

APPLICATION FOR PLANNING APPROVAL

Application Number:	DA-2025-288
Proposal:	Extension to dwelling and associated works
Subject Site:	40 Wolfes Road, Neika and 1122 Huon Road, Neika
Responsible Planning Officer:	Cassinia Devries

Advertised Documents:

- Application Plans
- Bushfire hazard report
- Environmental management plan
- Geotechnical site investigation and associated engineering advice
- Natural values assessment

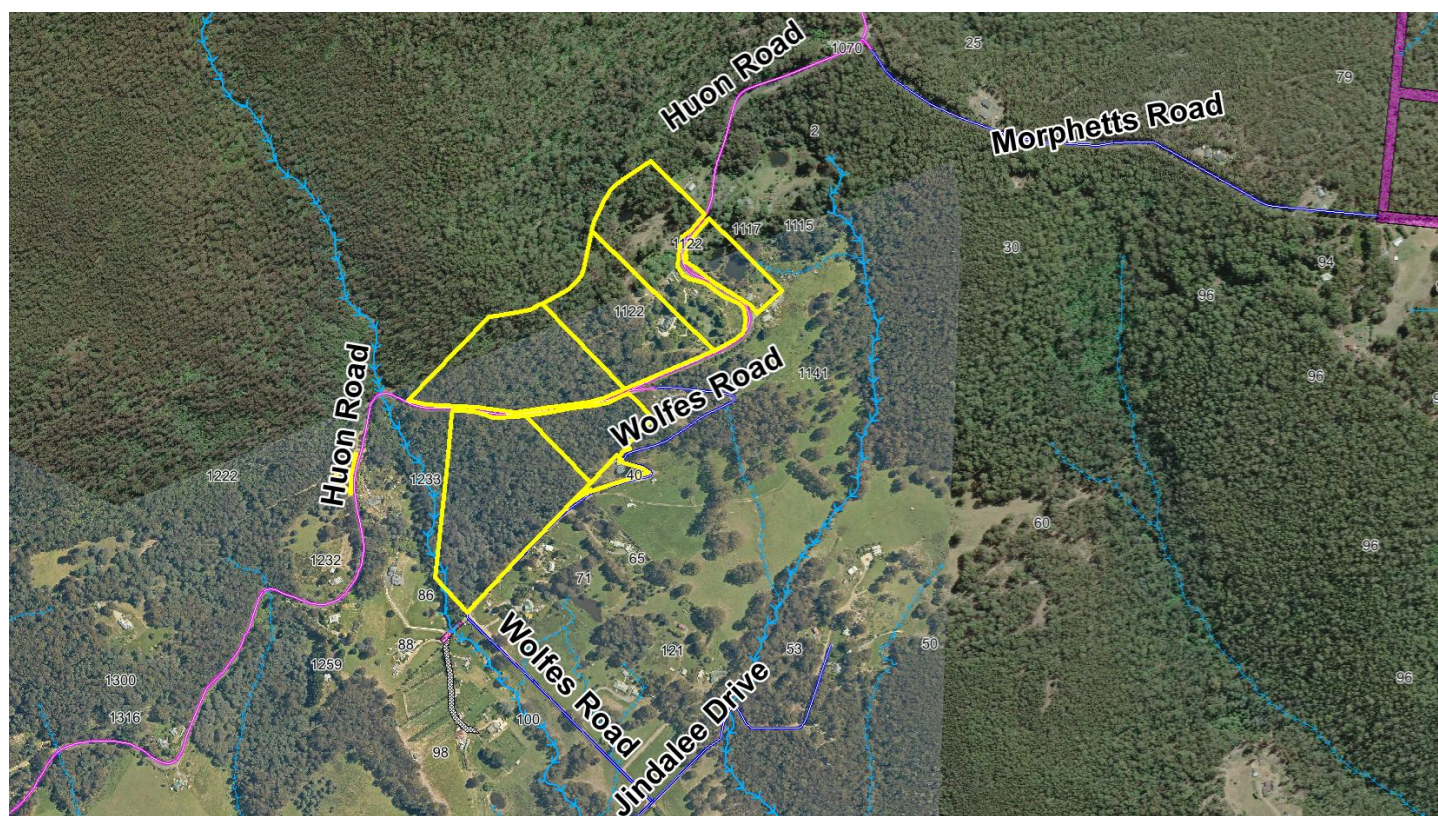
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **25 August 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



PROPOSED SUBDIVISION, EXTENSION & ALTERATIONS, 40 WOLFES ROAD

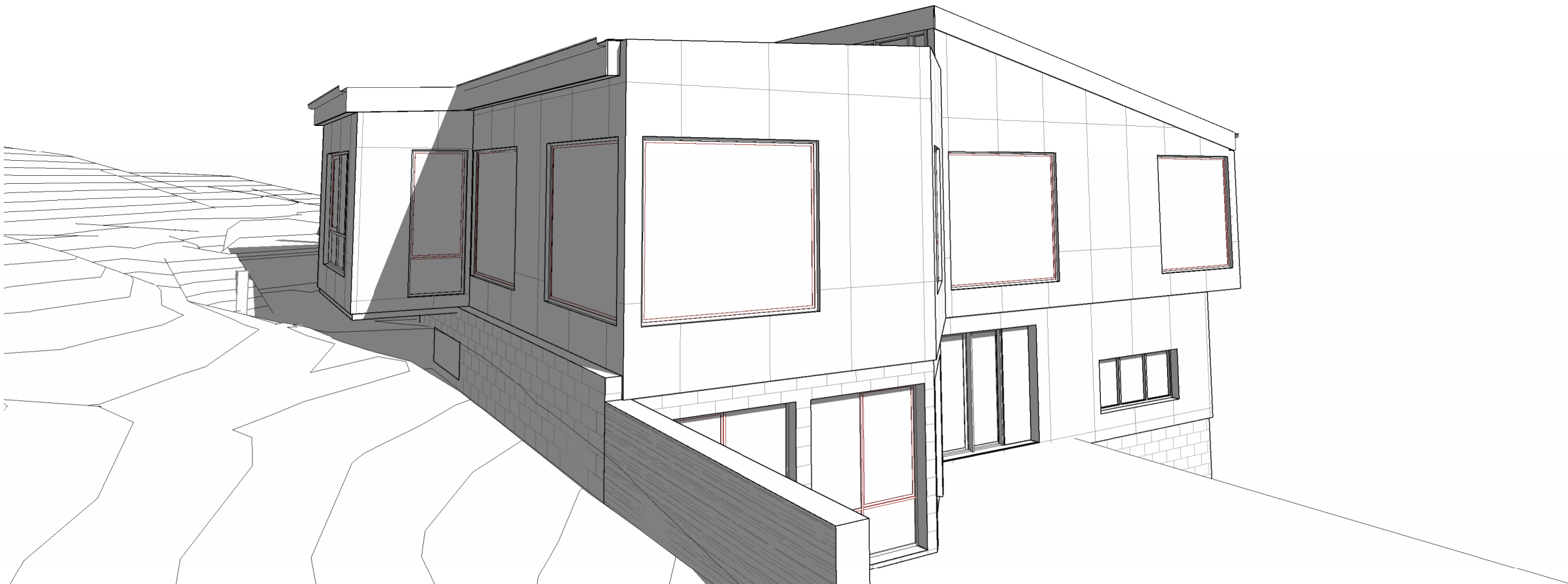
NEIKA

H.S & R.L OSTLER

PD24149

BUILDING DRAWINGS

No	DRAWING
01	OVERALL SITE PLAN
02	SITE DEMOLITION PLAN
03	SITE PLAN
04	SITE DRAINAGE PLAN
05	LOCALITY PLAN
06	DEMOLITION PLAN
07	LOWER FLOOR PLAN
08	GROUND FLOOR PLAN
12	PERSPECTIVES



EXISTING DWELLING PREVIOUSLY APPROVED
UNDER PLANNING PERMIT NO. DA-2018-91

READ IN CONJUNCTION WITH REPORTS
BY LARK & CREESE PTY LTD

- NATURAL VALUES ASSESSMENT - JOB NO#30967_52835_1
- SCENIC LANDSCAPE ASSESSMENT - JOB NO#30967_52835_1
- BUSHFIRE HAZARD REPORT - JOB NO# 30967_52835_1

Kingborough Council

Development Application: DA-2025-288

Plan Reference No: P6

Date Received: 06/8/2026

Date placed on Public Exhibition: 12/8/2026

GROUND FLOOR EXTENSION AREA	204.06	m2	(	21.97	SQUARES)
LOWER FLOOR AREA	125.39	m2	(	13.50	SQUARES)
EXISTING GROUND FLOOR AREA	104.83	m2	(	11.28	SQUARES)
TOTAL AREA	434.28			46.75	

GENERAL PROJECT INFORMATION
TITLE REFERENCE: 161408/3 & 187630/1
SITE AREA: 2820m2 & 1.717ha
DESIGN WIND SPEED: N3
SOIL CLASSIFICATION: H1
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT:NO
BAL RATING: BAL-29
OTHER KNOWN HAZARDS: BUSHFIRE PRONE,
BIODIVERSITY PROTECTION AREA, SCENIC LANDSCAPE
AREA

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p() +03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009
p(h)+03 6228 4575
info@primedesigntas.com.au
Accredited Building Practitioner:

bdoo
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

REV. DATE DESCRIPTION

CONSTRUCTION MARKUP 22/07/2025: HO

NOVEMBER 2025
PLANNING

EXISTING DWELLING PREVIOUSLY APPROVED
UNDER PLANNING PERMIT NO. DA-2018-91

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Kingborough Council

Development Application: DA-2025-288

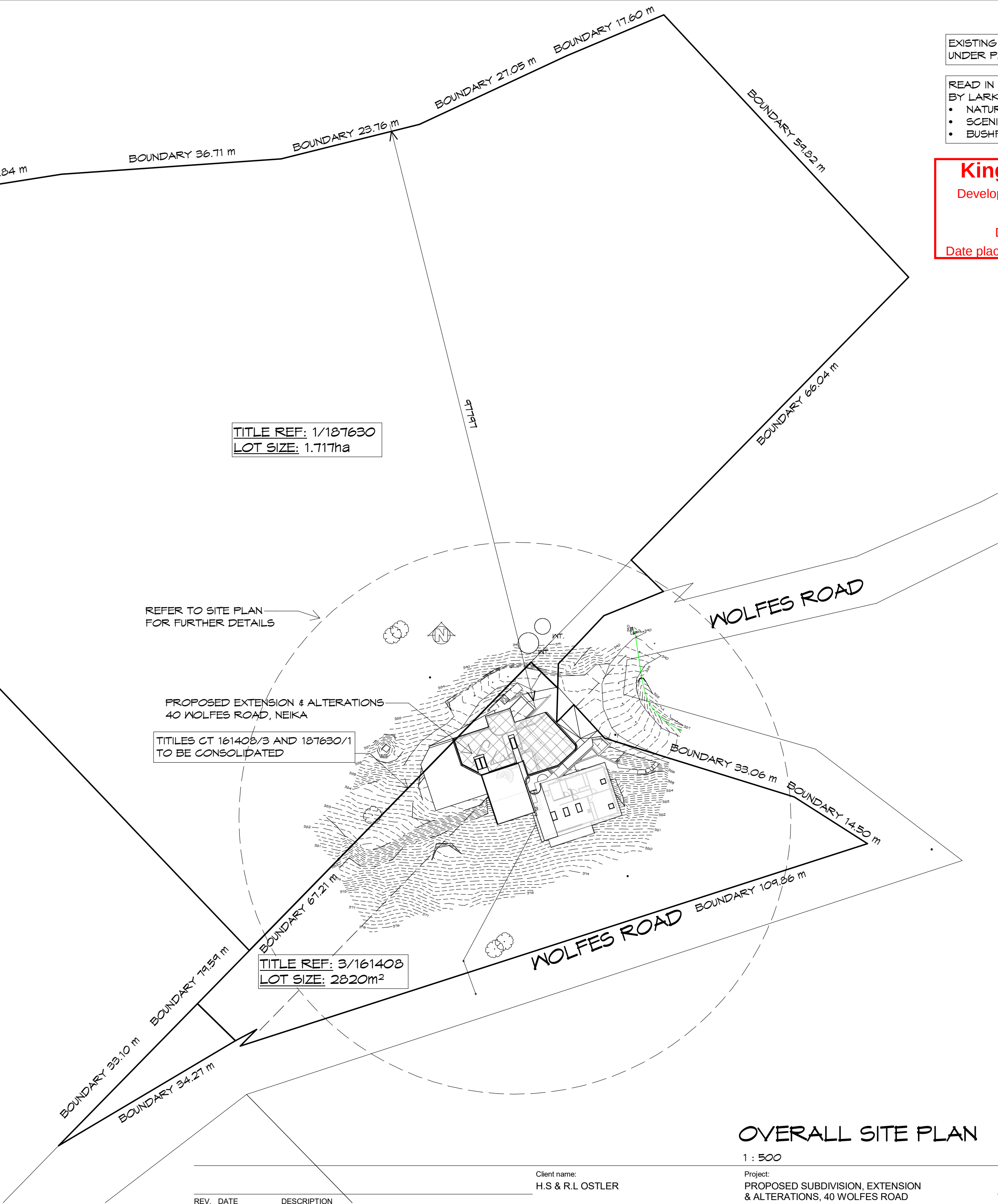
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GENERAL NOTES:

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 - TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
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 - SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
 - THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
 - HORIZONTAL DATUM IS MGA (GDA94).
 - VERTICAL DATUM IS AHD.
 - CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.
 - SURVEY BY ROBOTIC TOTAL STATION AND GPS.
 - DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.
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- LIST DATA IMPORT
- TasWater-SewerLateralLine
 - TasWater-SewerMain
 - TasWater-SewerMaintenanceHole
 - TasWater-SewerPressurisedMain
 - TasWater-WaterHydrant
 - TasWater-WaterLateralLine
 - TasWater-WaterMain
 - CadastralParcel-OwnerInformation
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 - 3D DATA TURNED OFF IN LAYER CONTROL.
- 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D



CONSTRUCTION MARKUP 22/07/2025: HO

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Prime
Design

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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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• TasWater-SewerPressurisedMain
• TasWater-WaterHydrant
• TasWater-WaterLateralLine
• TasWater-WaterMain
• CadastralParcel-OwnerInformation
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14. 3D DATA TURNED OFF IN LAYER CONTROL.
• 3D TIN
• MAJOR CONTOUR 3D
• MINOR CONTOUR 3D

TITLES CT 161408/3 AND 187630/1 TO BE CONSOLIDATED

DATUM 2:
BENCHMARK SPIKE
RL: 389.86

REMOVE
EXISTING
CONTAINER/SH.
ED

REMOVE AND
RELOCATE EXISTING
ANTS SYSTEM TANKS

REMOVE AND
RELOCATE EXISTING
WATER TANKS

DATUM 4:
BENCHMARK R/S
IN HEADWALL
RL: 388.92

DATUM 3:
BENCHMARK SPIKE
RL: 387.80

DATUM 1:
BENCHMARK SPIKE
RL: 379.16

TITLES CT 161408/3 AND 187630/1 TO BE CONSOLIDATED

EXISTING DWELLING PREVIOUSLY APPROVED UNDER PLANNING PERMIT NO. DA-2018-91

READ IN CONJUNCTION WITH REPORTS BY LARK & CREESE PTY LTD
• NATURAL VALUES ASSESSMENT
• SCENIC LANDSCAPE ASSESSMENT
• BUSHFIRE HAZARD REPORT

DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 19.11.2025 Drafted by: M.R. Approved by: Approver

Project/Drawing no: PD24149 - 02 Scale @A2: 1 : 200 Revision: 06

Accredited building practitioner: Frank Gekus - No CC246A
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SITE DEMOLITION PLAN

1 : 200

REV. DATE DESCRIPTION

CONSTRUCTION MARKUP 22/07/2025: HO

Kingborough Council

Development Application: DA-2025-288

Plan Reference No: P6

Date Received: 06/8/2026

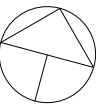
Date placed on Public Exhibition: 12/8/2026

Client name:
H.S & R.L OSTLER

Project:
PROPOSED SUBDIVISION, EXTENSION
& ALTERATIONS, 40 WOLFES ROAD
NEIKA

Drawing:
SITE DEMOLITION PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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• 3D TIN
• MAJOR CONTOUR 3D
• MINOR CONTOUR 3D

TITLES CT 161403/3 AND 187630/1 TO BE CONSOLIDATED

10000L NON COMBUSTIBLE BUSHFIRE FIRE FIGHTING TANK REFER ASSESSMENT PREPARED BY LARK & CREESE JOB NO: 30967-52836-01 FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

RELOCATED WATER TANKS FOR BUSHFIRE AND DOMESTIC USE

DATUM 2: BENCHMARK SPIKE RL: 389.86

DATUM 4: BENCHMARK R/S IN HEADWALL RL: 388.92

DATUM 3: BENCHMARK SPIKE RL: 387.80

DATUM 1: BENCHMARK SPIKE RL: 379.16

TITLES CT 161403/3 AND 187630/1 TO BE CONSOLIDATED

REFER TO TREE TABLE, PD24149 13, FOR TREE DATA

EXISTING DWELLING PREVIOUSLY APPROVED UNDER PLANNING PERMIT NO. DA-2018-91

READ IN CONJUNCTION WITH REPORTS BY LARK & CREESE PTY LTD
• NATURAL VALUES ASSESSMENT
• SCENIC LANDSCAPE ASSESSMENT
• BUSHFIRE HAZARD REPORT

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL-29 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

SITE PLAN
1 : 200

Kingborough Council
Development Application: DA-2025-288
Plan Reference No: P6
Date Received: 06/8/2026
Date placed on Public Exhibition: 12/8/2026

CONSTRUCTION MARKUP 22/07/2025: HO

REV.	DATE	DESCRIPTION
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Client name:
H.S & R.L OSTLER

Project:
PROPOSED SUBDIVISION, EXTENSION & ALTERATIONS, 40 WOLFES ROAD NEIKA
Drawing:
SITE PLAN

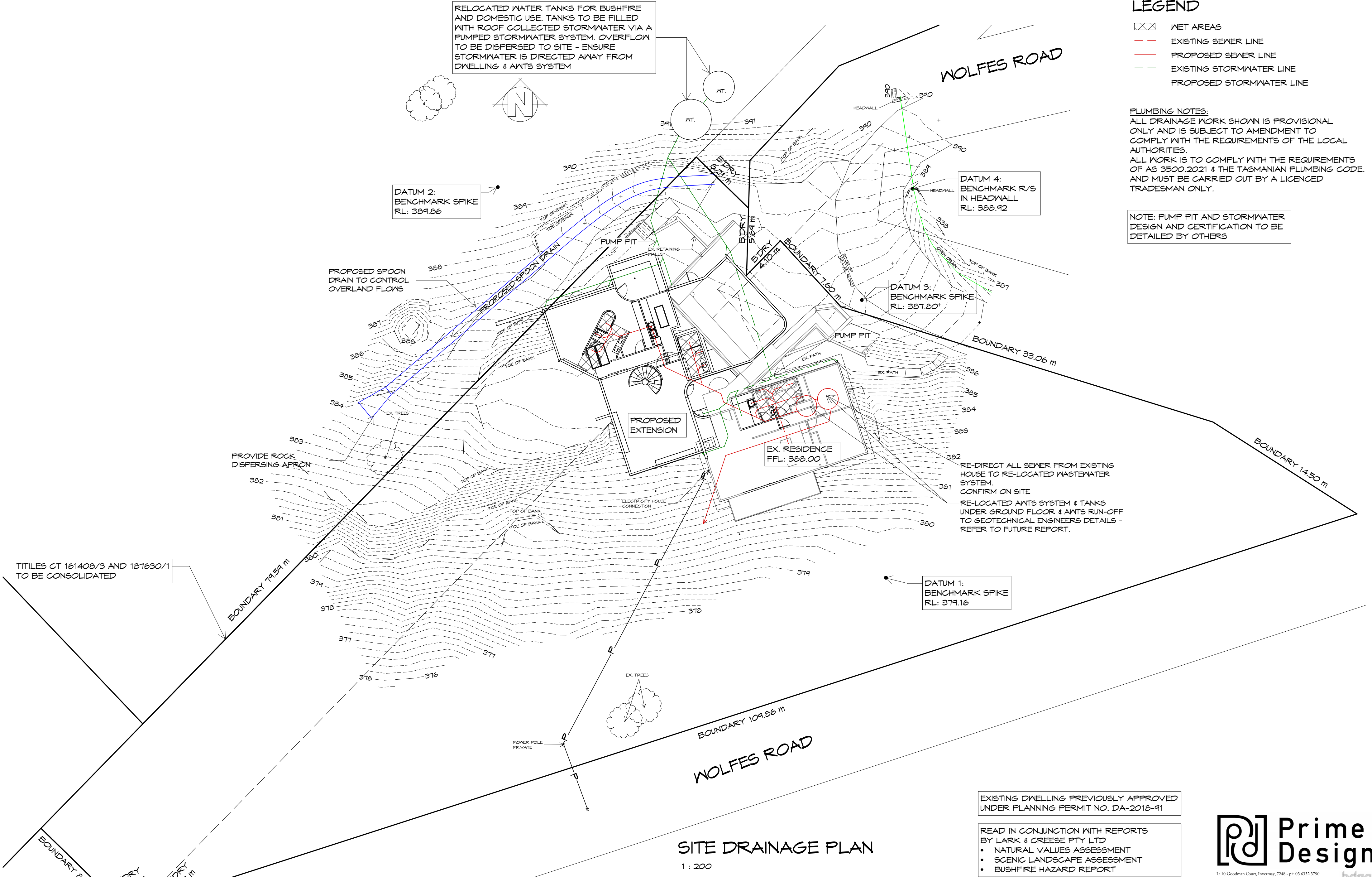
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info@primedesigntas.com.au primedesigntas.com.au

Date: 19.11.2025
Drafted by: M.R.
Approved by: Approver

Project/Drawing no: PD24149 - 03
Scale @A2: 1 : 200
Revision: 06

Accredited building practitioner: Frank Gekus - No CC246A
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LEGEND

WET AREAS

EXISTING SEWER LINE

PROPOSED SEWER LINE

EXISTING STORMWATER LINE

PROPOSED STORMWATER LINE

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE, AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE: PUMP PIT AND STORMWATER DESIGN AND CERTIFICATION TO BE DETAILED BY OTHERS

Document Set ID: 4817730

Version: 1, Version Date: 11/08/2026

Kingborough Council

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H.S & R.L OSTLER

Project:

PROPOSED SUBDIVISION, EXTENSION & ALTERATIONS, 40 WOLFES ROAD NEIKA

Drawing:

SITE DRAINAGE PLAN

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bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Date:

19.11.2025

Drafted by:

M.R.

Approved by:

Approver

Project/Drawing no:

PD24149 - 04

Scale @A2 :

As indicated

Revision:

06

Accredited building practitioner:

Frank Geskus - No CC246A

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THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL-29**. REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH A53959.

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PROPOSED EXTENSION,
40 WOLFES ROAD, NEIKA
CT 161408/3

LOCALITY PLAN
1 : 1000

THIS SITE IS ZONED ENVIRONMENT LIVING AND REQUIRES A BUSHFIRE ASSESSMENT. RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.
REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

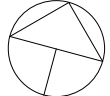
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PLANNING
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LOCALITY PLAN



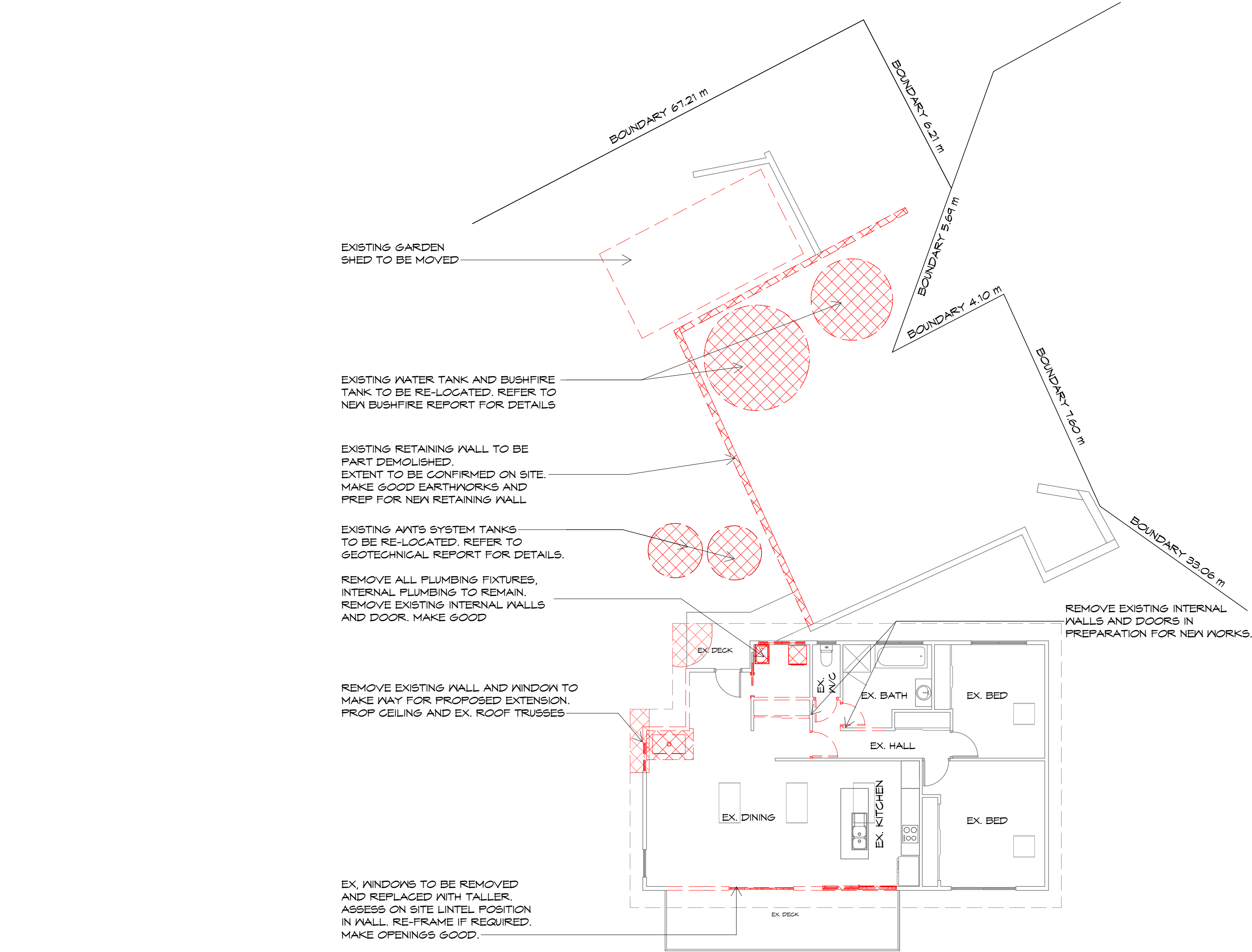
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PD24149 - 05	1 : 1000	06

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GROUND FLOOR DEMOLITION PLAN

1 : 100

GROUND FLOOR EXTENSION AREA	204.06	m2	(	21.97	SQUARES)
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Date:	Drafted by:	Approved by:		
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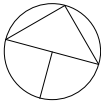
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PROPOSED SUBDIVISION, EXTENSION
& ALTERATIONS, 40 WOLFES ROAD
NEIKA

Drawing:
DEMOLITION PLAN

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



LEGEND

CONC EXTERNAL CONCRETE PAVING SLAB
EX COL EXISTING COLUMN
S/D SLIDING DOOR
SHR SHOWER TO CLIENT SPEC
VANITY SELECTED VANITY TO CLIENT SPEC
W/C WASH CLOSET

NEW WALLS
NEW OFF-FORM CONCRETE
WALLS C/W EXTERNAL, BATTENS
AND EXTERNAL CLADDING
NEW BLOCK VENEER WALLS
NEW TIMBER FRAMED WALLS
C/W LIGHTWEIGHT CLADDING

LOWER FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	INTERNAL TIMBER DOOR	
2	820	INTERNAL TIMBER DOOR	
12	820	EXTERNAL SOLID DOOR	

LOWER FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1000	2410	FIXED COMMERCIAL WINDOW	COMMERCIAL FRAME
W2	2100	2770	STACKING SLIDING DOOR	DOWELL THERMALINE
W3	2100	2910	DOUBLE SLIDING DOOR	DOWELL THERMALINE
W4	2100	2110	SLIDING DOOR	DOWELL THERMALINE
W5	2100	1810	AWNING WINDOW	DOWELL THERMALINE
W6	2100	1810	AWNING WINDOW	DOWELL THERMALINE
W7	2100	1810	AWNING WINDOW	DOWELL THERMALINE
W8	1000	4010	FIXED COMMERCIAL WINDOW	COMMERCIAL FRAME
W31	600	1810	FIXED WINDOW	DOWELL THERMALINE

NOTE: ALL WINDOW SIZES TO BE CONFIRMED BY GLAZIER.
THERMALLY BROKEN ALUMINIUM WINDOWS, DOUBLE GLAZING
COMPLETE WITH FLY SCREENS TO COMPLY BAL-29
TO BE 'DOWELL THERMALINE' U.N.O.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR
TO ORDERING.
C/W LOW-REFLECTANCE GLAZING TO PROTECT AGAINST
BIRD STRIKE

STAIRS			
	No RISERS	RISER H'T	TREAD DEPTH
A	15	190	260
C	2	180	250

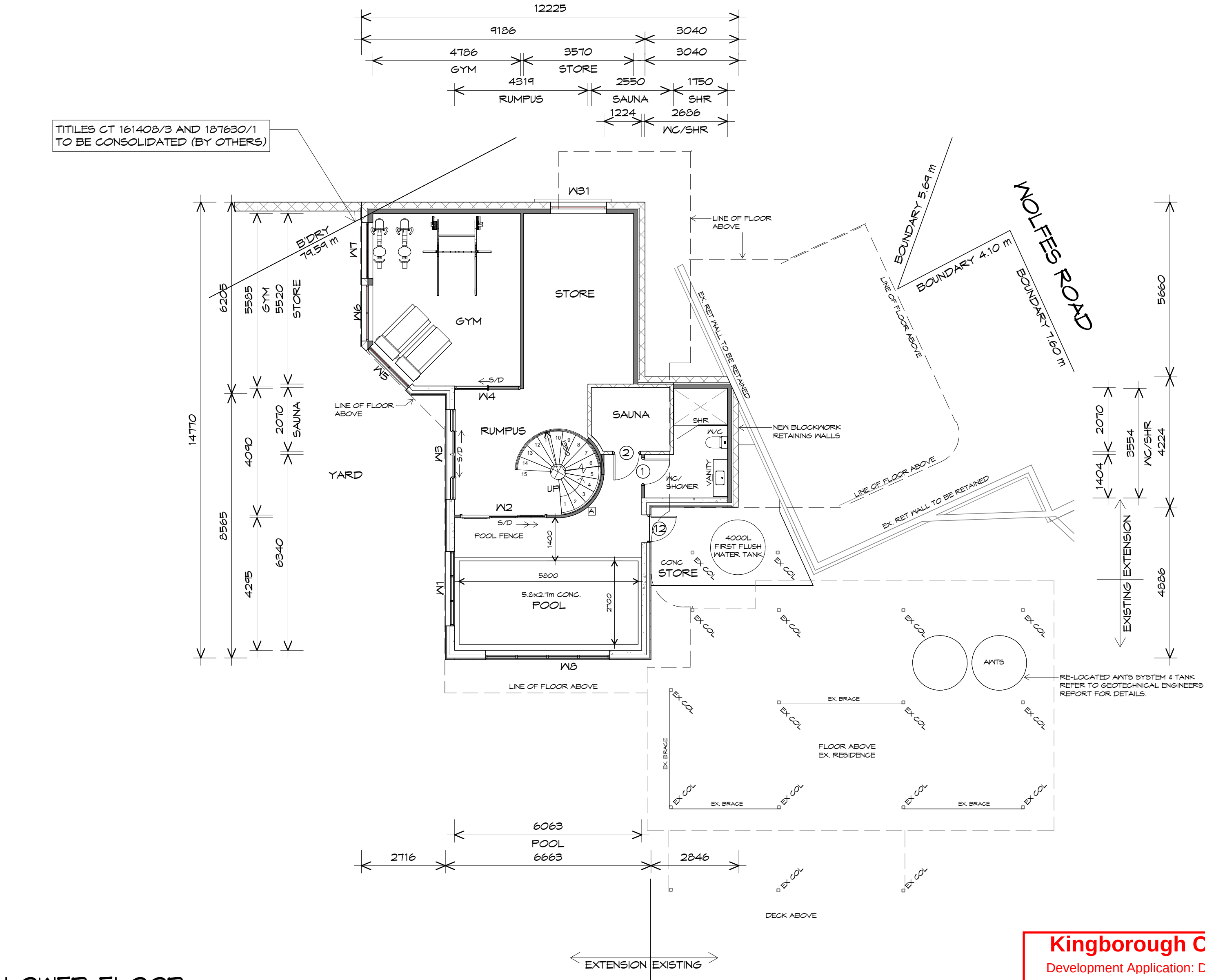
NON SLIP TO COMPLY NCC 2022



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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au
bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Date: 19.11.2025	Drafted by: M.R.	Approved by: Approver
Project/Drawing no: PD24149 - 07	Scale @A2: As indicated	Revision: 06

Accredited building practitioner: Frank Geskus - No CC246A
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LOWER FLOOR

1 : 100

GROUND FLOOR EXTENSION AREA	204.06	m2	(21.97	SQUARES)
LOWER FLOOR AREA	125.39	m2	(13.50	SQUARES)
EXISTING GROUND FLOOR AREA	104.83	m2	(11.28	SQUARES)
TOTAL AREA	434.28		46.75	

Kingborough Council

Development Application: DA-2025-288

Plan Reference No: P6

Date Received: 06/8/2026

Date placed on Public Exhibition: 12/8/2026

Client name:
H.S & R.L OSTLER

Project:
PROPOSED SUBDIVISION, EXTENSION
& ALTERATIONS, 40 WOLFES ROAD
NEIKA

Drawing:
LOWER FLOOR PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

REV. DATE DESCRIPTION

CONSTRUCTION MARKUP 22/07/2025: HO

LEGEND

- 5.4M X 2.4H

PANEL

LIFT

DOOR

BT

COL.

CSD

FR.

S/D

SK

TR

W/C

W11

W14

W16

W17

W19

W20

W21

W25

W26
- BATH, TO CLIENTS SPEC

CUPBOARD

CAVITY SLIDING DOOR

SLIDING DOOR

ROOF RAKE

WASHING MACHINE

MANUFACTURER SPECS

COLORBOND TRIMDEK, INSTALLED TO MANUFACTURER SPEC

NEW WALLS

WASH CLOSET

NEW OFF-FORM CONCRETE

WALLS C/W EXTERNAL, BATTENS

AND EXTERNAL CLADDING

EXTERNAL TIMBER FRAMED WALL C/W

NEW BLOCK VENEER WALLS

LIGHTWEIGHT CLADDING

NEW TIMBER FRAMED WALLS

C/W LIGHTWEIGHT CLADDING

GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
3	1020	CAVITY SLIDING DOOR	
4	870	INTERNAL TIMBER DOOR	
6	870	INTERNAL TIMBER DOOR	
7	870	INTERNAL TIMBER DOOR	
8	720	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
14	870	INTERNAL TIMBER DOOR	CUSTOM CURVED

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W9	2400	2410	FIXED WINDOW	DOWELL THERMALINE
W10	2400	2710	FIXED WINDOW	DOWELL THERMALINE
W11	2100	1810	AWNING WINDOW	DOWELL THERMALINE
W12	2100	2410	FIXED WINDOW	DOWELL THERMALINE
W13	2100	2410	FIXED WINDOW	DOWELL THERMALINE
W14	2100	2410	FIXED WINDOW	DOWELL THERMALINE
W15	2400	910	AWNING WINDOW	DOWELL THERMALINE
W16	2100	2770	AWNING WINDOW	DOWELL THERMALINE
W18	1375	610	FIXED WINDOW	DOWELL THERMALINE
W19	1200	610	AWNING WINDOW	DOWELL THERMALINE
W20	2400	4810	DOUBLE SLIDING DOOR	DOWELL THERMALINE
W21	1200	2770	AWNING WINDOW	DOWELL THERMALINE
W25	2400	1210	FIXED WINDOW	DOWELL THERMALINE
W26	2400	1210	FIXED WINDOW	DOWELL THERMALINE

NOTE: ALL WINDOW SIZES TO BE CONFIRMED BY GLAZIER.
THERMALLY BROKEN ALUMINIUM WINDOWS, DOUBLE GLAZING
COMPLETE WITH FLY SCREENS TO COMPLY BAL-29.
TO BE 'DOWELL THERMALINE' U.N.O.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR
TO ORDERING

STAIRS			
	NO RISERS	RISER H'T	TREAD DEPTH
A	15	190	260
C	2	180	250

NON SLIP TO COMPLY NCC 2022

Kingborough Council

Development Application: DA-2025-288

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info@primedesigntas.com.au primedesigntas.com.au

Date: 19.11.2025
Drafted by: M.R.
Project/Drawing no: PD24149 - 08
Scale @A2: 1 : 100
Approved by: Approver
Revision: 06

Accredited building practitioner: Frank Geskus -No CC246A
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GROUND FLOOR PLAN

1 : 100

GROUND FLOOR EXTENSION AREA	204.06	m2	(	21.97	SQUARES)
LOWER FLOOR AREA	125.39	m2	(	13.50	SQUARES)
EXISTING GROUND FLOOR AREA	104.83	m2	(	11.28	SQUARES)
TOTAL AREA	434.28			46.75	

REV. DATE DESCRIPTION

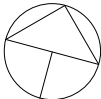
CONSTRUCTION MARKUP 22/07/2025: HO

Client name:
H.S & R.L OSTLER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED SUBDIVISION, EXTENSION
& ALTERATIONS, 40 WOLFES ROAD
NEIKA

Drawing:
GROUND FLOOR PLAN



CLADDING

- MATRIX: DULUX MONUMENT
- CEMENTEL: BARESTONE NATURAL FINISH
- SHO SUGI BAN: NATURAL CHARRED FINISH

ROOF/FASCIA/GUTTERS

- COLORBOND IRONSTONE

BALUSTRADE

- STAINLESS STEEL FRAME & WIRE

COLUMNS

- PAINTED FINISH - DULUX MATT BLACK

WINDOW/DOOR FRAMES

- ALUMINIUM POWDER COATED - MONUMENT



Prime
Design

bdac
BUILDING DESIGNERS ASSOCIATION OF CANADA

Project/Drawing no:	Scale @A2 :	Revision:
BD34149_00	1 : 100	06

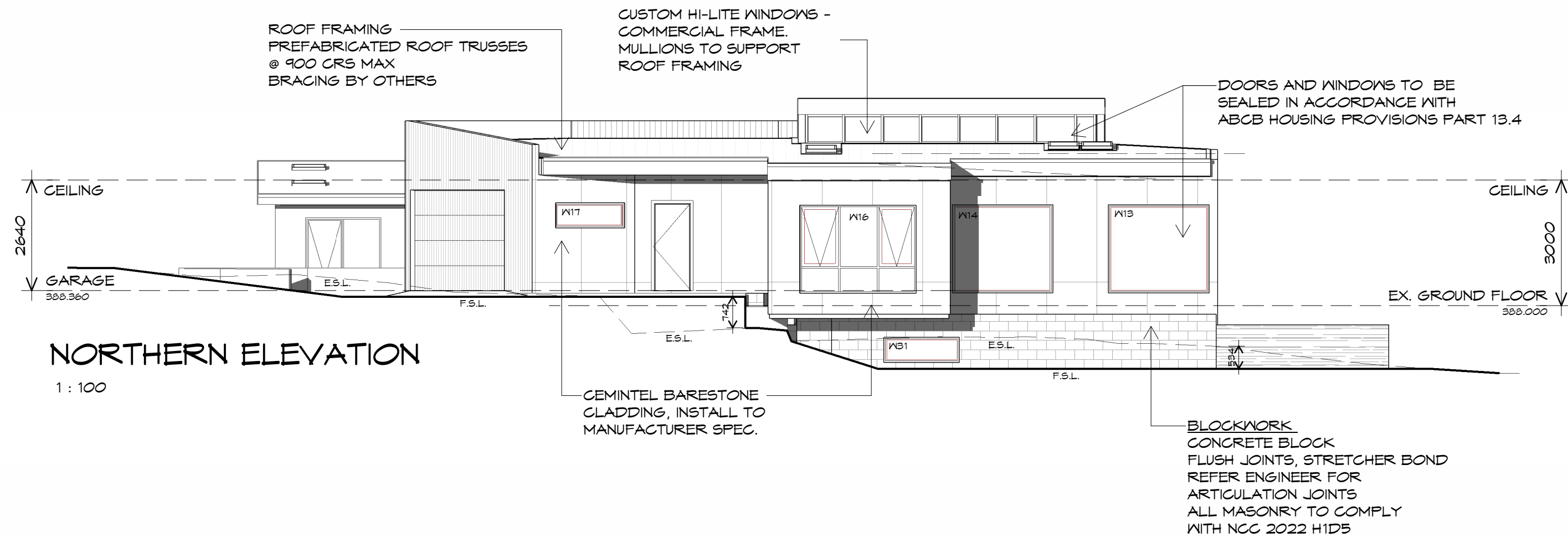
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PLANNING

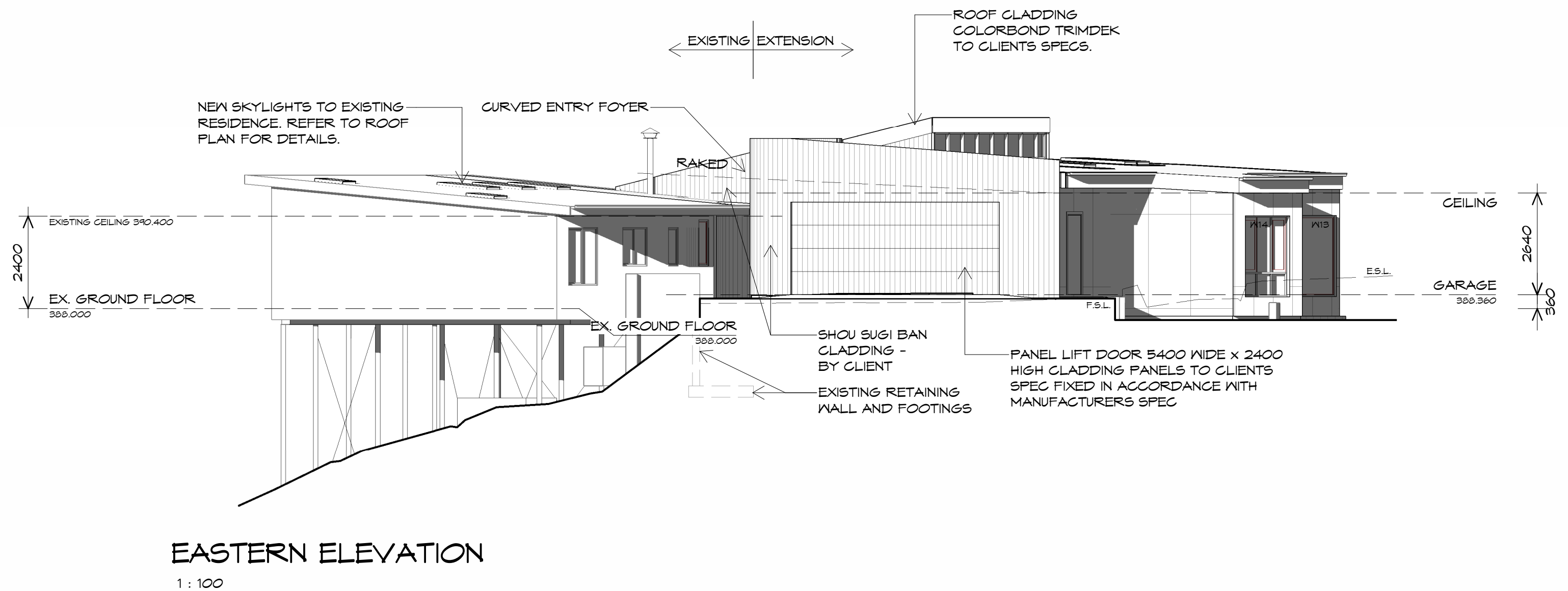
NOTE: DO NOT SCALE OFF DRAWINGS

NOTE: DO NOT SCALE OFF DRAWINGS

Document Set ID: 4817730
Version: 1, Version Date: 11/08/2026



- EXTERNAL COLOURS
(LRY TO BE LESS THAN 40 ON ALL EXTERNAL COLOURS)
- CLADDING
- MATRIX: DULUX MONUMENT
 - CEMINTEL: BARESTONE NATURAL FINISH
 - SHO SUGI BAN: NATURAL CHARRED FINISH
- ROOF/FASCIA/GUTTERS
- COLORBOND IRONSTONE
- BALUSTRADE
- STAINLESS STEEL FRAME & WIRE
- COLUMNS
- PAINTED FINISH - DULUX MATT BLACK
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Kingborough Council
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READ IN CONJUNCTION WITH REPORTS
BY LARK & CREESE PTY LTD

- NATURAL VALUES ASSESSMENT
- SCENIC LANDSCAPE ASSESSMENT
- BUSHFIRE HAZARD REPORT

ALL WINDOWS C/W LOW-
REFLECTANCE GLAZING TO
PROTECT AGAINST BIRD STRIKE

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bdoo
BUILDING DESIGNERS
ASSOCIATION OF TASMANIA

CONSTRUCTION MARKUP 22/07/2025: HO

Client name:
H.S & R.L OSTLER

Project:
PROPOSED SUBDIVISION, EXTENSION
& ALTERATIONS, 40 WOLFES ROAD
NEIKA

Drawing:
ELEVATIONS

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Date: 19.11.2025	Drafted by: M.R.	Approved by: Approver
Project/Drawing no: PD24149 - 10	Scale @A2 : 1 : 100	Revision: 06
Accredited building practitioner: COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd		

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

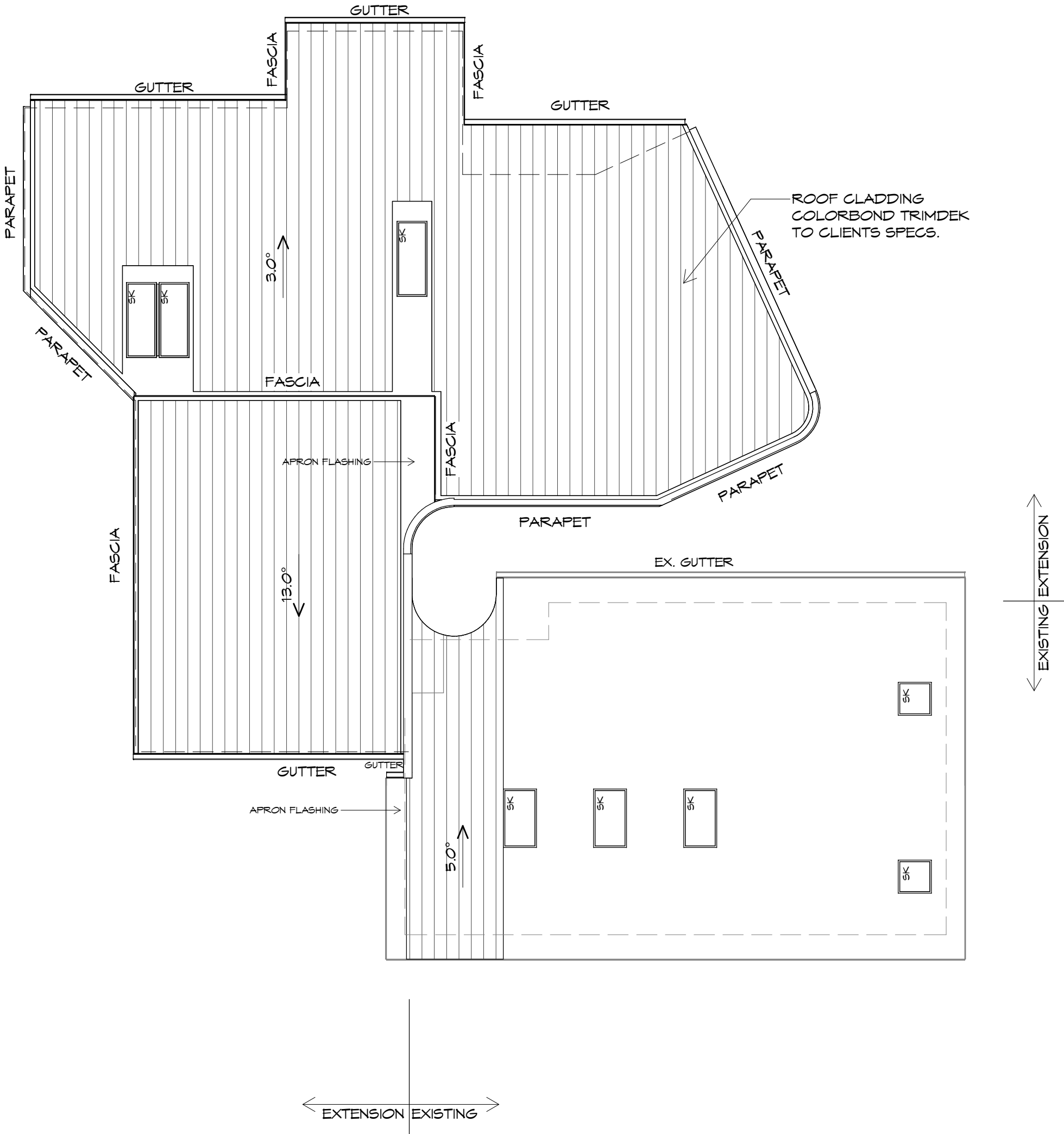
UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OFVALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN
1 : 100

Kingborough Council

Development Application: DA-2025-288

Plan Reference No: P6

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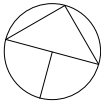
BUILDING DESIGNERS ASSOCIATION OF TASMANIA

CONSTRUCTION MARKUP 22/07/2025: HO

Client name:
H.S & R.L OSTLER

Project:
PROPOSED SUBDIVISION, EXTENSION
& ALTERATIONS, 40 WOLFES ROAD
NEIKA

Drawing:
ROOF PLAN



Date: 19.11.2025	Drafted by: M.R.	Approved by: Approver
Project/Drawing no: PD24149 - 11	Scale @A2 : 1 : 100	Revision: 06
Accredited building practitioner: Frank Geskus -No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd		

Table 4 – Register of trees potentially impacted by proposal

ID#	Species	Diameter at breast height (cm)	Tree Protection Zone (m)	Conservation Status (Offset Policy 6.10)	Action
1	<i>Eucalyptus regnans</i>	61	7.32		Retain
2	<i>Eucalyptus regnans</i>	42	5.04		Retain
3	<i>Eucalyptus regnans</i>	72	8.64	Very High	Retain
4	<i>Acacia melanoxylon</i>	55	6.6		Retain
5	<i>Acacia melanoxylon</i>	40	4.8		Retain
6	<i>Eucalyptus regnans</i>	79	9.48	Very High	Retain
7	<i>Eucalyptus regnans</i>	75	9	Very High	Retain
8	<i>Eucalyptus regnans</i>	28	3.36		Retain
9	<i>Eucalyptus regnans</i>	31	3.72		Retain
10	<i>Eucalyptus regnans</i>	40	4.8		Retain
11	<i>Eucalyptus obliqua</i>	40	4.8		Retain
12	<i>Eucalyptus obliqua</i>	66	7.92		Retain
13	<i>Eucalyptus obliqua</i>	67	8.04		Retain
14	<i>Eucalyptus regnans</i>	28	3.36		Remove to comply with BHMA
15	<i>Eucalyptus obliqua</i>	50	6		Retain
16	<i>Eucalyptus regnans</i>	57	6.84		Remove to comply with BHMA
17	<i>Eucalyptus regnans</i>	29	3.48		Remove to comply with BHMA
18	<i>Eucalyptus regnans</i>	42	5.04		Remove to comply with BHMA
19	<i>Eucalyptus regnans</i>	220	15.00	Very High	Retain
20	<i>Eucalyptus regnans</i>	100	12	Very High	Retain
21	<i>Acacia melanoxylon</i>	38	4.56		Retain
22	<i>Eucalyptus regnans</i>	28	3.36		Retain

Kingborough Council

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Plan Reference No: P6

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Markup for KC
Submission

RELOCATED WATER TANKS FOR BUSHFIRE
AND DOMESTIC USE. TANKS TO BE FILLED
WITH ROOF COLLECTED STORMWATER VIA A
PUMPED STORMWATER SYSTEM. OVERFLOW
TO BE DISPERSED TO SITE - ENSURE
STORMWATER IS DIRECTED AWAY FROM
DWELLING & ANTS SYSTEM

LEGEND

WET AREAS

EXISTING SEWER LINE

PROPOSED SEWER LINE

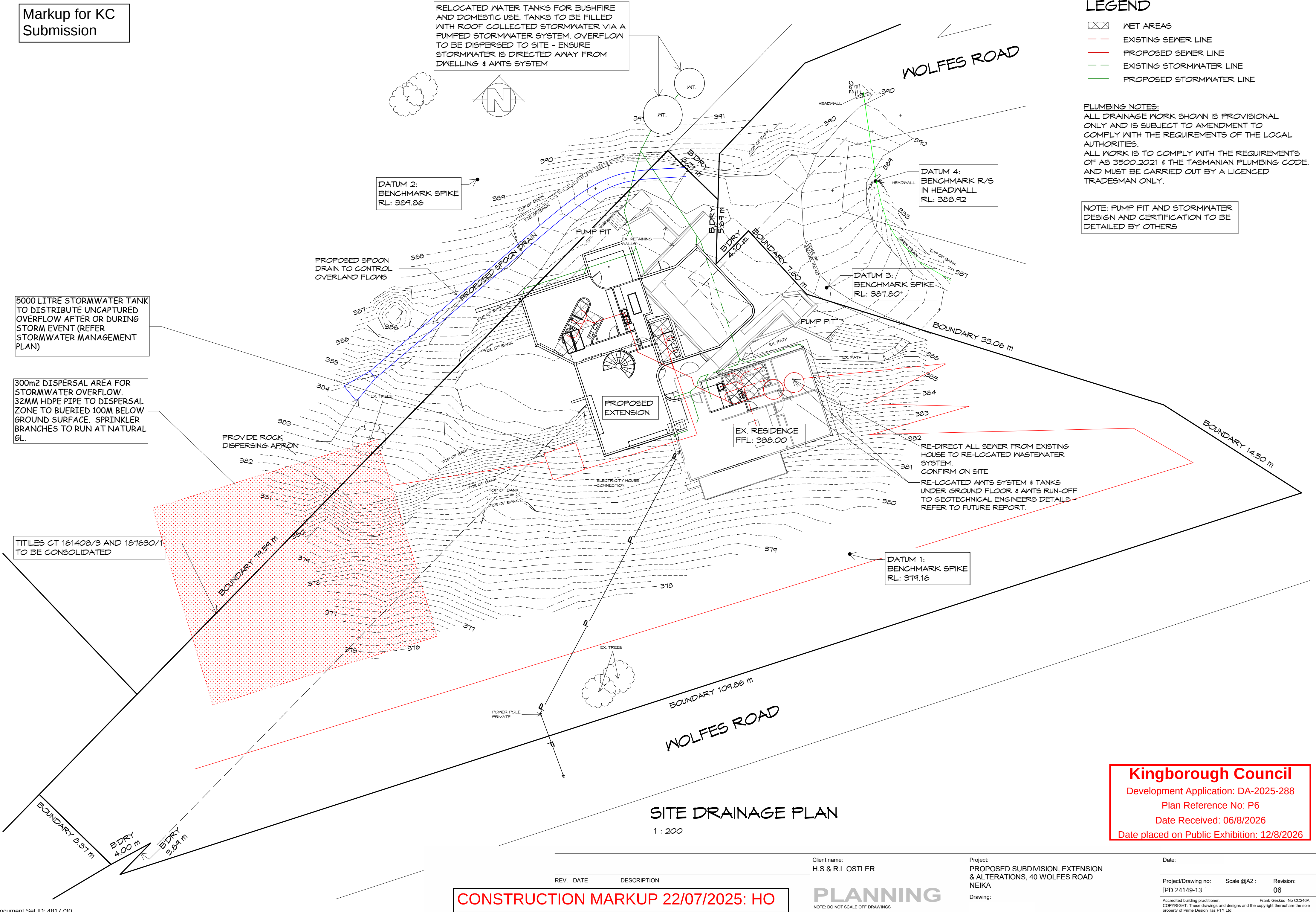
EXISTING STORMWATER LINE

PROPOSED STORMWATER LINE

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL
ONLY AND IS SUBJECT TO AMENDMENT TO
COMPLY WITH THE REQUIREMENTS OF THE LOCAL
AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS
OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE.
AND MUST BE CARRIED OUT BY A LICENCED
TRADESMAN ONLY.

NOTE: PUMP PIT AND STORMWATER
DESIGN AND CERTIFICATION TO BE
DETAILED BY OTHERS



SITE DRAINAGE PLAN
1 : 200

Kingborough Council

Development Application: DA-2025-288

Plan Reference No: P6

Date Received: 06/8/2026

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