

BUSHFIRE ASSESSMENT REPORT v2.0

FOR
FOR O.P. & C.A. GIUDICI
PROPOSED ADDITIONS TO EXISTING DWELLING
RETROSPECTIVE APPROVAL FOR STUDIO & OUTBUILDING
283 SANDFLY ROAD
MARGATE, 7054



Prepared by Gary Williams
Accreditation No BFP-109 (Category 2)
Scope of Work 1,2 & 3A
12th August 2026 Our Ref: 670G-1

G J WILLIAMS DRAFTING SERVICE

ABN 87 756 789 831

ARCHITECTURAL - HOME DESIGN. PLANS. APPROVALS

**SURVEY & GENERAL DRAFTING,
BUSHFIRE RISK ASSESSMENTS**

Homes, Units, Extensions
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Development Applications
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VERSION CONTROL			
VERSION	DATE	AUTHOR	DESCRIPTION
1.0	20/9/23	GJW	SUPERSEDED
2.0	12/8/26	GJW	For issue

1.Executive Summary

This report has been prepared to assess any bushfire risks associated with proposed additions to an existing dwelling and retrospective approval for a studio and an outbuilding at 283 Sandfly Road, Margate and to provide measures to achieve an acceptable residual risk for the building and occupants. (Refer Appendix A)

The development is on a 3.124ha rural block that sits up to the southwest of Sandfly Road. (Refer Appendix B)

The proposed building work is in a Bushfire-prone Area as defined by the Director's Determination- Application of Requirements for Building in Bushfire-Prone Areas (transitional) version 1.3.

By creating and maintaining a Hazard Management Area as shown on the Bushfire Hazard Management Plan (BHMP) will achieve **BAL-19** for all elevations (Refer Appendix C)

The building works are to be compliant with the construction requirements of AS 3959:2018 for the assessed BAL, Building Regulations 2014, and the Director's Determination- Requirements for Building in Bushfire-Prone Areas (transitional) v2.3 (Director's Determination)

A water supply for firefighting purposes is to be provided to comply with the Director's Determination. (Refer Appendix C)

Vehicular Access to a water supply for firefighting is to be provided to comply with the Director's Determination including a compliant hardstand and vehicle turning. (Refer Appendix C)

2.Introduction

Owners: O.P & C.A. Giudici as per Certificate of Title.

This report has been prepared to provide an assessment of any bushfire risk issues associated with proposed dwelling additions and retrospective approval for a studio and an outbuilding at No. 283 Sandfly Road, Margate.

Review of LIST shows the proposal as being within a Bushfire-prone Area on the Kingborough Interim Planning Scheme 2015 overlay. Therefore, as defined by Code E1.3 of the Scheme, the Building Regulations 2014, and the Director's Determination, the proposed building works are within a Bushfire-prone Area. A site inspection was conducted on the 5th of September 2023 & 28th January 2026.

3.Proposal

The development proposal is for the extension of the Dining Area on the northeast side of the house. The structure is to have a concrete slab-on-ground floor, rendered fibre-cement sheet cladding and a steel sheet Colorbond roof. Retrospective approval is also being sort for the Studio addition to the existing shed. This structure has a concrete slab on ground, fibre-cement weatherboard cladding and a colorbond

roof. Retrospective approval is also being sought for an outbuilding consisting of a shipping container with an attached lean-to (Refer Appendix A).

4.Site Description

The property is the land contained within **Certificate of Title Volume 26791 Folio 11 (PID-7301746)** which describes the land as being **Lot 11 (3.124ha) on Sealed Plan 26791** in the **Parish of Kingborough, Land District of Buckingham** and is zoned **Rural Resource** under the **Kingborough Interim Planning Scheme 2015**. (Refer to Appendix D)

The development sits on a minor southeast facing spur with a general slope of around 10 degrees.

The Lot is a rear access lot that sits up to the southwest of Sandfly Road.

The area would best be described as rural living consisting of a mosaic of forest and woodland vegetation with open areas and maintained gardens around the house.

TASVEG 5.0 describes the vegetation in this area as Dry eucalypt forest and woodland (Eucalyptus pulchella forest and woodland).

LIST overlay does not show any Threatened Native Vegetation Communities on the lot.

The access driveway from Sandfly Road is sealed with a grade generally just below 10 degrees. There are short sections that have a grade just above the 10 degrees. The sealed pavement is generally 2.5m wide and degrading in some areas. The first 50m of the driveway is shared with two other properties. The length of the driveway to the firefighting water connection point is just shy of 200m. There is a vehicle turning area near the end of the driveway.

There is no TasWater reticulated water supply available to the lot.

There are two large concrete water tanks at the back of the existing dwelling as well as a galvanized water tank that sits 6m+ to the south of the Garage. However, the hardstand adjacent to the tank is within 6m of the garage which will need to be protected as that building is within 6m of the dwelling. There is a water storage dam at around 20m south of the existing dwelling that sits within 3m of the existing driveway.

5. Bushfire Attack Level Assessment.

(Refer to Appendix B & Appendix E for Photographs)

The BAL has been determined by using the simplified procedure described in Clause 2.2 (Method 1) of AS 3959:2018.

As per Table 2.1 AS3959:2018 the relevant Fire Danger Index (FDI) for Tasmania is noted as 50 & thus Table 2.6 AS 3959:2018 applies for determining the Bushfire Attack Levels (BALs).

The vegetation has been classified as per AS 3959:2018 Table 2.3 and Figures 2.4 (A)-(H). The assessed vegetation is that out to the 100m offset from the buildings to be protected.

Slopes are measured perpendicular to the buildings' walls.

Although the proposed extension is less than 20m² it does result in the building being closer to the bushfire-prone vegetation to the east. Hence as per 4.4(3) of the Director's Determination the entire building must be provided with a Hazard Management Area (HMA) appropriate to the extension and as per Table 4.4 C(a)(ii), the HMA is to be no smaller than the dimensions required for BAL-29. As retrospective approval is being sought for the Studio it is regarded as new building works and hence must be provided with the appropriate HMA. As the Studio is attached to the Garage/Shed the required HMA also applies to the Garage/Shed as per 2(vi) of the Director's Determination.

The lean-to on the western side of the Garage/Shed is within 6m of the structure attached to the shipping container but considering it is constructed totally of non-combustible materials and its roof is separate from the main roof of the Garage/Shed, it has been excluded from this assessment.

To the North on a slight upslope are gardens and Grassland out to the 35m offset from the existing dwelling and then Woodland vegetation for 24m to Forest vegetation. The Woodland vegetation consists of scattered eucalypt trees to 15m in height with no lower branches and a sparse canopy. The ground cover consists of native grasses and sags. There is the occasional isolated Allocasuarina and Native cherry (*Exocarpos compressiformis*).

The Forest vegetation consists mainly of Allocasuarina beneath eucalypts. From Table 2.6 AS 3959:2018 it is assessed that the Grassland vegetation would expose the building to a higher BAL than that of the Woodland or Forest vegetation.

To the South of the Garage/Shed is the non-vegetated area of a gravel driveway to around 9m and then Forest vegetation on a downslope of around 13 degrees.

Down to the East of the proposed extension is maintained lawn and gardens to around 12m to a 15m wide strip of scattered eucalypt trees of smooth bark, no lower branches and minimal undergrowth. These trees have crowns with relatively sparse foliage. From here on a down slope of almost 10 degrees is grassland to 50m+ to forest vegetation to out past the 100m offset. The grassland to the east extends to past the 50m offset but taking into account the strip of eucalypts the vegetation in this direction is regarded as Woodland for the assessment.

From Table 2.6 AS 3959:2018 the grassland vegetation on a <10 degree downslope would expose the extension to BAL-12.5. The Forest vegetation on a 12 degree downslope at 50m+ would expose the extension to BAL-19. It is the Woodland vegetation that would expose the extension to the highest BAL, although it is only a narrow strip of vegetation when measured perpendicular to the extension wall. There is no requirement to remove the trees but rather maintain beneath to the extent of the HMA as shown on the BHMP.

Up to the West is maintained grounds and then Woodland vegetation to out past the 100m offset.

TABLE OF ASSESSMENT					
		NORTH	SOUTH	EAST	WEST
SLOPE		LEVEL/UP	DN 13°	DN <10°	UP
VEGETATION CLASSIFICATION		GRASSLAND	FOREST	WOODLAND	WOODLAND
DEFENDABLE	BAL 29	6-<10	30-<41	15-<23	10-<15
SPACE REQUIRED (m)	BAL 19	10-<14	41-<56	23-<32	15-<22
DEFENDABLE SPACE ACHIEVED (m)		13	42	25	18

From Table 2.6 AS 3959:2018, the BAL for the new building works is:

BAL- 19 for all elevations

This assessment is based on a “hazard management area”, as defined by the Director’s Determination, being created & maintained to at least the dimensions shown on Appendix C Bushfire Hazard Management Plan Dwg No 670G-BHMP-2 dated 12th August 2026. (BHMP)

6. Required Bushfire Protection Measures.

All works are to comply with the Director’s Determination- Requirements for Building in Bushfire-prone Areas (transitional) v2.3 available at www.cbos.tas.gov.au (Resources and tools>Building and trades forms, publications and reports>Building in Hazardous Areas Determinations)

6.1 Construction Requirements

(Director’s Determination- cl.4.1 (NCC Vol 2, Part H7))

AS 3959:2018 Construction of buildings in bushfire-prone areas provides for construction requirements for buildings.

Sections 3 and 6 provide for BAL-19.

The new building works are to be compliant with the construction requirements of AS 3959:2018 for BAL-19 and the Director’s Determination. These requirements only apply to the new building works, although upgrade of the existing structures is encouraged. Higher levels of construction are also encouraged.

The design plans must be verified as compliant by the Building Surveyor prior to the issue of the Certificate of Likely Compliance.

6.2 Property Access.

(Director’s Determination- cl.4.2 & Table 4.2)

Vehicular Access to a water supply for firefighting is to be compliant with the Director’s Determination including a compliant vehicle hardstand and vehicle turning. Widening the carriageway of the property access will be required as well as repairing the sealed sections where the gradient exceeds 10 degrees. Pruning or removal of some vegetation may be required to achieve the deemed-to satisfy vehicle clearance (Refer Appendix C - BHMP).

6.3 Firefighting Water Supply

(Director’s Determination- cl. 4.3 & Table 4.3B)

A water supply for firefighting purposes is to be provided to comply with the Director's Determination. (Refer BHMP Appendix C) There is an existing galvanized water storage tank but as the vehicle hardstand to access that water tank is within 6m of the existing garage/shed, a remote offtake is required for compliance with the Director's Determination. There is also a water storage dam within 3m of the driveway at the times of inspection, but it is unknown if the water level remains within the 3m in a dry season.

A clear pathway for a hose lay from the water access point to all parts of the buildings to be protected should be maintained at all times.

6.4 Hazard Management Area

(Director's Determination- cl.4.4 & Table 4.4)

A Hazard Management Area (HMA) is to be created & maintained all year round, for the life of the building to at least the dimensions shown on the Bushfire Hazard Management Plan. (Appendix C)

Also refer to the Guide to Hazard Management Area attached. (Refer Appendix C)

Some common maintenance includes:

- remove selected small trees to create clumps separated by open areas, rather than continuous strips of vegetation,
- prune shrubs & lower branches of trees to a height of at least 2m to separate the ground from any tree canopy
- minimize fine fuels at ground level (mow, slash & rake) Lawns should be maintained to a height of less than 100mm.
- remove any trees/branches likely to fall or drop debris on the building (NB permits may be required)
- regular cleaning of roof gutters.

At the time of the site inspections no trees with a DBH (diameter at breast height) greater than 25cm were identified as needing to be removed for the creation of the Hazard Management Area.

The creation of the HMA and maintenance is the responsibility of the developer and the owner at the time.

All works (construction requirements, property access, firefighting water supply and the hazard management area) must be verified as compliant by the Building Surveyor prior to occupancy.

7. Additional recommendations. (non-mandatory)

It is highly recommended that consideration is given to preparing a "My Bushfire Plan" in accordance with Tasmania Fire Service guidelines available at www.fire.tas.gov.au (Publications>Bushfire safety>TFS Bushfire Safety Guide) or ph 1800 000 699.

8.Disclaimer

This report deals solely with the potential bushfire risk. All other assessments, statutory or otherwise, are outside the scope of this report. All commentary within this report is to be interpreted in relation to the bushfire risk/mitigation only.

This report is based on the status of the vegetation and other criteria at the time the site inspections were undertaken and cannot be relied upon for any future or altered development. The impact of future development and vegetation growth has not been considered.

This report and recommendations are an attempt to reduce the potential damage or loss caused by a bushfire as per legislation and regulations current at this time. No responsibility can be accepted for any such damage or loss.

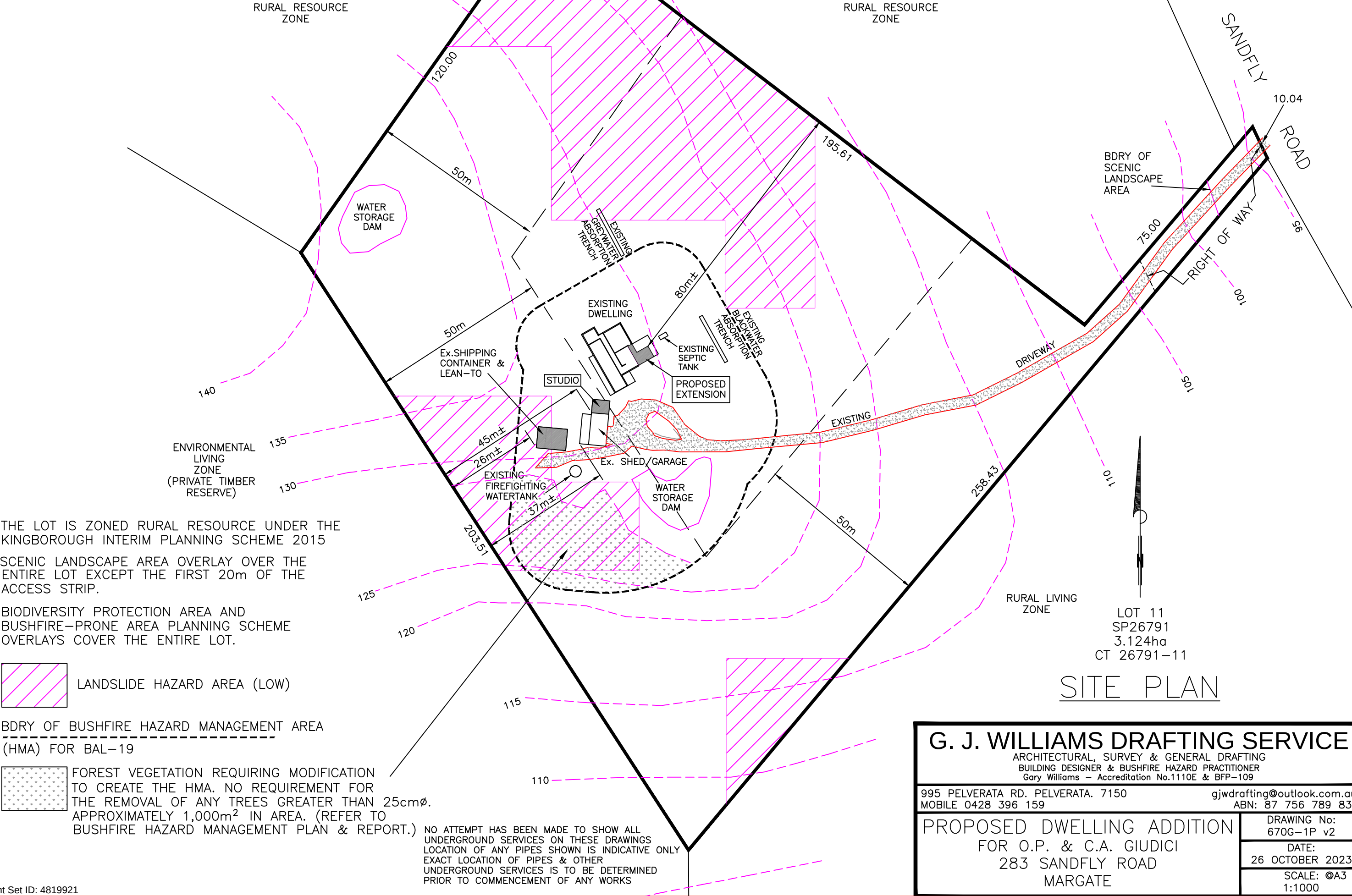
As per AS 3959:2018, it should be noted that the acceptable standards against which this has been assessed cannot guarantee to prevent damage or loss from a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature & behavior of fire & extreme weather conditions.

CONTOUR INTERVAL = 5m (FROM LIST)

LOCATION OF WTS AS PER
DRAINAGE PLAN No. 10616

Appendix A (1 of 5)

NOT TO BE USED AS
CONSTRUCTION DRAWINGS



NOTE: Measurements do not include cladding or lining.

FLOOR AREAS (OUTER FACE OF WALLS OR SUPPORTS)

HOUSE = 167.8m²
VERANDAHS = 31.1m²
PORCH = 8.2m²
TOTAL = 207.1m²

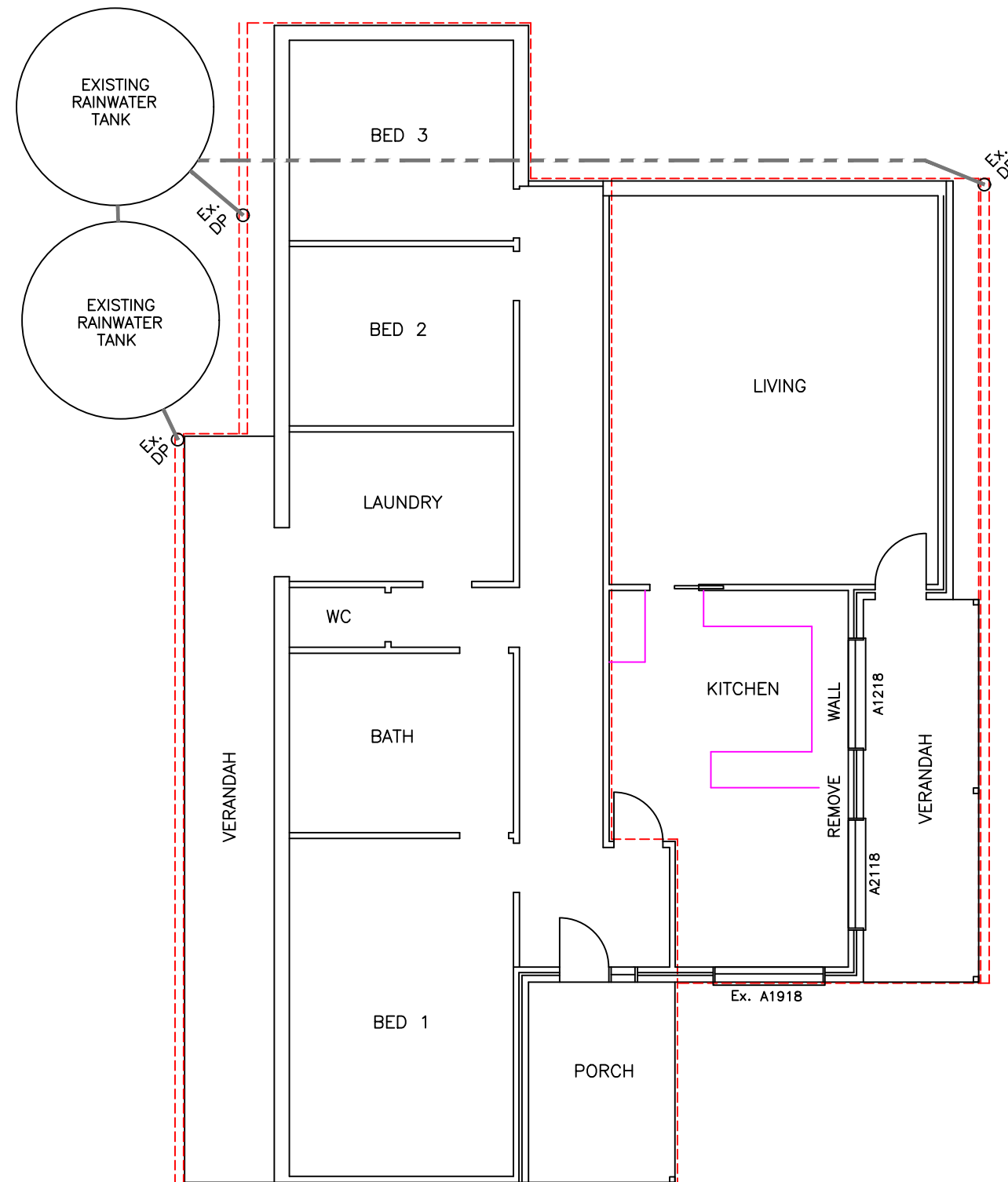
Appendix A (2 of 5)

DP RAINWATER PIPE 90ø

S/W - - - - -

ROOF LINE - - - - -

NOT TO BE USED AS
CONSTRUCTION DRAWINGS



EXISTING
FLOOR PLAN
S/W DRAINAGE PLAN

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PROPOSED DWELLING ADDITION
FOR O.P. & C.A. GIUDICI
283 SANDFLY ROAD
MARGATE

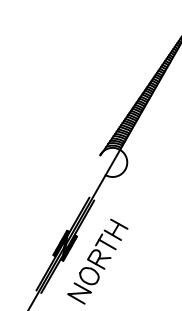
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DATE:
20 SEPTEMBER 2023

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ROOF LINE ----

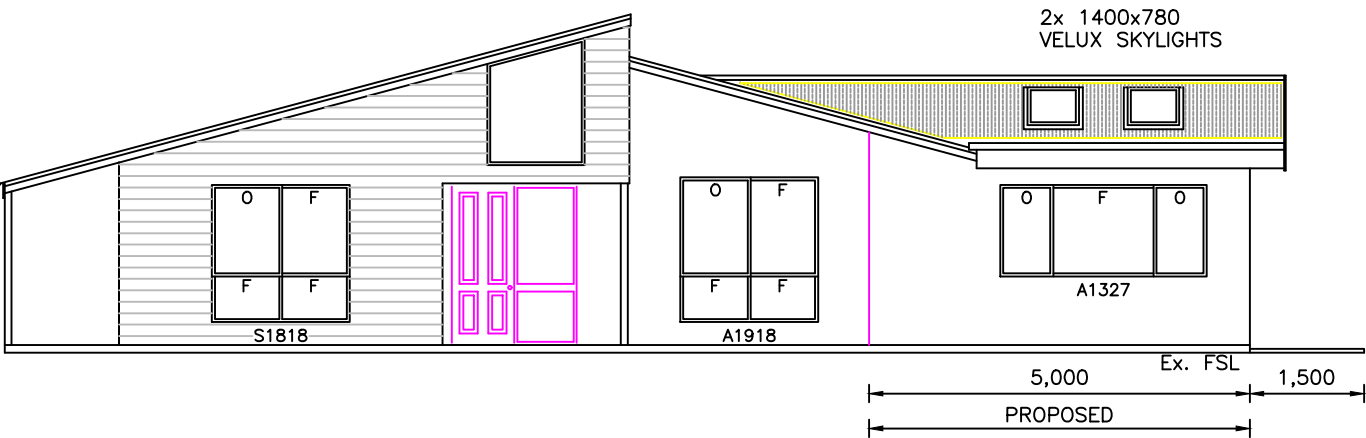


PROPOSED
FLOOR PLAN
S/W DRAINAGE PLAN

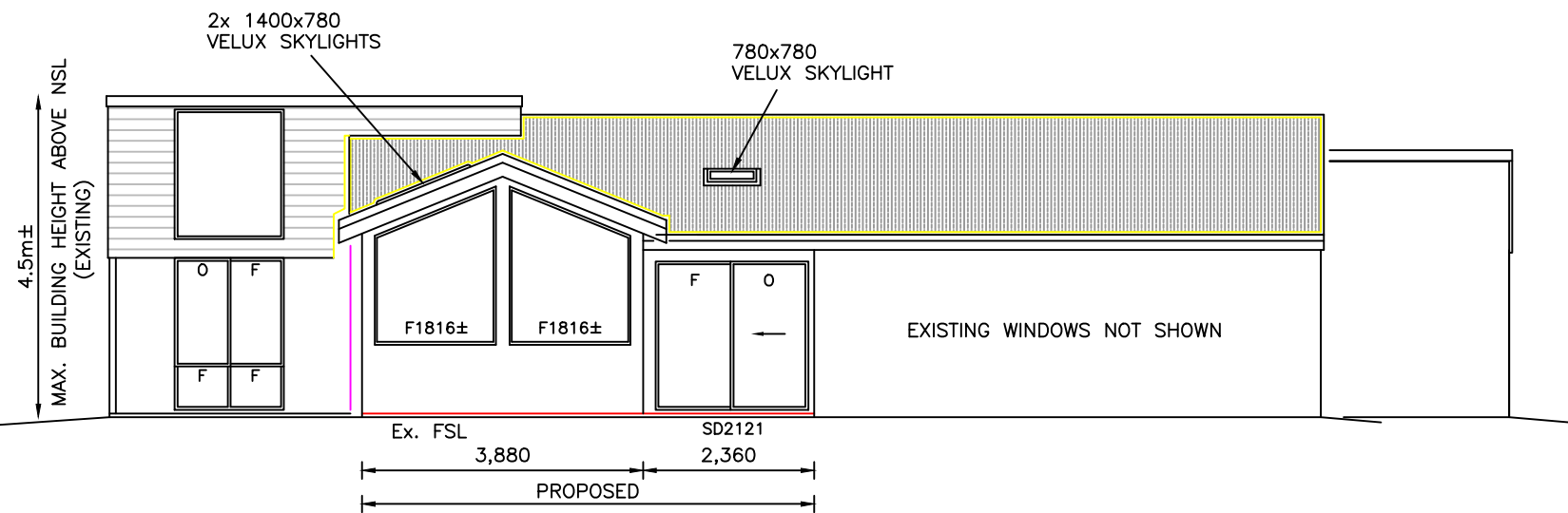
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RENDERED FIBRE-CEMENT SHEET CLADDING (colour-SANDBANK but to match existing)
(Light Refl V = 41%)
TRIMDEK HI-TEN COLORBOND SHEET ROOFING (colour-BUSHLAND but to match existing)
(Light Refl V = 23%)
TIMBER FRAMED WINDOWS (colour-Brown) (Light Refl V = 15%±)

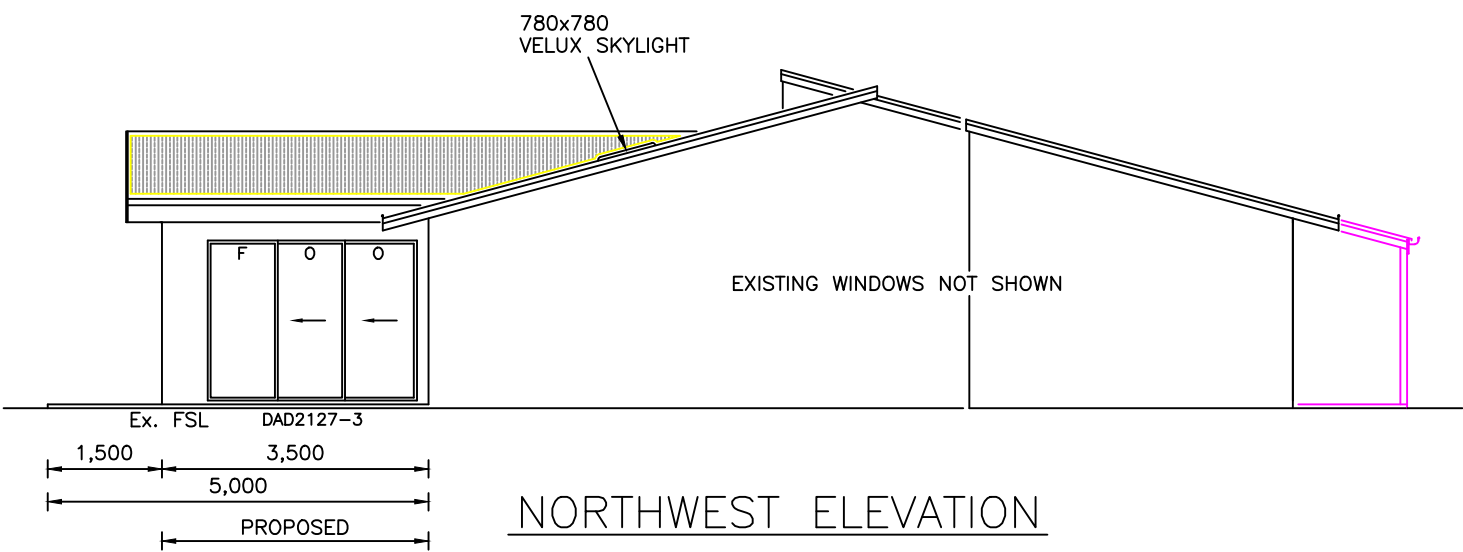
NOT TO BE USED AS
CONSTRUCTION DRAWINGS



SOUTHEAST ELEVATION



NORTHEAST ELEVATION



NORTHWEST ELEVATION

PROPOSED
ELEVATIONS

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PROPOSED DWELLING ADDITION
FOR O.P. & C.A. GIUDICI
283 SANDFLY ROAD
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DRAWING No:
670G-4P

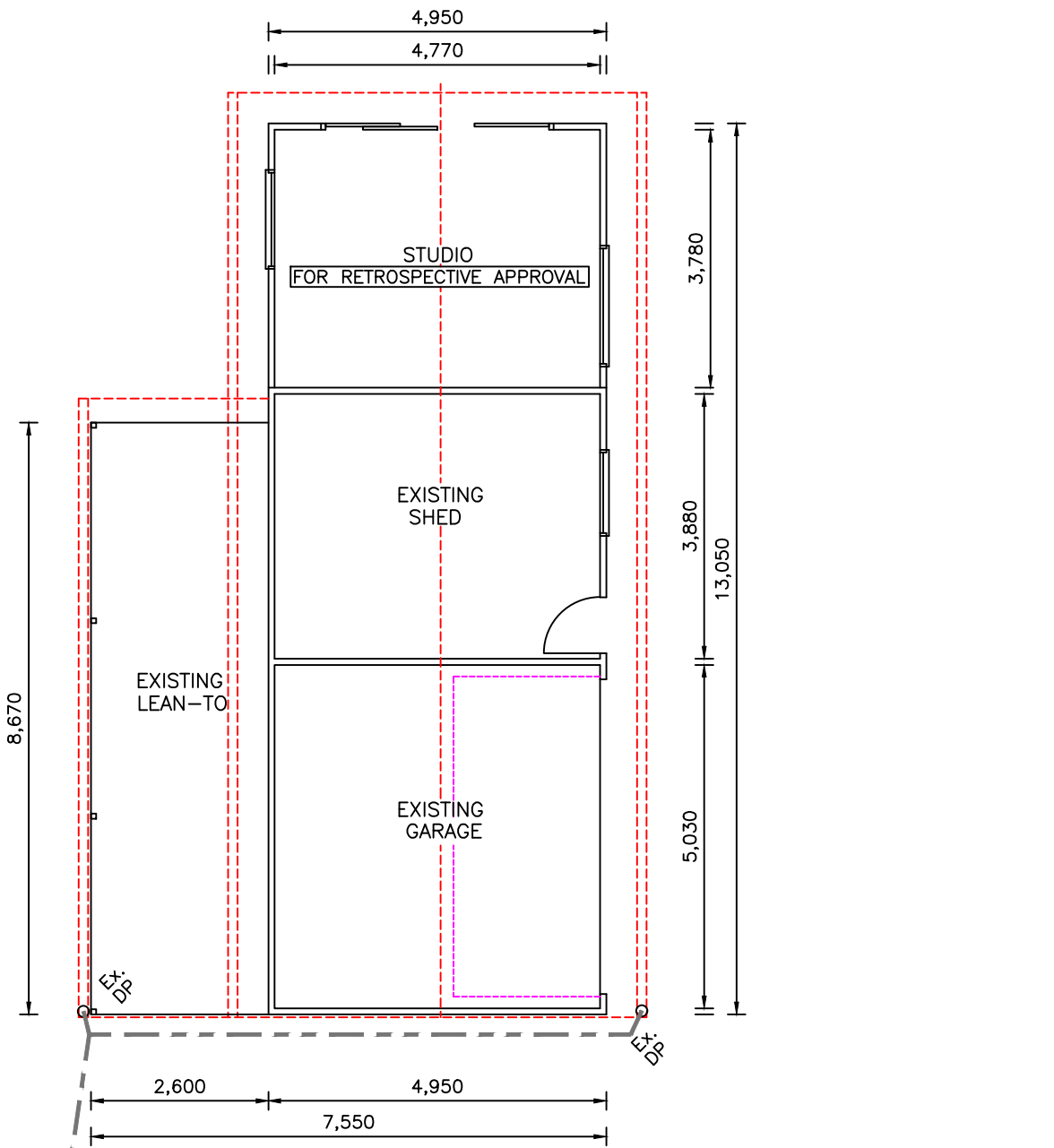
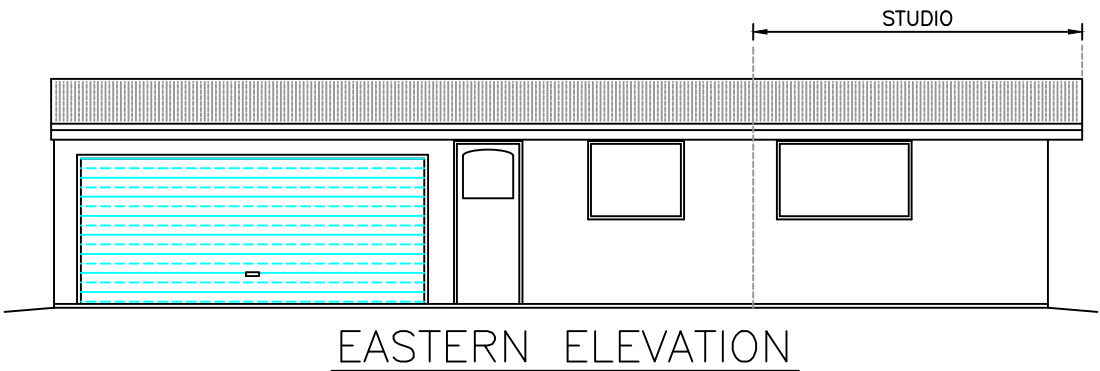
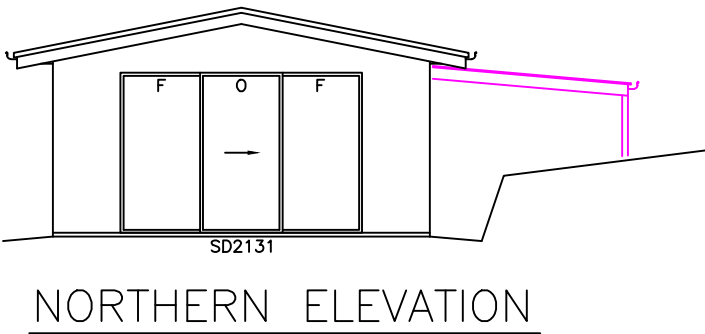
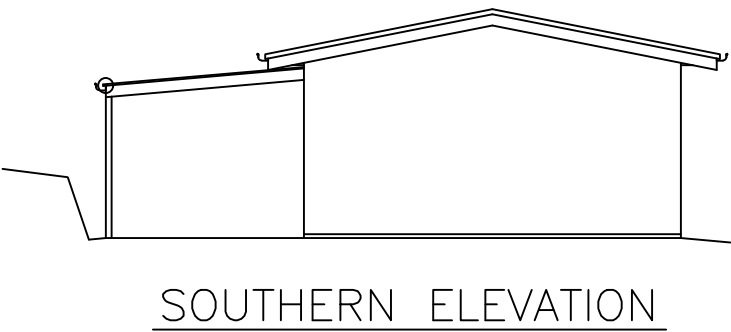
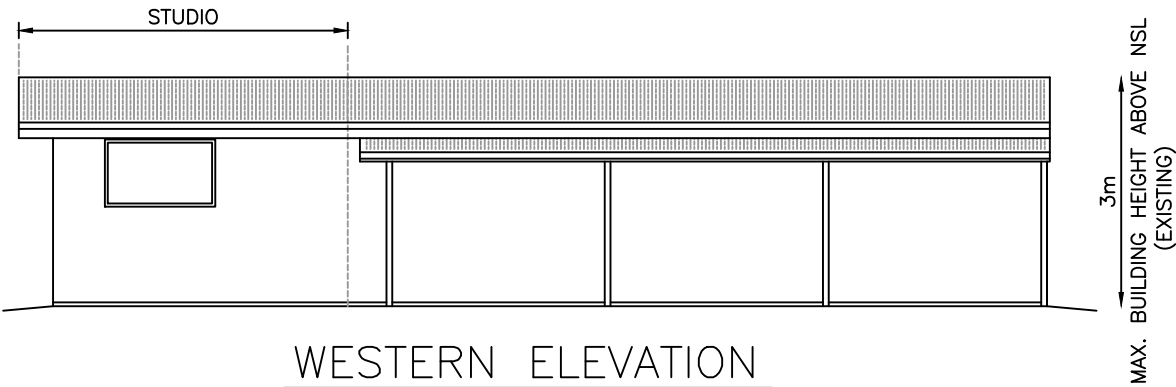
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20 SEPTEMBER 2023

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FIBRE-CEMENT WEATHERBOARD CLADDING (colour-SANDBANK but to match existing)
(Light Refl V = 41%)
TRIMDEK HI-TEN COLORBOND SHEET ROOFING (colour-BUSHLAND but to match existing)
(Light Refl V = 23%)
ALUMINIUM FRAMED WINDOWS (colour-IRONSTONE)(Light Refl V = 11%)

Appendix A (5 of 5)

NOT TO BE USED AS
CONSTRUCTION DRAWINGS



--- ROOF LINE

STUDIO

FOR RETROSPECTIVE APPROVAL

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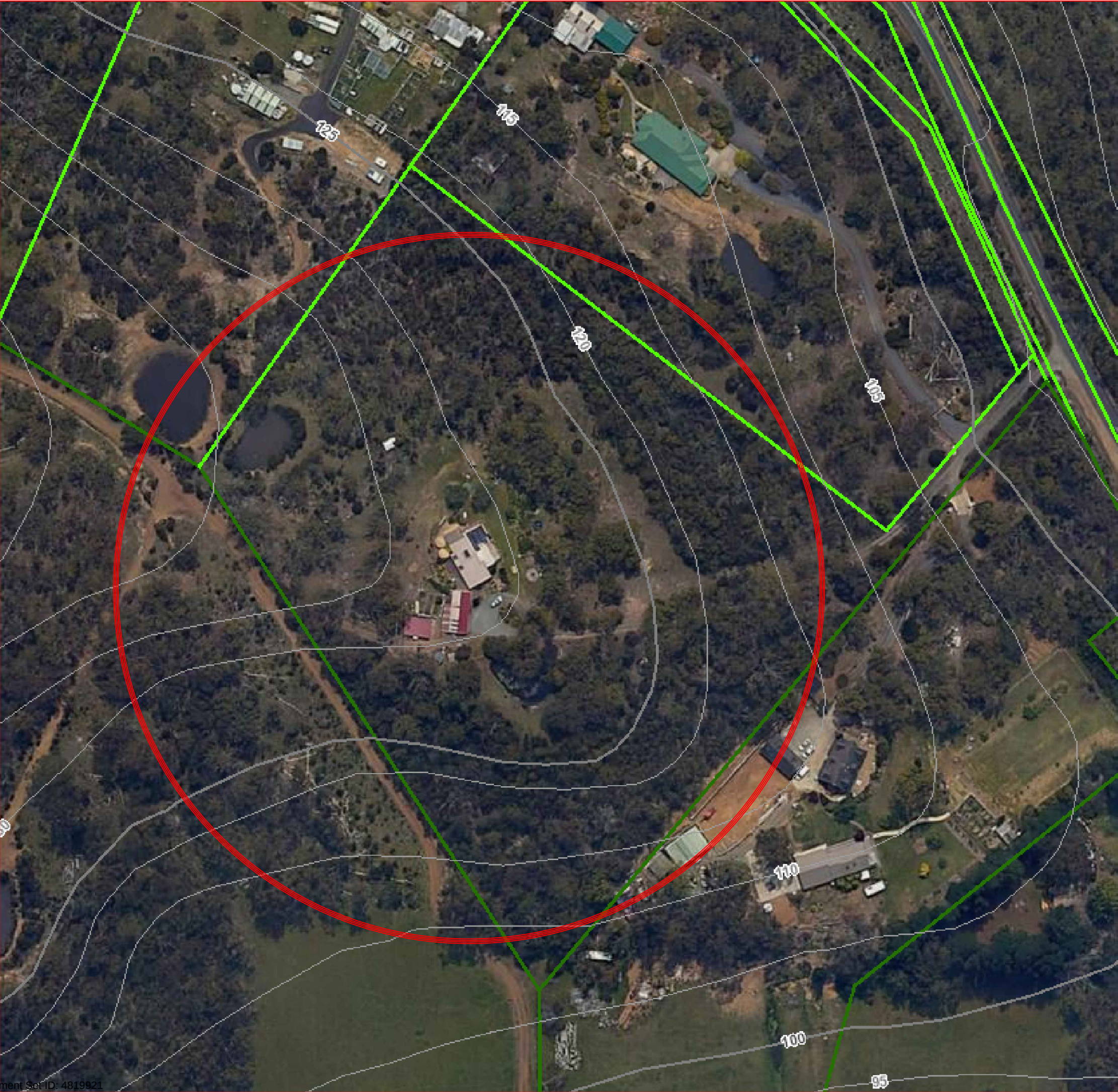
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PROPOSED DWELLING ADDITION
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MARGATE

DRAWING No:
670G-5P

DATE:
20 SEPTEMBER 2023

SCALE: @A3
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100m OFFSET
ASSESSSED AREA



SCHEDULE OF REQUIREMENTS FOR BAL-19

ALL WORKS ARE TO COMPLY WITH THE DIRECTOR’S DETERMINATION –”REQUIREMENTS FOR BUILDING IN BUSHFIRE-PRONE AREAS (TRANSITIONAL)” v2.3 (DIRECTOR’S DETERMINATION) AVAILABLE AT www.cbos.tas.gov.au (Resources and tools>Building and trade forms, publications and reports>Building in Hazardous Areas Determinations)

HAZARD MANAGEMENT AREA (REFER TO GUIDE TO HAZARD MANAGEMENT AREA ATTACHED)

THIS AREA TO BE CREATED & MAINTAINED TO, AT LEAST, THE DIMENSIONS SHOWN SO THAT IT IS KEPT IN A MINIMAL FUEL CONDITION.

CONSTRUCTION

TO COMPLY WITH THE PROVISIONS OF THE DIRECTOR’S DETERMINATION. HABITABLE BUILDINGS AND ASSOCIATED OUTBUILDINGS MUST BE DESIGNED & CONSTRUCTED TO COMPLY WITH AS 3959:2018 SECn 3 & SECn 6 FOR BAL-19 REQUIREMENTS. HOWEVER, NO SPECIFIC CONSTRUCTION REQUIREMENTS FOR OUTBUILDINGS MORE THAN 6m FROM THE HABITABLE BUILDING OR FIRE SEPARATED PER AS 3959 cl. 3.2. HIGHER LEVELS OF CONSTRUCTION ARE ENCOURAGED.

VEHICULAR ACCESS

DIRECTOR’S DETERMINATION (cl.4.2 & TABLE 4.2) TO BE TO WITHIN 90m FROM THE FURTHEST PART OF THE BUILDING TO BE PROTECTED AS A HOSE LAY. THERE ARE NO SPECIFIC ACCESS REQUIREMENTS WHERE ACCESS LENGTH IS <30m or ACCESS IS NOT REQUIRED FOR A FIRE APPLIANCE TO ACCESS A FIREFIGHTING WATER POINT.

WHERE ≥30m, IN LENGTH or ACCESS IS FOR A FIRE APPLIANCE TO A FIREFIGHTING WATER POINT, ACCESS TO BE:
-ALL WEATHER CONSTRUCTION
-LOAD CAPACITY OF MIN. 20 TONNES, INCL BRIDGES & CULVERTS
-MIN. CARRIAGEWAY WIDTH OF 4m (TRAFFIC LANE WIDTH OF 3m + SHOULDER WIDTH OF 0.5m EA. SIDE)
-MIN. VERTICAL CLEARANCE OF 4m.
-MIN. HORIZONTAL CLEARANCE OF 0.5m FROM THE EDGE OF CARRIAGEWAY.
-MAX. CROSSFALL OF 5%
-DIPS MAX. OF 12.5% ENTRY & EXIT ANGLES.
-MIN. CURVE INNER RADIUS OF 10m.
-MAX. GRADIENT OF 15°/28% FOR SEALED & 10°/18% FOR UNSEALED &
-END WITH A TURNING AREA FOR FIRE APPLIANCES OF A MIN. 10m OUTER RADIUS TURNING CIRCLE, ACCESS ENCIRCLING THE BUILDING OR A “T”or”Y” TURNING HEAD 4m WIDE & 8m LONG.

FOR ACCESS LENGTHS ≥200m, PASSING BAYS OF ADDITIONAL 2m WIDE & 20m LONG ARE TO BE PROVIDED NO MORE THAN 200m APART.

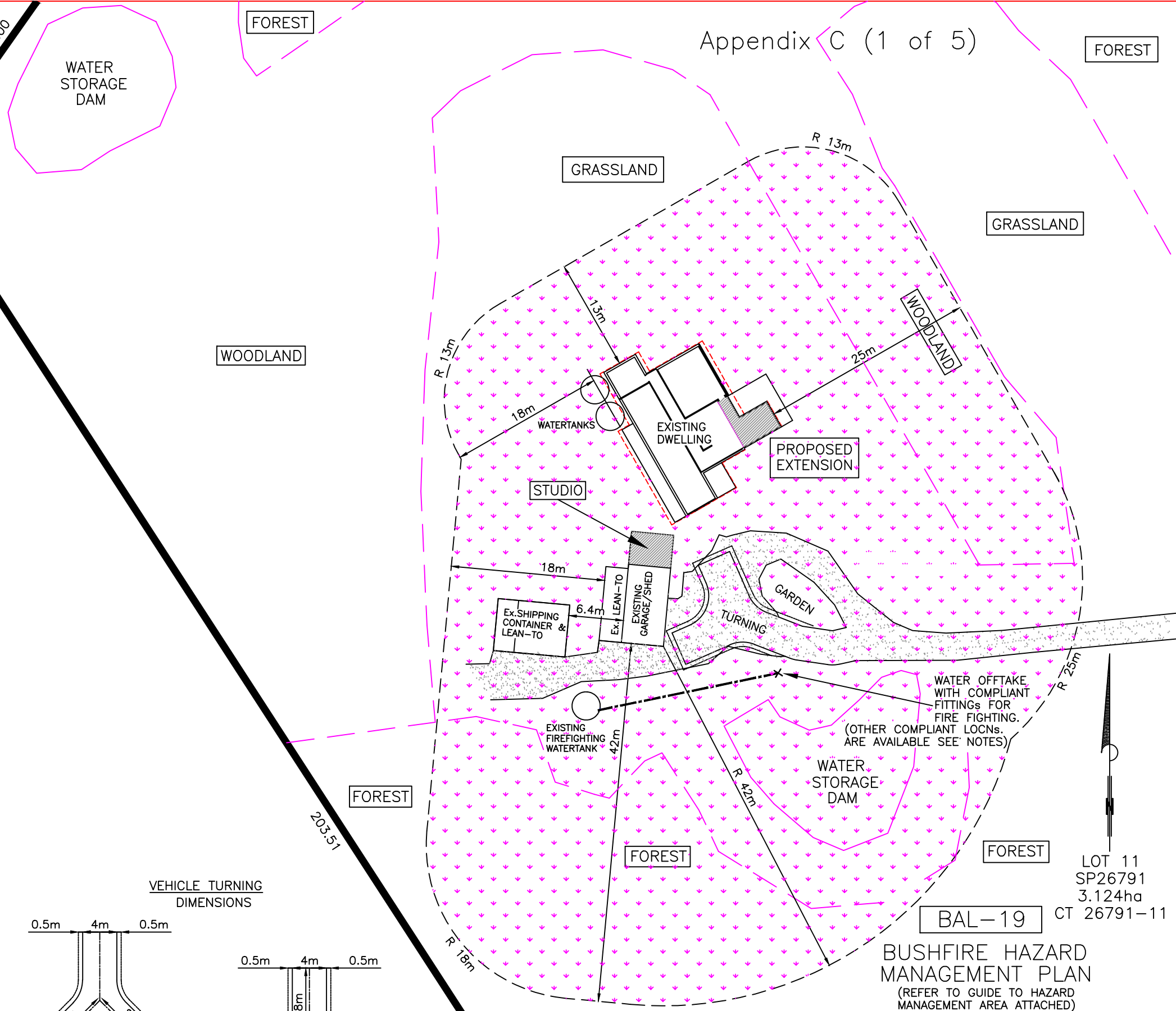
WATER SUPPLY (for FIREFIGHTING)

DIRECTOR’S DETERMINATION. (cl. 4.3 & TABLE 4.3B) THE FURTHEST PART OF THE BUILDING AREA TO BE PROTECTED MUST BE WITHIN 90m (HOSE LAY) OF A CONNECTION TO A STORED WATER SUPPLY IN A TANK, SWIMMING POOL, DAM OR LAKE AVAILABLE FOR FIREFIGHTING PURPOSES AT ALL TIMES WHICH HAS A CAPACITY OF AT LEAST 10,000L FOR EACH HABITABLE BUILDING. THIS 10,000L IS NOT TO BE USED FOR FIREFIGHTING SPRINKLER SYSTEMS. TANKS ARE TO BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTIBLE MATERIAL IF ABOVE GROUND UNLESS SHIELDED IN ALL DIRECTIONS PER SECn.3.5 AS 3959 WITH THE LOWEST 400mm EXTERIOR OF THE TANK PROTECTED BY METAL, NON-COMBUSTIBLE MATERIAL OR MIN. 6mm FIBRE-CEMENT.

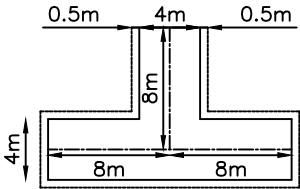
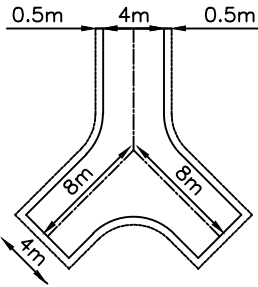
FITTINGS, PIPEWORK & ACCESSORIES, INC. STAND & SUPPORTS:

FITTINGS & PIPEWORK MUST BE BURIED TO A MIN. DEPTH OF 300mm PER 5.23 AS/NZS 3500.1 2003 OR BE METAL OR LAGGED WITH A NON-COMBUSTIBLE MATERIAL IF ABOVE GROUND, HAVE A MIN NOMINAL INTERNAL DIA. OF 50mm, BE FITTED WITH A VALVE OF MIN. INTERNAL DIA. OF 50mm & BE PROVIDED WITH A DIN or STANDARD FORGED STORZ 65 COUPLING WITH A SUCTION WASHER. THE COUPLING MUST BE ACCESSIBLE AT ALL TIMES & BE FITTED WITH A BLANK CAP & SECURING CHAIN OF MIN. 220mm LONG. ALTERNATIVELY, UNDERGROUND TANKS MAY HAVE AN OPENING IN THE TOP OF MIN 250mm DIA. REMOTE OFFTAKES ARE TO BE VISIBLE, ACCESSIBLE, AT A HEIGHT OF 450-600mm ABOVE GROUND & BE PROTECTED FROM POSSIBLE DAMAGE. SIGNAGE FOR STATIC WATER CONNECTIONS ARE TO BE PERMANENTLY FIXED IN A VISIBLE LOCATION & COMPLIANT WITH: AS 2304-2011 Water storage tanks for fire protection systems; OR BE MARKED WITH THE LETTER “W”, MIN 100mm HIGH IN UPPER CASE WITHIN A CIRCLE, BE OF FADE RESISTANT MATERIAL WITH WHITE REFLECTIVE “W” & CIRCLE ON A RED BACKGROUND. THE SIGN IS TO BE MIN. 400mm HIGH, WITHIN 1m OF THE CONNECTION & NOT IMPEDE ACCESS OR OPERATION. IT IS PREFERABLE THAT REMOTE OFFTAKES BE FROM A CHARGED LINE. A CLEAR PATHWAY FOR THE HOSE LAY FROM THE WATER CONNECTION POINT TO ALL PARTS OF THE BUILDING TO BE PROTECTED IS TO BE MAINTAINED AT ALL TIMES. A HARDSTAND AREA FOR FIRE APPLIANCES OF MIN 3m WIDE, 6m LONG OF THE THE STANDARD OF, & CONNECTED TO THE ACCESS CARRIAGEWAY IS TO BE PROVIDED. IT IS TO BE MAX. 3m HOSE LAY FROM THE WATER CONNECTION, INCLUDING THE MINIMUM LEVEL OF DAMS, SWIMMING POOLS ETC. & MIN. 6m FROM THE BUILDING AREA TO BE PROTECTED.

THIS FORMS AN INTEGRAL PART OF THE BUILDING APPROVAL DOCUMENTATION. ENSURE ALL RELEVANT CONSULTANTS & CONTRACTORS ARE PROVIDED WITH A COPY OF THIS PLAN & SUPPORTING REPORT.



VEHICLE TURNING DIMENSIONS



ALTHOUGH A COMPLIANT WATER SUPPLY FOR FIREFIGHTING, VEHICLE HARDSTAND AREA & VEHICLE TURNING LOCATIONS HAVE BEEN SHOWN, OTHER LOCATIONS & CONFIGURATIONS MAY BE AVAILABLE FOR COMPLIANCE. (REFER TO SCHEDULE OF REQUIREMENTS). ANY ALTERNATIVE MUST BE CHECKED WITH THE BUILDING SURVEYOR & PLANNING AUTHORITY BEFORE PROCEEDING.

TO BE READ IN CONJUNCTION WITH BUSHFIRE ASSESSMENT REPORT BY G J WILLIAMS DRAFTING SERVICE DATED 12th AUGUST 2026 REF. No 670G

BUSHFIRE HAZARD MANAGEMENT PLAN (REFER TO GUIDE TO HAZARD MANAGEMENT AREA ATTACHED)

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ABN: 87 756 789 831

PROPOSED DWELLING ADDITION
FOR O.P. & C.A. GIUDICI
283 SANDFLY ROAD
MARGATE

DRAWING No:
670G-BHMP-2

DATE:
12 AUGUST 2026

SCALE: @A3
1:500

GUIDE TO HAZARD MANAGEMENT AREA (HMA)

(THIS IS AN INTEGRAL PART OF THE BUILDING PERMIT DOCUMENTATION)

As per the Directors determination titled “Determination – Requirements for Building in Bushfire-Prone Areas”, the HMA

“means the area, between a habitable building or building area and bushfire-prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire.”

It is to provide a defensible space for the building from bushfires.

The potential outcome is to reduce the amount of sparks and embers reaching the building, reduce radiant heat and protect from direct flame attack.

The creation and maintenance of a HMA does not necessarily require the total removal of or lack of vegetation.

The HMA may be considered as two zones, being a Building Protection Zone (BPZ) and a Fuel Modified Buffer Zone (FMBZ).

The BPZ is that adjacent to the building that has little or no material available to burn. This can be achieved by non-flammable areas such as paths, driveways and low cropped lawns. It may include dams, vegetable gardens, wastewater treatment system (eg septic tank) effluent disposal areas plus radiant heat shields, ember traps and windbreaks such as masonry/stone walls or non-combustible fences.

Fire hazards such as wood/rubbish heaps and stored fuel should be removed from this area. Regular cleaning of roof gutters is required (installation of no-combustible leaf gutter guards should be considered).

A non-combustible perimeter path around the building should be considered. Avoid planting shrubs against the building walls and decks or near windows and glass doors. Avoid high flammability plants and consider low-flammability plants (refer Tasmania Fire Service www.fire.tas.gov.au or phone 1800 000 699).

The FMBZ, still being part of the HMA, is an area further out from the building than the BPZ and is such that fine fuels are removed and larger fuels are strategically modified to reduce the intensity of an approaching bushfire.

This can potentially be achieved by separation of vegetation, both vertically and horizontally. Clumps of vegetation should be separated by open areas with minimal ground litter and fine fuels, rather than a continuous wall.

Appendix C (3 of 5)

Trees should be such that there are areas of separation between the crowns. Retaining established trees can trap embers and reduce wind speed. Also create vertical separation by removing fine fuels between the ground and the tree canopy to at least 2 metres by pruning lower branches and shrubs and minimise ground litter.

Trees with smooth bark are less likely to catch fire and allow the fire to travel up the trunk to the canopy.

Consideration should be given to the removal or modification of trees that are likely to fall or drop debris on the building. (Permits may be required. Check with the local authority before proceeding). The FMBZ can include low cropped grass and cultivated areas such as orchard, vineyards etc.

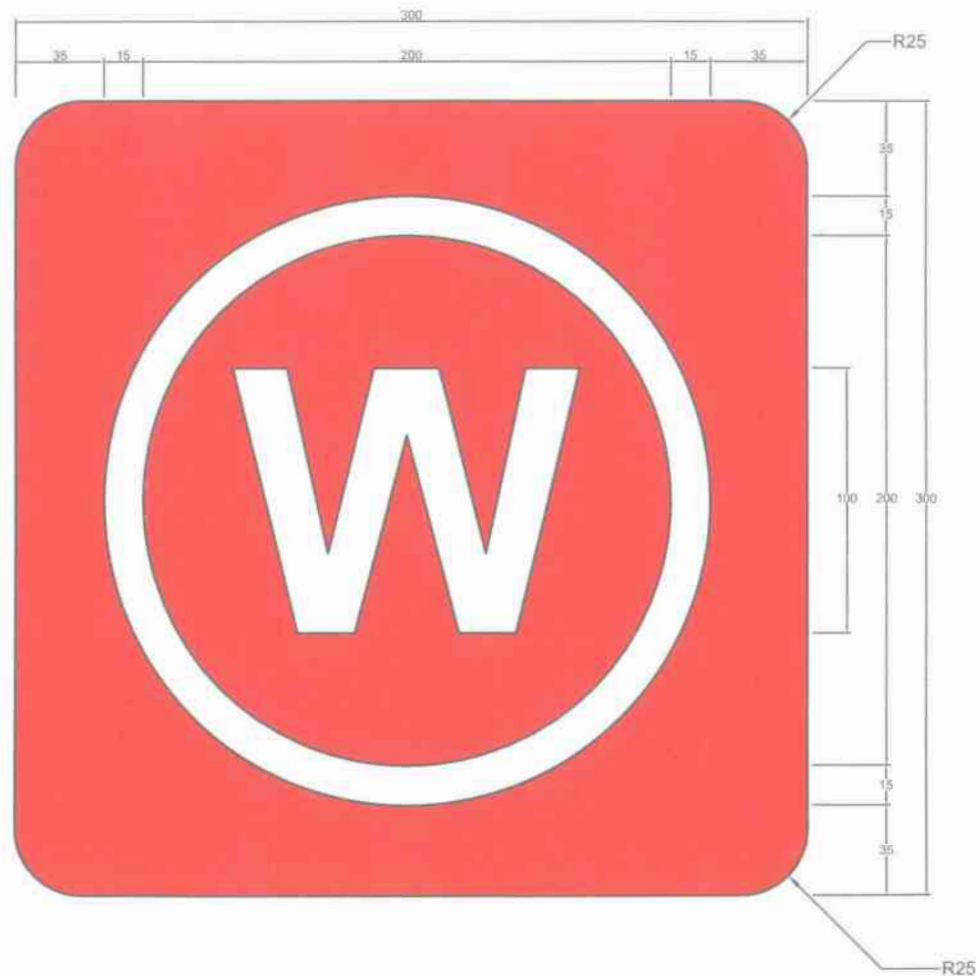
The slope of the land of the HMA (being the BPZ and FMBZ) has a bearing on its design and layout as fire tends to travel faster up slopes.

Consideration should also be given to the location of Class 10 buildings (non-habitable buildings such as sheds, detached garages and carports etc). These need to be positioned at an absolute minimum of 6 m from the habitable building unless built to the same assessed Bushfire Attack Level (BAL) construction requirements as that of the habitable building as prescribed in AS 3959. The HMA/BPZ may need to be extended accordingly.

The HMA should be created and maintained all year round for the life of the development. This is the responsibility of the developer/owner at the time.

Further information may be obtained from Tasmania Fire Service (TFS) at www.fire.tas.gov.au or ph 1800 000 699.

Appendix C (4 of 5)

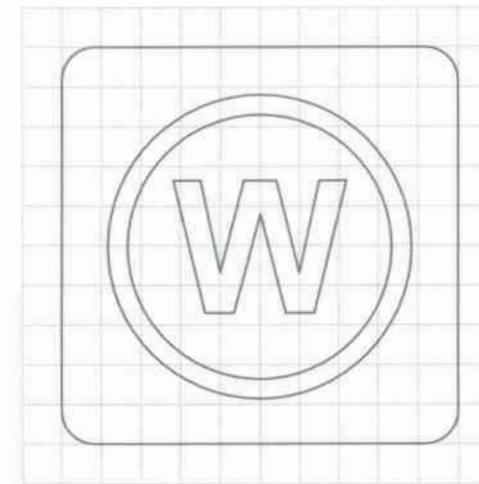


OVERALL SIGN DIMENSIONS (mm): 300 x 300, +/- 5
SURFACE AREA OF SIGN (sq m) : 0.0895

LEGEND COLOUR: WHITE (N14) IN ACCORDANCE WITH AS2700,
WITH A RETROREFLECTIVE SURFACE FINISH
BACKGROUND COLOUR: SIGNAL RED (R13) IN ACCORDANCE WITH AS2700

FOR SIGN FIXING AND LOCATION REQUIREMENTS, REFER TO
TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

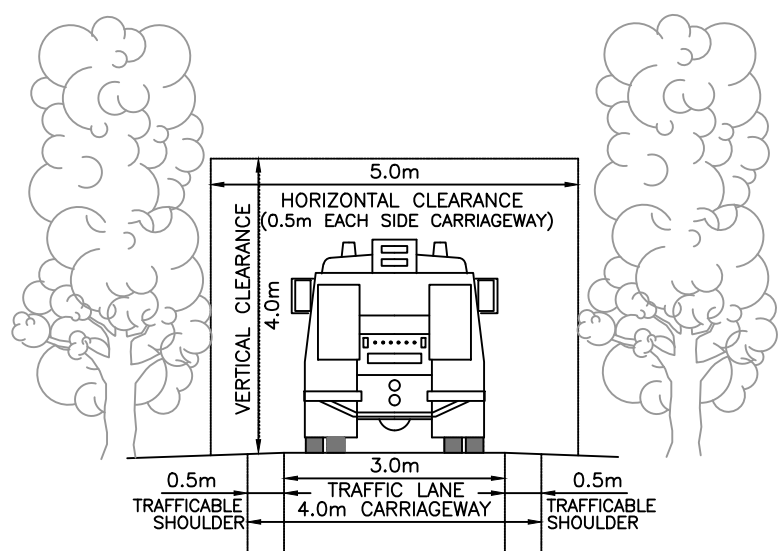
FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL
REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



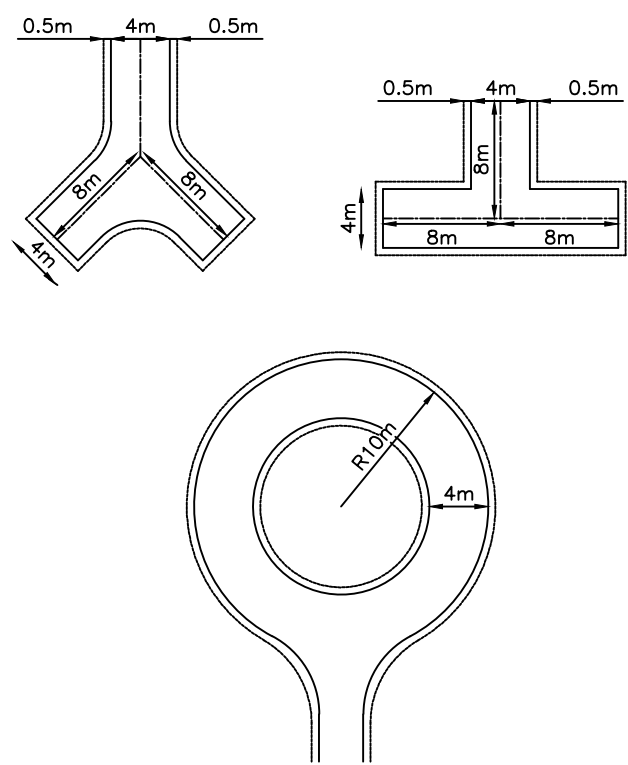
GRID MODULE X = 30mm Y= 30mm



ISSUE	APPR'D	DATE	AMENDMENT	NOTES	TITLE	FILE	BPP	DWG NO	TFS-WS01	SCALE	1:2
A				- all dimensions are in mm - written dimensions take precedence over scaled measurements	TASMANIA FIRE SERVICE WATER SUPPLY SIGN						
B											
C											
D											
DRWN	WH	APPR'D	CC	DATE	2/2/2017						



VEHICLE TURNING
DIMENSIONS



VEHICLE ACCESS & TURNING REQUIREMENTS

G. J. WILLIAMS DRAFTING SERVICE
ARCHITECTURAL, SURVEY & GENERAL DRAFTING
BUILDING DESIGNER & BUSHFIRE HAZARD PRACTITIONER
Gary Williams – Accreditation No.1110E & BFP-109

995 PELVERATA RD. PELVERATA. 7150
MOBILE 0428 396 159

gjwdrafting@outlook.com.au
ABN: 87 756 789 831

SEARCH OF TORRENS TITLE

VOLUME 26791	FOLIO 11
EDITION 5	DATE OF ISSUE 31-Jan-2017

SEARCH DATE : 01-Sep-2023

SEARCH TIME : 09.51 AM

DESCRIPTION OF LAND

Parish of KINGBOROUGH, Land District of BUCKINGHAM
Lot 11 on Sealed Plan 26791
Derivation : Part of 1,000 Acres Gtd to W S Sharland
Prior CT 4210/25

SCHEDULE 1

M606966 TRANSFER to OLIVER PAUL GIUDICI and CARLY ANNE
GIUDICI Registered 31-Jan-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BURDENING EASEMENT: Right of carriageway (appurtenant to Lot
10 on Sealed Plan No. 26791) over the Right of Way
marked A.B.C.D on Sealed Plan No. 26791
SP 26791 FENCING PROVISION in Schedule of Easements
E79576 MORTGAGE to Bendigo and Adelaide Bank Limited
Registered 31-Jan-2017 at 12.01 PM

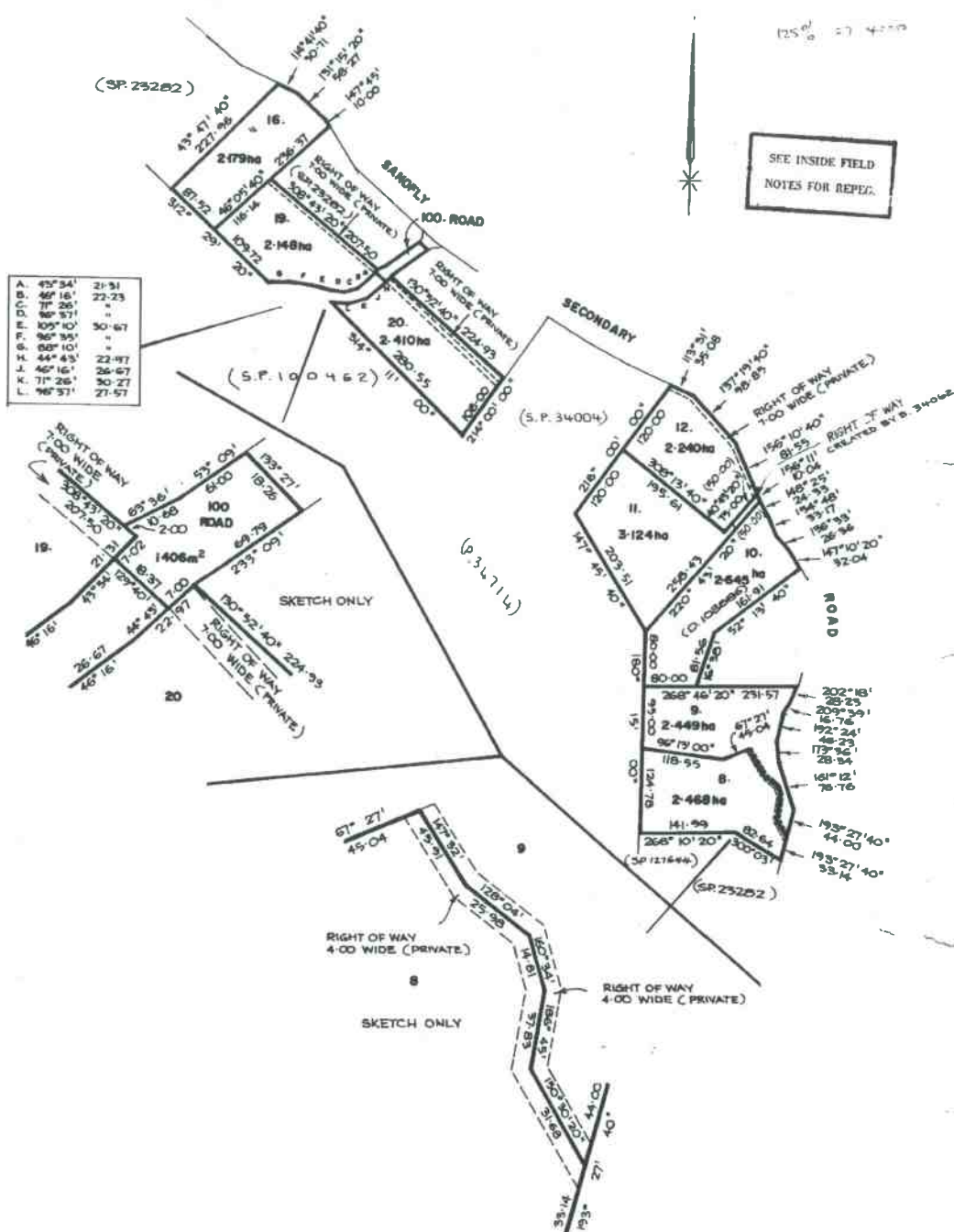
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Issued Pursuant to the Land Titles Act 1980

Owner: T. A. WARK	PLAN OF SURVEY by Surveyor <u>D. J. MCANULTY</u> of land situated in the	Registered Number: S.P26791
Title Reference: CT. 414 - 51	LAND DISTRICT OF BUCKINGHAM PARISH OF KINGBOROUGH	Approved Effective from: <u>21 OCT 1995</u>
Grantee: PART OF 1000 AC. QTD TO W ^S STANLEY SHARLAND	SCALE 1: 5000 MEASUREMENTS IN METRES	<i>S. R. Thompson</i> Recorder of Titles

u/a SNs 21/8/85





SCHEDULE OF EASEMENTS

PLAN NO.

S. P26791

Note:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS THIS COPY SCHEDULE CONSISTS OF 2 PAGE/S

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

LOT 8 is SUBJECT TO a Carriageway Right of/Way (appurtenant to Lot 9) over the Right of Way 4.00 metres wide (Private) shown hereon, passing through the said Lot 8

LOT 8 is TOGETHER WITH a Right of Carriageway over the Right of Way 4.00 metres wide (Private) ~~over Lot 9~~ shown passing through Lot 9.

LOT 9 is SUBJECT TO a Right of Carriageway (appurtenant to Lot 8) over the Right of Way 4.00 metres wide (Private) shown hereon, passing through the said Lot 9.

LOT 9 is TOGETHER WITH a Right of Carriageway over the Right of Way 4.00 metres wide ~~over Lot 8~~ shown passing through Lot 8.

26

LOT 16 is TOGETHER WITH a Right of Carriageway over the Right of Way 7.00 metres wide (Private) ~~over Lot 19~~, shown passing through Lot 19.

LOT 19 is SUBJECT TO a Right of Carriageway (appurtenant to Lot 16) over the Right of Way 7.00 metres wide (Private) shown ~~hereon~~, passing through the ~~said~~ Lot 19.

LOTS 12 and 20 ^{EACH} are SUBJECT TO a Right of Carriageway (appurtenant to the balance ~~of land comprised in Certificate of Title Volume 4114 Folio 51~~) over the Rights of Way 7.00 metres wide (Private) shown ~~hereon~~, passing through such Lot.

INTERPRETATION

BALANCE means ~~the residue of~~ the land ^{remaining} ~~comprised in~~ Certificate of Title Volume 4114 Folio 51 ~~remaining vested in Timothy Wark~~ at the date of acceptance but excluding the Lots shown on the Plan.

FENCING PROVISION

In respect of each Lot ^{except Lot 100} the Vendor Timothy Wark shall not be required to fence.

SIGNED by TIMOTHY WARK the registered
proprietor of the land comprised and described
in Certificate of Title Volume 4114 Folio 51
in the presence of:-

T Wark

Kathina M. Wark
Occupational Therapist
Margate

SIGNED by DONALD JOHN WORSLEY the
Mortgagee under Mortgage No. A903719 In
the presence of:-

D J Worsley

[Signature]

26791

This is the schedule of easements attached to the plan of TIMOTHY WARK
(Insert Subdivider's Full Name)

..... affecting land in

CERTIFICATE OF TITLE VOLUME 4114 FOLIO 51
(Insert Title Reference)

Sealed by Municipality of Kingborough on 5th August 1985

Solicitor's Reference M. Wark
..... of Council Clerk/Town Clerk

00-C 3134

APPROVAL BY LOCAL AUTHORITY

The subdivision shown in this Plan
is approved

Insert here any qualification to
the approval under section 468
(12), section 472 or section 477B
of the Local Government Act
1962.
Rule through any blank space.

Seal

In witness whereof the common seal of The Municipality of Kingborough

has been hereunto affixed, pursuant to a resolution of the Council of the said
municipality passed the 5th day of August 1985,
in the presence of us

[Signature]
[Signature] } Members

[Signature] Council Clerk

Council's Reference SD 1237

**TO BE COMPLETED WHEN ADDITIONAL
SHEETS ARE ANNEXED**

Detailed drawings of the parcels shown in this plan are
contained in the additional sheet(s) annexed hereto and
signed by us

..... Surveyor

..... Council Clerk

**TO BE COMPLETED AND SIGNED
BY COUNCIL CLERK OR OWNER**

For the purposes of section 464 of the Local Government
Act 1962, the owner has nominated/I nominate

As his/my Solicitor.....

Messrs Brown Ware and Hay

As his/my Surveyor..... *D. J. McAJOY*

[Signature] Council Clerk/Owner

TO BE FILLED IN BY SURVEYOR

Survey commenced 23-3-'85

Survey finished 25-5-'85

Error of Close See Notes

OFFICE EXAMINATION

Plot Checked PM 2-9-85

Mathematically Checked PM 2-9-85

Examined as to Boundaries 11/9/85

Entered on Card.....

OS-K 1110

Surveyor's Certificate

I, *David John McAJOY*
of *Rosetta*
in Tasmania, registered surveyor, hereby certify that this plan:

1. Has been made from surveys executed by me or a registered
pupil under my personal supervision, inspection, and field-
check, and that both plan and survey are correct and have
been made in accordance with the Land Surveyors By-
Laws 1966;
2. Complies with all statutory provisions relating to anything
appearing thereon; and
3. Requires the approval of the local authority, which has been
obtained (or does not require the approval of any local
authority)

Dated this 21st day of June 1985

[Signature]
Registered Surveyor

Surveyor's Reference 1067/2

Woodland vegetation to the North



Forest vegetation to the South that requires modification.



Looking west at the Grassland & Woodland vegetation to the East



Grassland to the East



Forest vegetation to the East



Looking east Woodland vegetation to the West



Garden to the East



Driveway



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: (description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒ X
or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Assessment Report by Gary Williams dated 12 th August 2026. Bushfire Hazard Management Plan by G.J. Williams Drafting Service dated 12 th August 2026.
Relevant calculations:	AS 3959:2018
References:	Building Regulations 2014, AS 3959:2018 Construction of Buildings in Bushfire-prone Areas Director's Determination – Requirements for Building in Bushfire-Prone Areas (transitional) v2.3 & National Construction Code H7D4.

Substance of Certificate: (what it is that is being certified)

The proposed building work – if designed & constructed in accordance with the Bushfire Hazard Management Plan referred to in this certificate, will comply with the acceptable Deemed-to-Satisfy requirements of the Director's Determination – Requirements for Building in Bushfire-Prone Areas (transitional) v2.3.
The applicable Bushfire Attack Level (BAL) determined using AS 3959:2018 for design & construction is – **BAL-19**

Scope and/or Limitations

1. The scope of this certification is limited to compliance with the requirements of the Director's Determination- Requirements for Building in Bushfire-Prone Areas (transitional) v2.3.
2. The effectiveness of the measures prescribed in the bushfire hazard management plan and supporting report are dependant of their correct implementation and maintenance for the life of the development.
3. No guarantee can be provided that the building work will survive every bushfire event.
The assessment only deals with the potential bushfire risk. All other assessments, statutory or otherwise are outside the scope of this evaluation.

The assessment is relevant at the time it was undertaken and cannot be relied upon for future development.

Impacts of land rezoning, future development & vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:

Signed:



Certificate No:

670G-1

Date:

12/08/2026