

APPLICATION FOR PLANNING APPROVAL

Application Number:	DA-2023-370
Proposal:	Dwelling extension, outbuilding and associated works including dam (retrospective)
Subject Site:	6 Honeys Road, Flowerpot and adjoining road reservations (CT 140360/3 & CT 5261/3)
Responsible Planning Officer:	Cassinia Devries

Advertised Documents:

- Application Plans
- Bushfire hazard report

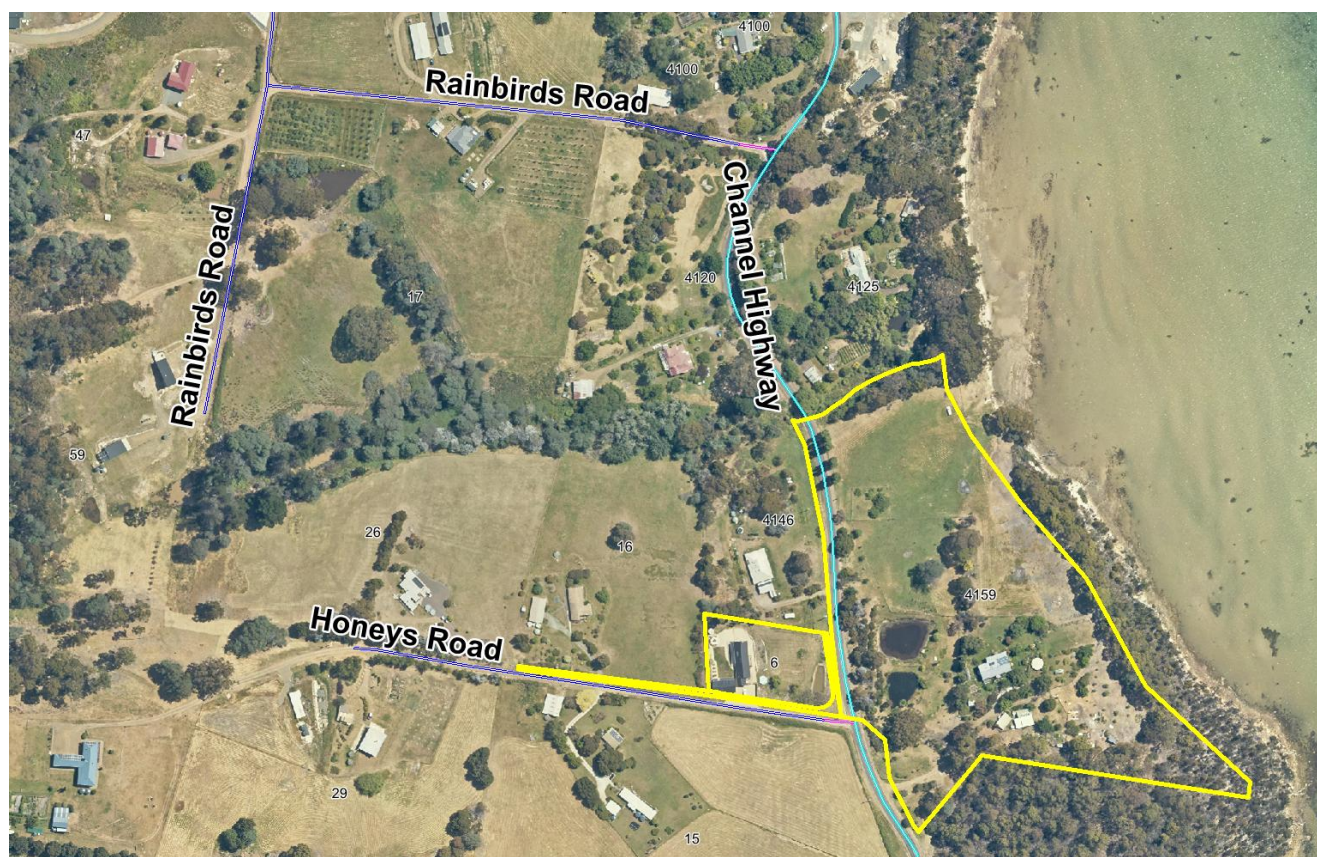
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **4 September 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



AS 3959 - 2018 COMPLIANCE

ALL WORK SHALL COMPLY WITH AS 3959:2018 'CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS'. CONSTRUCTION SHALL MEET CRITERIA SPECIFIED FOR BAL-19.

WALL CLADDING SHALL BE AS SPECIFIED ON DRAWINGS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

IN ACC. WITH PART 6.4.2 ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 2mm (PART 3.6).

EXCEPT FOR EXCLUSIONS IN PROVIDED IN CLAUSE 3.6, VENTS & WEEPHOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH MESH (2mm MAX. APERTURE) OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

WINDOW ASSEMBLIES (INCL. FRAMING, GLAZING & SCREENING) TO CONFORM WITH PART 6.5.3 REQUIREMENTS.

OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED INTERNALLY OR EXTERNALLY WITH MESH OR PERFORATED SHEET (2mm MAX. APERTURE) OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM IN A METAL (OR PERMITTED TIMBER SPECIES) FRAME (PART 6.5.2).

EXTERNAL DOORS (IN ACCORDANCE WITH PARTS 6.5.4 & 6.5.5) SHALL BE NON-COMBUSTIBLE OR MADE OF BUSHFIRE-RESISTING TIMBER OR GRADE A SAFETY GLASS 5mm (MIN.) THICKNESS (EXTERNAL FACE ONLY IF DOUBLE-GLAZED) IN METAL (OR PERMITTED TIMBER SPECIES) FRAME.

DOORS SHALL BE TIGHT-FITTING TO THE DOOR FRAME (& TO AN ABUTTING DOOR, IF APPLICABLE). SLIDING DOORS SHALL BE IN A METAL FRAME & GLAZING WITHIN DOOR SHALL BE IN A METAL FRAME, & ANY GLAZING INCORPORATED IN SLIDING DOORS SHALL BE GRADE A SAFETY GLASS 5mm (MIN.) THICKNESS.

SLIDING PANELS SHALL BE TIGHT FITTING IN THE FRAMES.

GARAGE DOOR SHALL BE IN ACCORDANCE WITH PART 6.5.6.

ROOF/WALL & ROOF/ROOF JUNCTIONS SHALL BE SEALED OR OTHERWISE PROTECTED IN ACCORDANCE WITH CLAUSE 3.6.

ROOF VENTILATION OPENINGS, SUCH AS GABLE & ROOF VENTS, SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAX. 2mm APERTURE MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

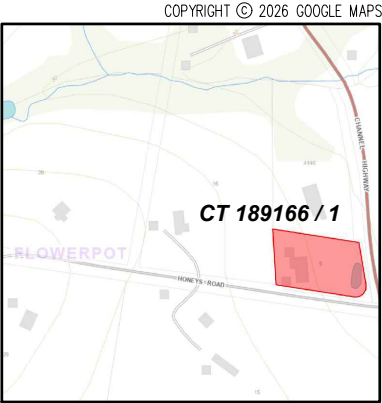
VERANDAH ROOF SHALL BE IN ACCORDANCE WITH PART 6.6.4, & ALL ROOF PENETRATIONS IN ACC. WITH 6.6.5.

EAVES LININGS, FASCIAS & GABLES SHALL BE IN ACCORDANCE WITH PART 6.6.6.

IF INSTALLED, GUTTER & VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE.

VERANDAH, DECKS, STEPS & LANDINGS SHALL COMPLY WITH PART 6.7.

ABOVE-GROUND, EXPOSED WATER SUPPLY PIPES SHALL BE METAL (PART 6.8).



LOCALITY PLAN

NOT TO SCALE

MUNICIPAL AUTHORITY
KINGBOROUGH COUNCIL
(K.I.P.S. 2015 ZONE 26.0 RURAL RESOURCE)

AREAS

ORIGINAL DWELLING	±145 m ²
'AS CONSTRUCTED' ADDITION TO DWELLING	±50 m ²
EXISTING DWELLING (INCLUDING 'AS CONSTRUCTED' ADDITIONS)	±195 m ²
EXISTING 'AS CONSTRUCTED' DECKS & ENTRY PORCH	±53 m ²
TOTAL EXISTING 'AS CONSTRUCTED' DWELLING & DECKS/ENTRY PORCH	±248 m ²
EXISTING 'AS CONSTRUCTED' OUTBUILDING (TO BE RELOCATED)	±98 m ²
SITE AREA (CT 189166/1)	3725 m ²
SITE COVERAGE	±9%

DRAWING INDEX

1C of 5.	COVER SHEET
2C of 5.	SITE PLAN
3 of 5.	FLOOR PLAN (DWELLING)
4A of 5.	ELEVATIONS (DWELLING)
5C of 5.	FLOOR PLAN & ELEVATIONS (SHED)

Revision 'C' - 5/8/2026

ADDITIONAL INFO SHOWN (REMOVE VEHICLE TURNING FROM SHED, FIRE SEPARATION NOTED EAST SIDE OF SHED, EXISTING FENCE EXTENDED TO SHED)

Revision 'B' - 28/7/2026

ADDITIONAL INFO SHOWN PER KC RFI ('AS CON.' ADDITIONS TO DWELLING SHOWN ON SITE PLAN)

Revision 'A' - 10/7/2026

AMENDMENTS PER KC FURTHER INFO REQUEST (9 JUNE 2026) (REF. DA-2023-370)

HED Consulting

Hobart Engineering & Design

Ground Floor,	Lic. No. 647043421
The Sandstone Building	phone (03) 6146 0334
1 Liverpool St,	e info@hed-consulting.com.au
Hobart TASMANIA 7000	www .hed-consulting.com.au

'As Constructed' Alterations & Additions to Existing Dwelling & Outbuilding (Incl. Proposed Relocation of Outbuilding) at 6 Honeys Road, Flowerpot, for G. Addicoat

Date : 27/4/2026	Job No. : H2684
Scale : Shown at A3	Sheet : 1C of 5
Drawn : DA	Issue : PLANNING

Check all dimensions on site before commencing work.
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'As Constructed' Alterations & Additions

to Existing Dwelling & Outbuilding (Including

Proposed Relocation of Outbuilding)

at 6 Honeys Road, Flowerpot,

for G. Addicoat

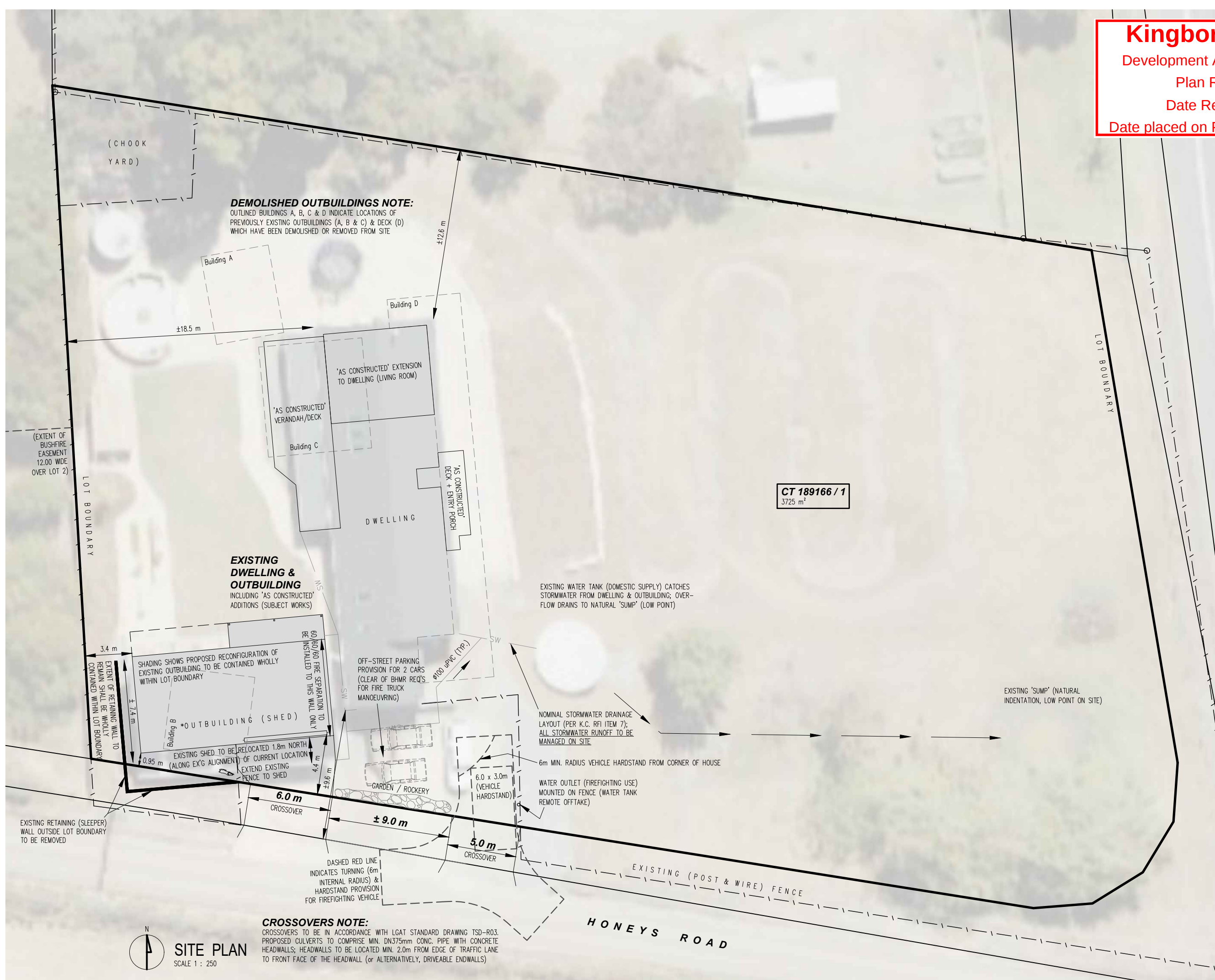
Kingborough Council

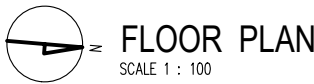
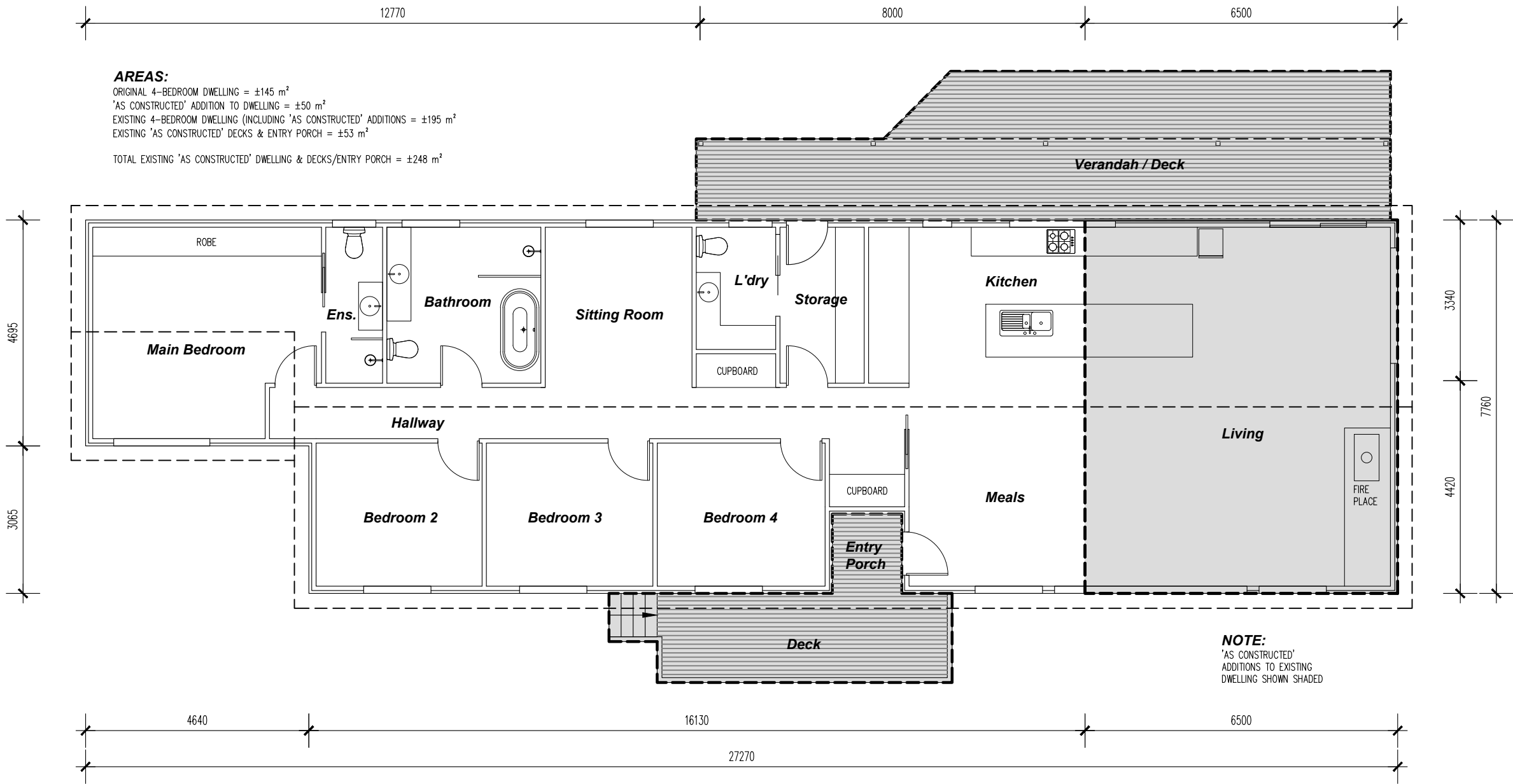
Development Application: DA-2023-370

Plan Reference No: P8

Date Received: 19/8/2026

Date placed on Public Exhibition: 22/8/2026





BAL-19 NOTE:
ALL WORK TO COMPLY WITH
AS 3959:2018 REQUIREMENTS
FOR BAL-19

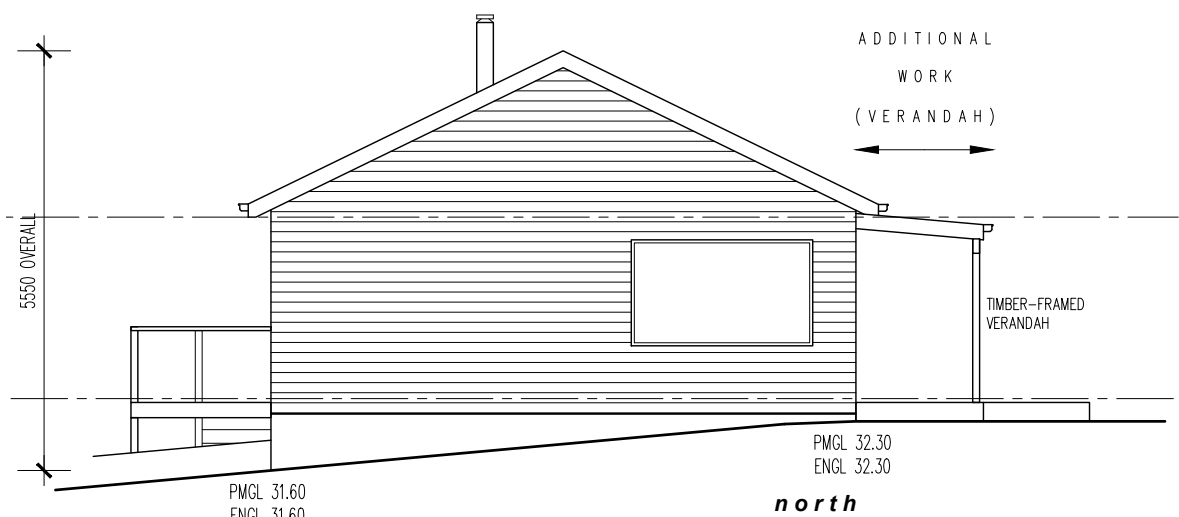
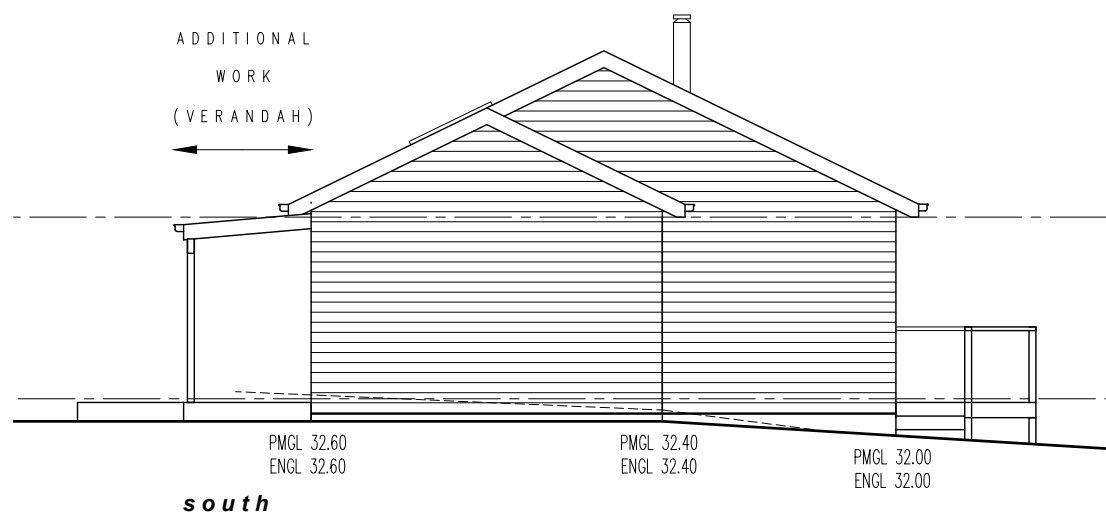
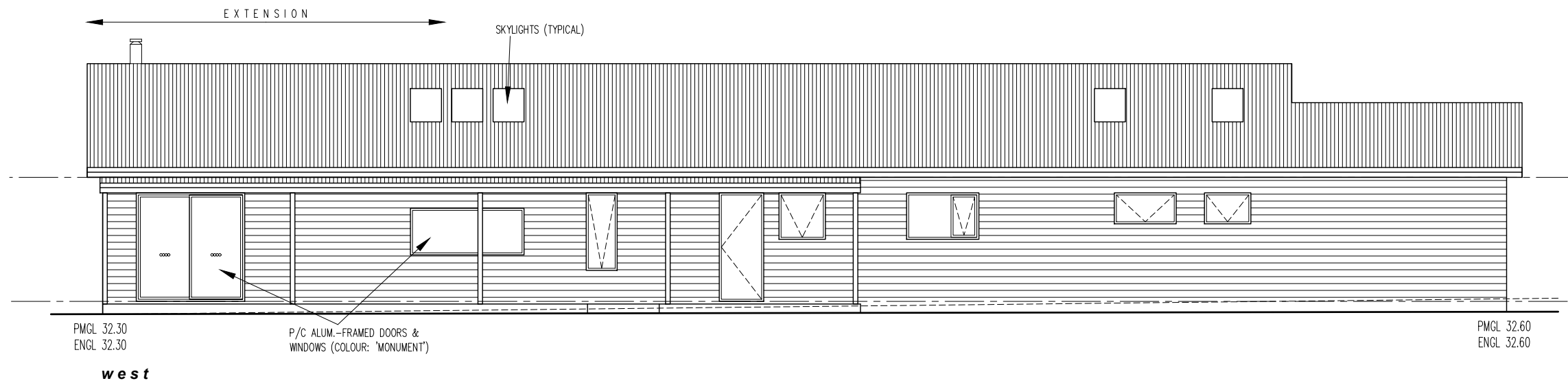
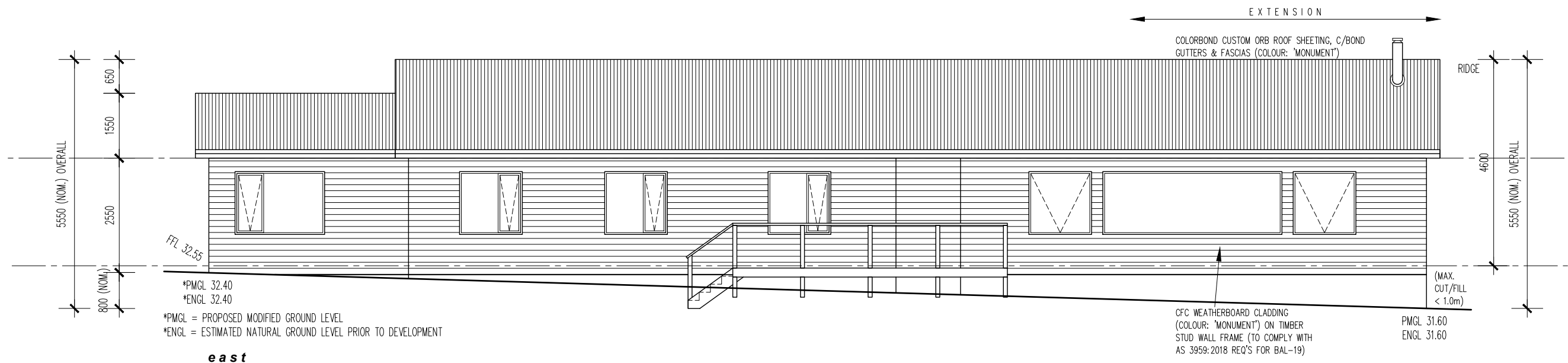
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PMGL = PROPOSED MODIFIED GROUND LEVEL
ENGL = ESTIMATED NATURAL GROUND LEVEL PRIOR TO DEVELOPMENT

ELEVATIONS (DWELLING)

SCALE 1 : 100

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Kingborough Council

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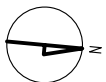
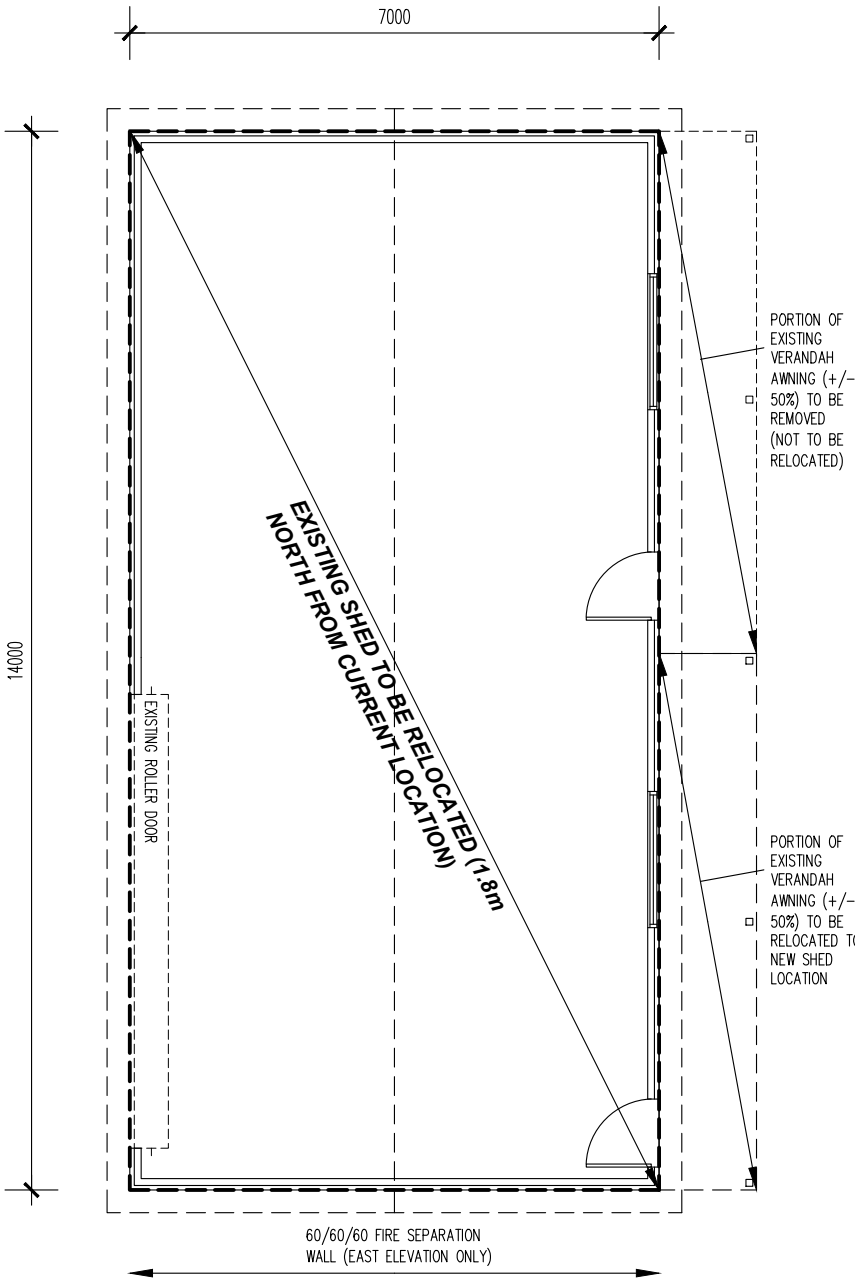
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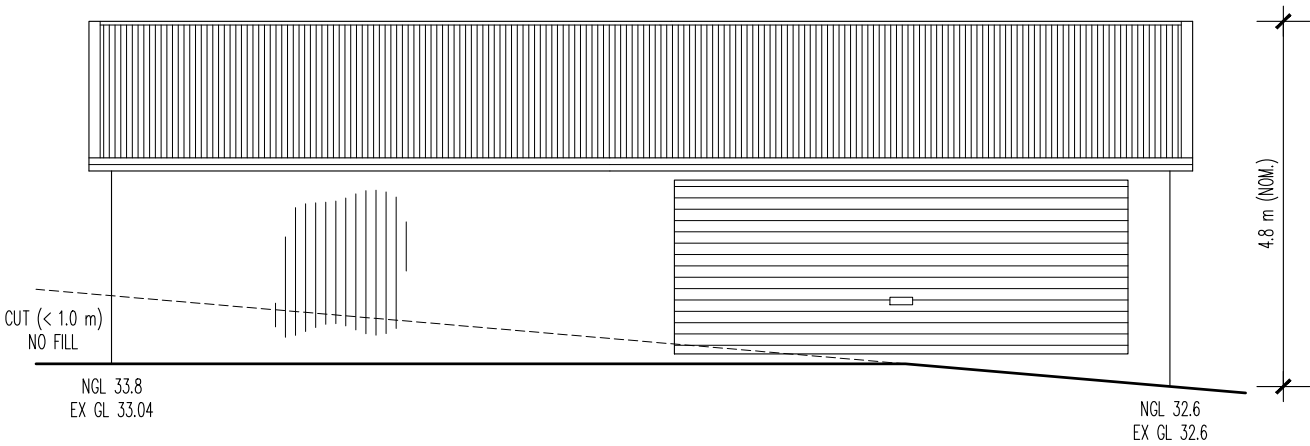
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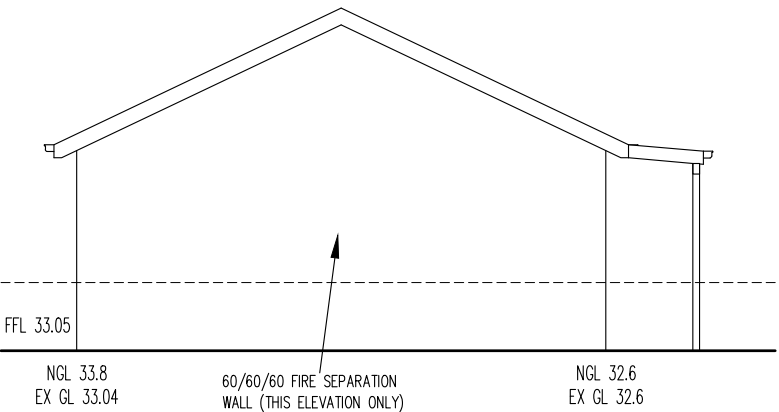


FLOOR PLAN

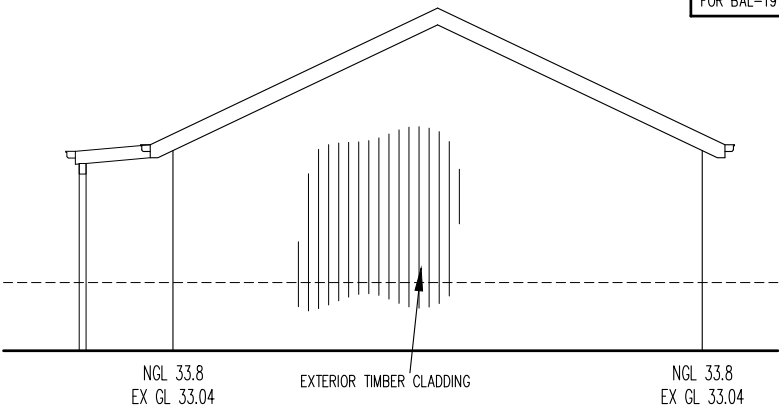
SCALE 1:100



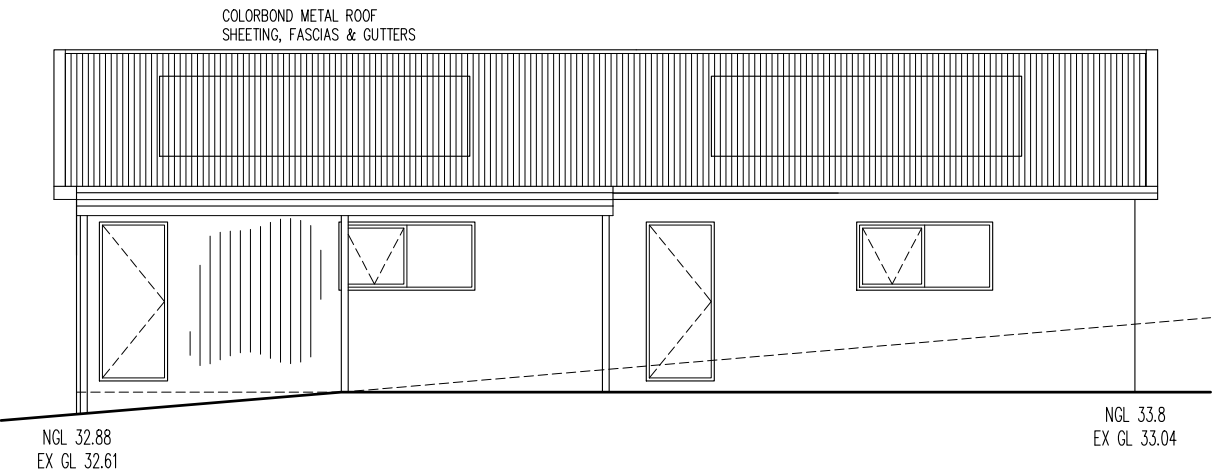
south (entry)



east



west



north

ELEVATIONS

SCALE 1 : 100

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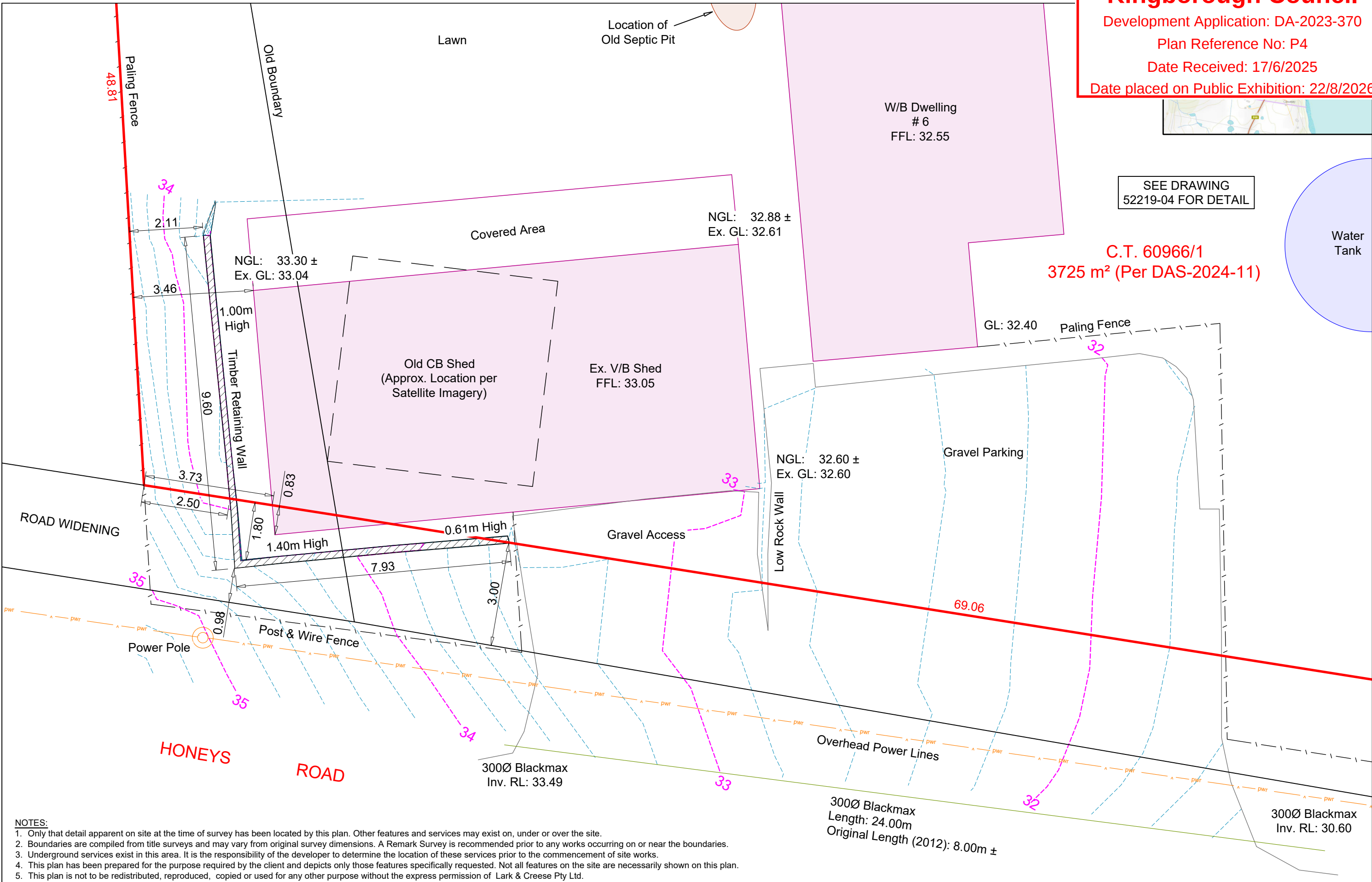
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SEE DRAWING
52219-04 FOR DETAIL

C.T. 60966/1
3725 m² (Per DAS-2024-11)

Water
Tank



NOTES:

1. Only that detail apparent on site at the time of survey has been located by this plan. Other features and services may exist on, under or over the site.
2. Boundaries are compiled from title surveys and may vary from original survey dimensions. A Remark Survey is recommended prior to any works occurring on or near the boundaries.
3. Underground services exist in this area. It is the responsibility of the developer to determine the location of these services prior to the commencement of site works.
4. This plan has been prepared for the purpose required by the client and depicts only those features specifically requested. Not all features on the site are necessarily shown on this plan.
5. This plan is not to be redistributed, reproduced, copied or used for any other purpose without the express permission of Lark & Creese Pty Ltd.

LARK & CREESE Pty Ltd
Land & Engineering Surveyors

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DETAIL PLAN

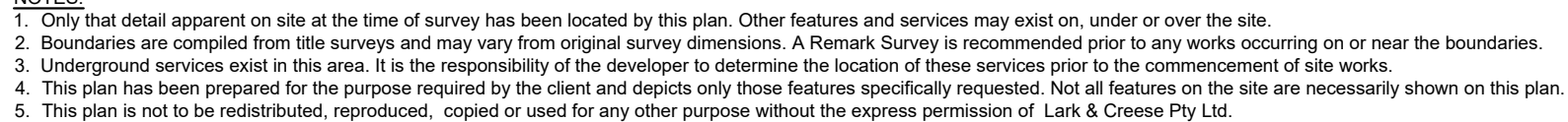
6 HONEYES ROAD
FLOWERPOT

N.M. & E.G. McIntyre

TITLE	60966/1	PROJECT	30745	DATE	28/04/2025
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CONTOUR	0.20	SCALE	1:100 @ A3	CHECKED	NC

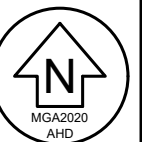


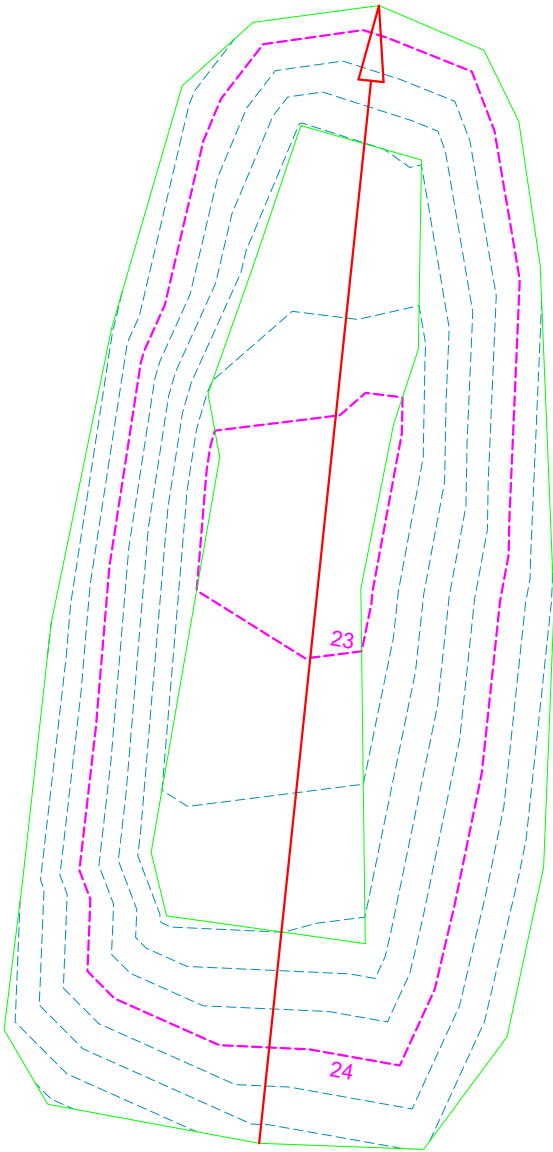
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TITLE	60966/1	PROJECT	30745	DATE	28/04/2025
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SCALE 1:150 @ A3

