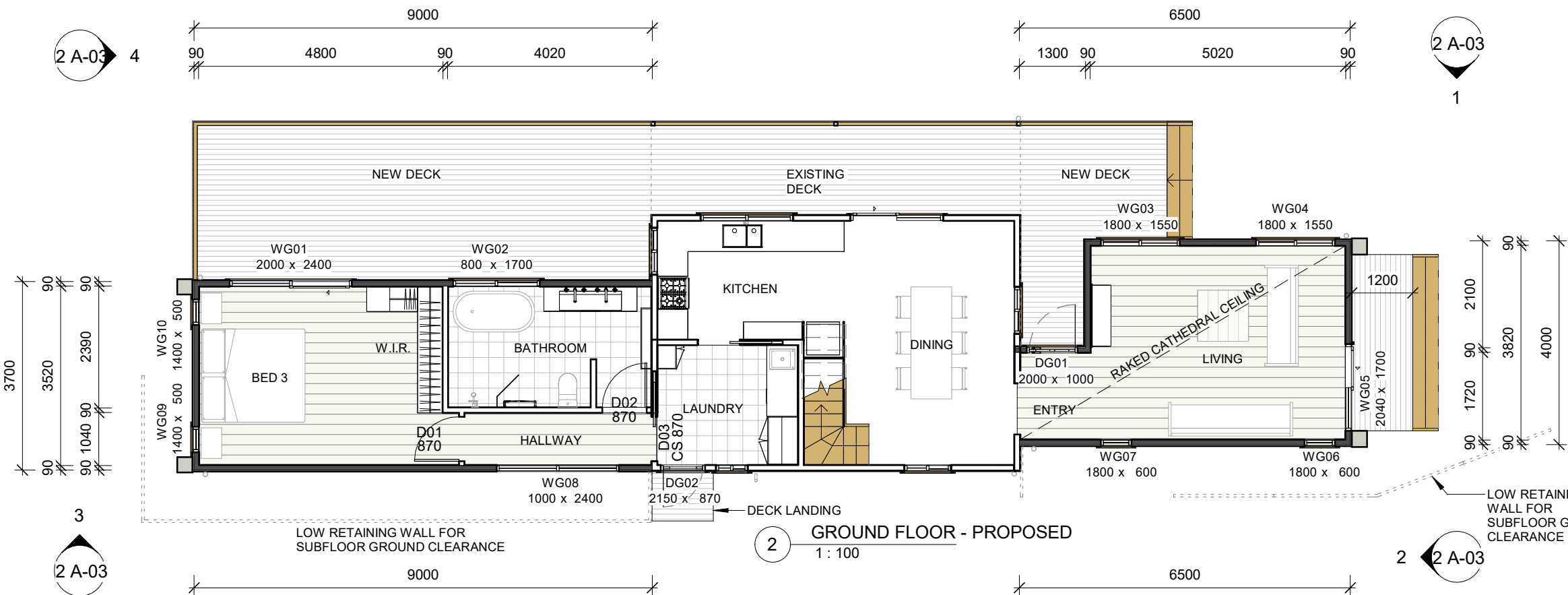
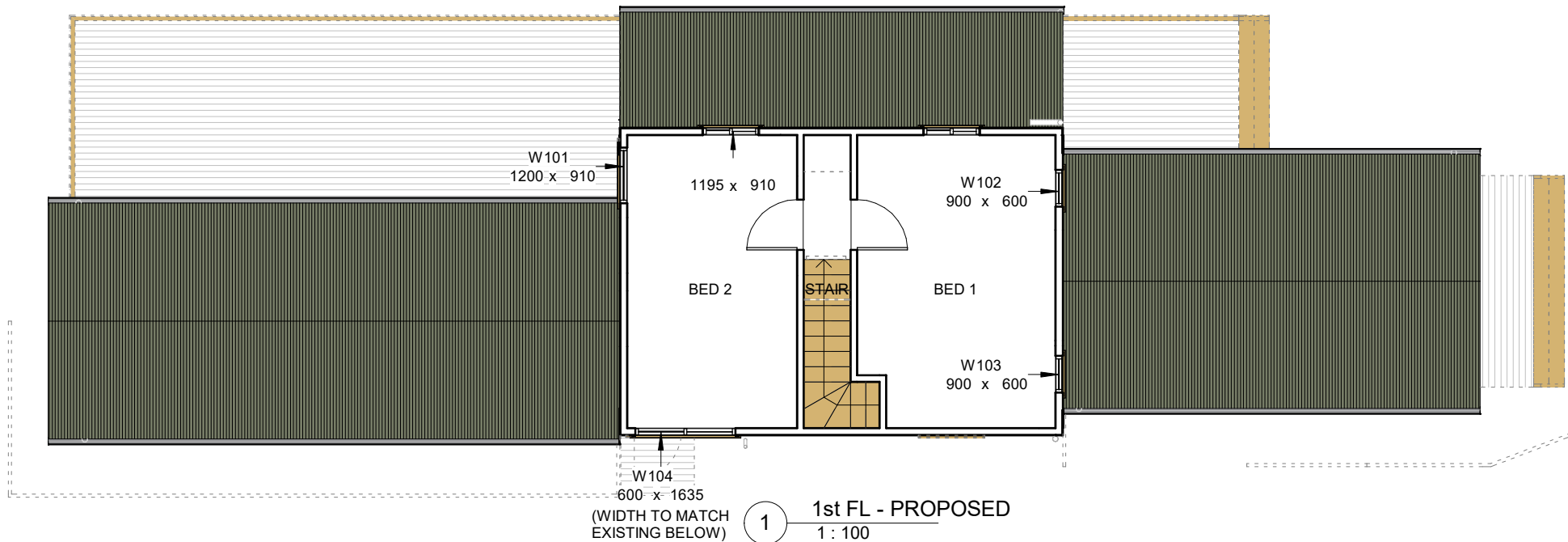
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EXTERIOR WINDOWS AND SLIDING DOORS SHALL HAVE BAL COMPLIANT S/S MESH INSECT SCREENS

ALL EXTERIOR GLAZING SHALL BE ARGON FILLED DOUBLE GLAZING (TBC BY ENERGY CONSULTANT)



FLOOR FINISHES LEGEND

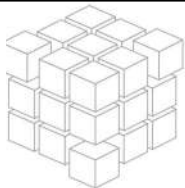
- Flooring overlay TBC
- Tiles with slip resistance to AS 4586 (2013)
- Hardwood decking & steps (Spotted Gum or similar approved by Owner) to BAL AS 2796.1 (1999) Section 4 with stain finish

Area Schedule (Gross Building)

Name	Area
EXISTING GROUND FLOOR	36 m ²
EXISTING 1st FLOOR	34 m ²
WEST WING	33 m ²
WEST DECK	28 m ²
EAST WING	23 m ²
ENTRY DECK	9 m ²
EAST DECK	4 m ²
	169 m ²

FIXTURE AND FITTINGS NOTE
ALL PLUMBING AND ELECTRICAL FIXTURES AND FITTINGS SHALL BE SCHEDULED BY THE CONTRACTOR FOR APPROVAL BY THE OWNER. LOCATIONS SHALL BE CONFIRMED BY THE OWNER ON SITE PRIOR TO FINAL INSTALLATION

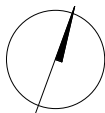
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ALTERATIONS
6 PERRINS RD. MARGATE
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PROPOSED FLOOR PLANS

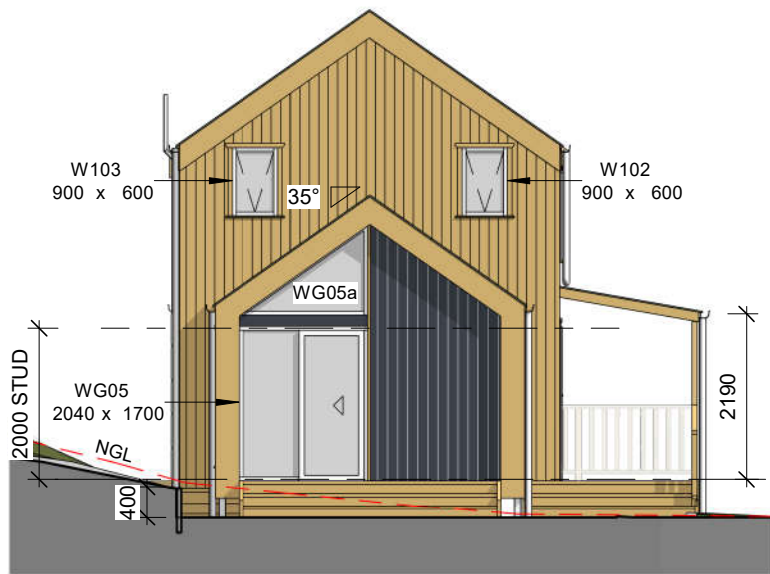
Project number	251110
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Current Revision	10/08/26 R6

2 A-02

Scale on A3 1 : 100



1 ELEV - NORTH
1 : 100



2 ELEV - EAST
1 : 100



3 ELEV - SOUTH
1 : 100



4 ELEV - WEST
1 : 100

EXTERNAL FINISHES
WALL CLADDINGS: SCYON 'AXON' 133mm CEMENT SHEET CLADDING
WALL CLADDING COLOURS: NORTH AND SOUTH: PALE EUCALYPT; EAST AND WEST: IRONSTONE
WINDOW FRAMES: POWDER COATED ALUMINIUM WITH BAL SCREENS
WINDOW & EXTERIOR DOOR FRAME TRIMS: SPOTTED GUM, PROFILE TO MATCH EXISTING
GLAZING: DOUBLE GLAZED, ARGON FILLED
CEILING: RAKED/ CATHEDRAL TO LIVING EAST WING; 2.4mH FLAT/ VAULTED TO WEST WING
ROOF CLADDING: COLORBOND CUSTOM ORB. ALLOW TO RE-PAINT EXISTING ROOF TO MATCH NEW COLOUR
ROOF COLOUR: COLORBOND PALE EUCALYPT
ROOF FLASHINGS, GUTTERS, FLASHINGS: TO MATCH ROOF COLOUR. GUTTERS SHALL HAVE BAL 29 COMPLIANT LEAF GUARDS
ROOF FASCIA, BARGE BOARDS: SPOTTED GUM, STAIN TO MATCH EXISTING (BAL COMPLIANT)
DOWNPIPES: PVC WITH PAINT FINISH TO MATCH WALLS
COLUMN CLADDINGS: SPOTTED GUM WITH NATURAL STAIN FINISH (BAL COMPLIANT)
DECKS, STEPS: SPOTTED GUM WITH NATURAL STAIN FINISH, BAL COMPLIANT
(NOTE: STEPS TO HAVE NON-SLIP APPLIED TO COMPLY WITH NCC)
BALUSTRADES: SPOTTED GUM TIMBER WITH STAIN FINISH (BAL COMPLIANT)

CONTRACTOR SHALL ENSURE THAT ALL EXTERIOR MATERIALS SHALL BE BAL 29 RATED
ALL OPENINGS SHALL HAVE EMBER PROTECTION AS PER BUSHFIRE REPORT

Glazing Schedule - Double Glazed & Argon Filled - Aluminium frames, colour TBC - S/S BAL screened - HW internal reveal frames & architraves. All access doors to achieve min. 820mm clear opening to meet ABCB Livable...

Mark	Height	Width	Head Height	Description	Comments
DG01	2000	1000	2000	Main Entry Door: HW Timber with double glazed panels	TBS by owner
DG02	2150	870	2150	Hinged exterior aluminium door with double glazed panel	Match head height of adjacent existing window
W101	1200	910	1700	Awning Window	Match ex HH
W102	900	600	2000	Awning Window	
W103	900	600	2000	Awning Window	

Glazing Schedule - Double Glazed & Argon Filled - Aluminium frames, colour TBC - S/S BAL screened - HW internal reveal frames & architraves. All access doors to achieve min. 820mm clear opening to meet ABCB Livable...

Mark	Height	Width	Head Height	Description	Comments
W104	600	1635	1700	Awning Window	
WG01	2000	2400	2000	Sliding Window	
WG02	800	1700	2000	Sliding Window	
WG03	1800	1550	2000	Sliding Window	
WG04	1800	1550	2000	Sliding Window	
WG05	2040	1700	2040	Sliding Door	
WG05a	1210	1700	3400	Triangle fixed window	Measure to fit
WG06	1800	600	2000	Awning Window	
WG07	1800	600	2000	Awning Window	
WG08	1000	2400	2000	Awning Window	
WG09	1400	500	2000	Awning Window	
WG10	1400	500	2000	Awning Window	

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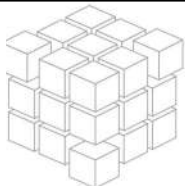
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ELEVATIONS

Project number 251110

Drawing Status DA

Current Revision 10/08/26 R6

2 A-03

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