

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2023-345

Proposal: Dwelling extension, studio and outbuilding (retrospective)

Subject Site: 283 Sandfly Road, Margate

Responsible Planning Officer: Cassinia Devries

Advertised Documents:

- Application Plans
- Arboricultural impact assessment
- Bushfire hazard report
- Landslide risk assessment

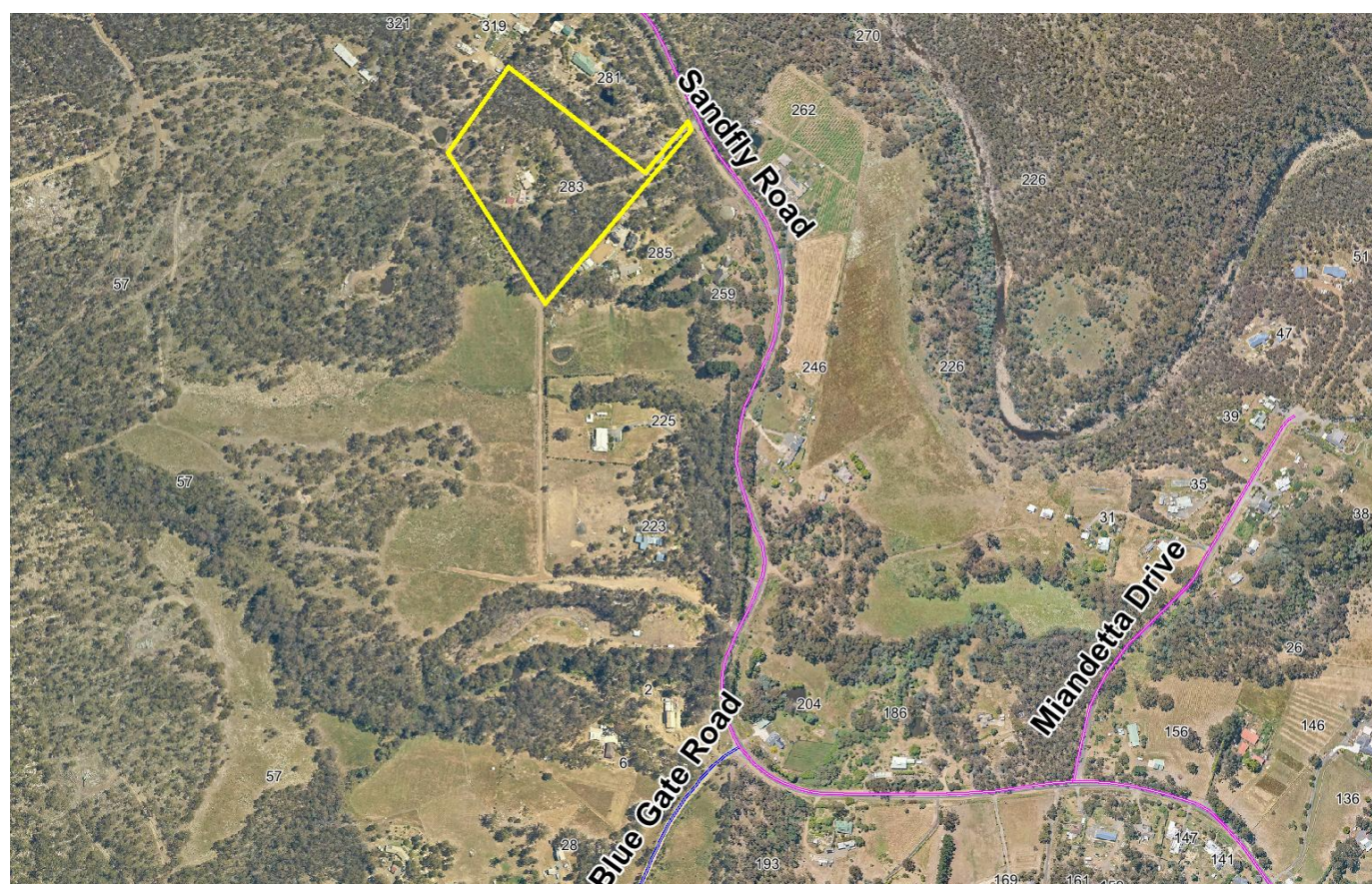
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **4 September 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



CONTOUR INTERVAL = 5m (FROM LIST)

LOCATION OF WTS AS PER
DRAINAGE PLAN No. 10616

Kingborough Council

Development Application: DA-2023-345

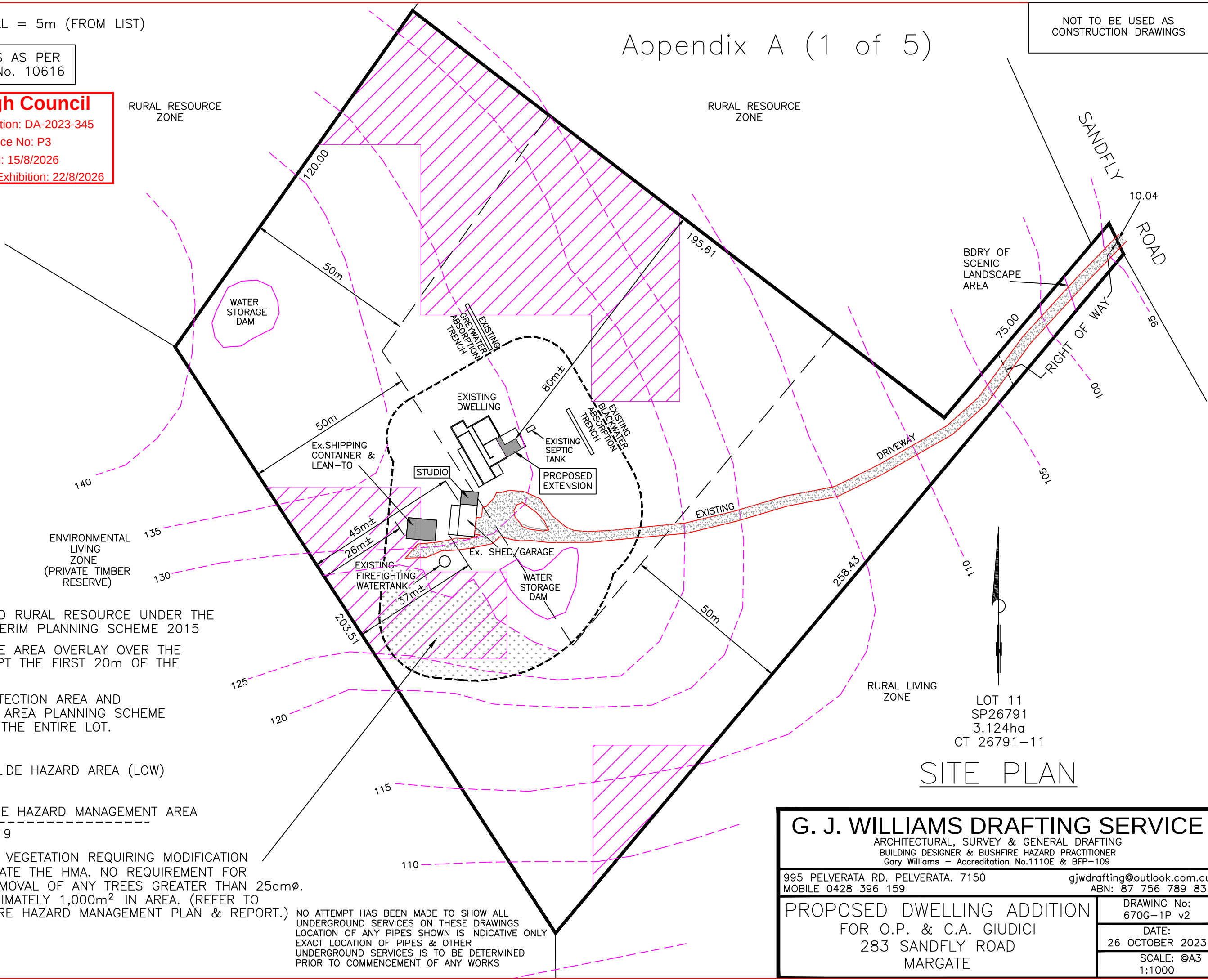
Plan Reference No: P3

Date Received: 15/8/2026

Date placed on Public Exhibition: 22/8/2026

NOT TO BE USED AS
CONSTRUCTION DRAWINGS

Appendix A (1 of 5)



THE LOT IS ZONED RURAL RESOURCE UNDER THE KINGBOROUGH INTERIM PLANNING SCHEME 2015

SCENIC LANDSCAPE AREA OVERLAY OVER THE ENTIRE LOT EXCEPT THE FIRST 20m OF THE ACCESS STRIP.

BIODIVERSITY PROTECTION AREA AND BUSHFIRE-PRONE AREA PLANNING SCHEME OVERLAYS COVER THE ENTIRE LOT.

LANDSLIDE HAZARD AREA (LOW)

BDRY OF BUSHFIRE HAZARD MANAGEMENT AREA (HMA) FOR BAL-19

FOREST VEGETATION REQUIRING MODIFICATION TO CREATE THE HMA. NO REQUIREMENT FOR THE REMOVAL OF ANY TREES GREATER THAN 25cmØ. APPROXIMATELY 1,000m² IN AREA. (REFER TO BUSHFIRE HAZARD MANAGEMENT PLAN & REPORT.)

NO ATTEMPT HAS BEEN MADE TO SHOW ALL UNDERGROUND SERVICES ON THESE DRAWINGS. LOCATION OF ANY PIPES SHOWN IS INDICATIVE ONLY. EXACT LOCATION OF PIPES & OTHER UNDERGROUND SERVICES IS TO BE DETERMINED PRIOR TO COMMENCEMENT OF ANY WORKS.

SITE PLAN

G. J. WILLIAMS DRAFTING SERVICE

ARCHITECTURAL, SURVEY & GENERAL DRAFTING
BUILDING DESIGNER & BUSHFIRE HAZARD PRACTITIONER
Gary Williams - Accreditation No.1110E & BFP-109

995 PELVERATA RD. PELVERATA. 7150
MOBILE 0428 396 159

gjwdrafting@outlook.com.au
ABN: 87 756 789 831

PROPOSED DWELLING ADDITION
FOR O.P. & C.A. GIUDICI
283 SANDFLY ROAD
MARGATE

DRAWING No:
670G-1P v2

DATE:
26 OCTOBER 2023

SCALE: @A3
1:1000

NOTE: Measurements do not include cladding or lining.

FLOOR AREAS (OUTER FACE OF WALLS OR SUPPORTS)

HOUSE = 167.8m²
VERANDAHS = 31.1m²
PORCH = 8.2m²
TOTAL = 207.1m²

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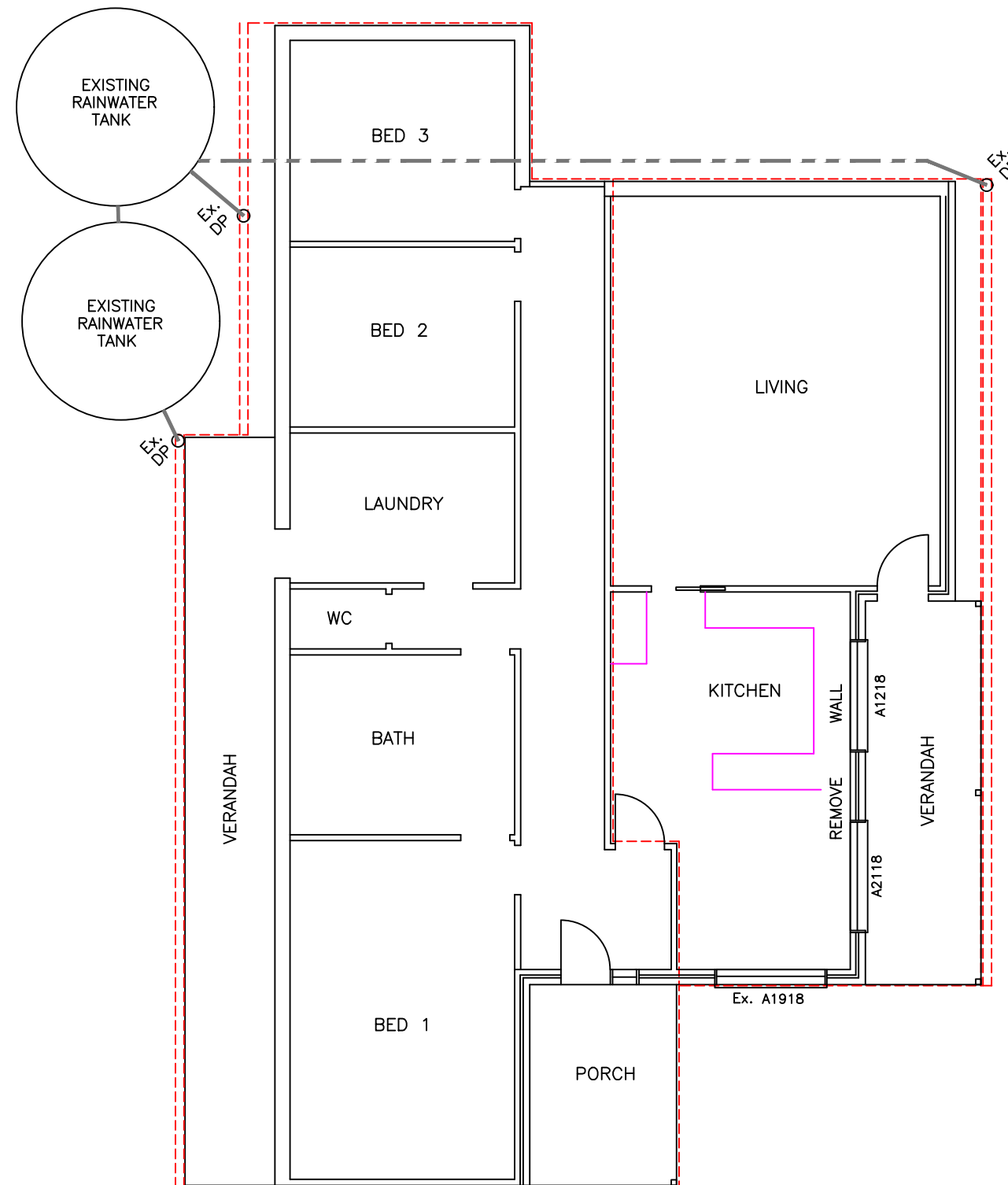
Appendix A (2 of 5)

DP RAINWATER PIPE 90°

S/W - - - - -

ROOF LINE - - - - -

NOT TO BE USED AS
CONSTRUCTION DRAWINGS



EXISTING
FLOOR PLAN
S/W DRAINAGE PLAN

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283 SANDFLY ROAD
MARGATE

DRAWING No:
670G-2P

DATE:
20 SEPTEMBER 2023

SCALE: @A3
1:100

Appendix A (3 of 5)

NOTE: Measurements do not include cladding or lining.

FLOOR AREAS (OUTER FACE OF WALLS OR SUPPORTS)

HOUSE = 190.3m²
VERANDAH = 18.7m²
PORCH = 8.2m²
TOTAL = 217.2m²

OVERFLOW TO BE DIRECTED AWAY FROM BUILDINGS, WASTEWATER ABSORPTION AREA, DISPERSED OVER VEGETATED LAND. ROCK PITCHING & DISPERSION DRAINS AS REQUIRED & TO REMAIN WITHIN THE PROPERTY.

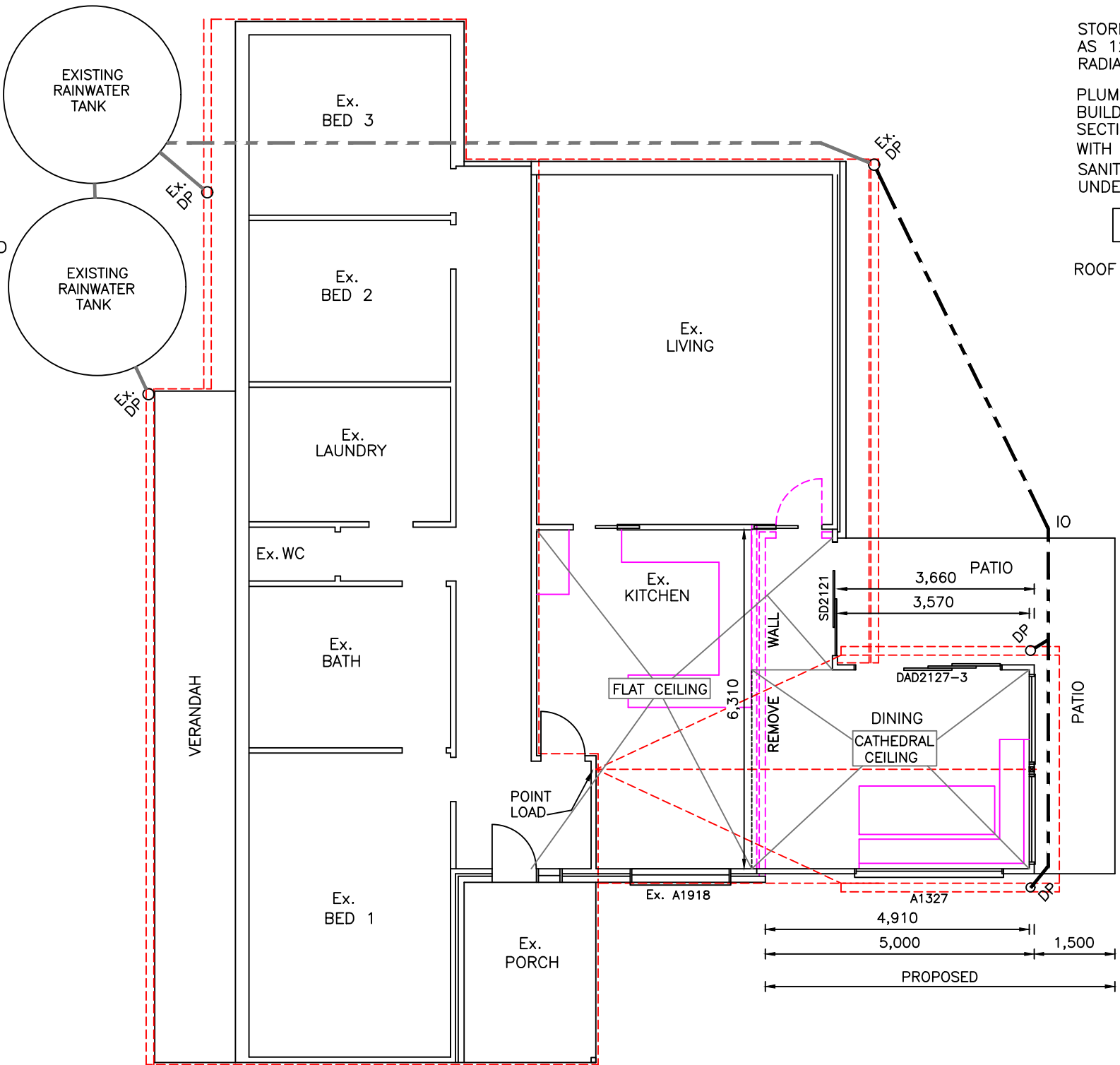
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DP RAINWATER PIPE 90Ø
IO INSPECTION OPENING
S/W - EXISTING -
- PROPOSED -

STORMWATER PIPES TO BE UPVC TO AS 1260 WITH ADEQUATE RESISTANCE TO UV RADIATION WHERE EXPOSED TO LIGHT

PLUMBING : ALL WORKS TO CONFORM TO THE BUILDING ACT, BUILDING REGULATIONS, NCC INCLUDING SECTION C, TAS SECTION H, TAS SECTION F, TAS PART 101 AND IN COMPLIANCE WITH AS/NZS 3500.1-5 AND THE DIRECTOR'S DETERMINATIONS. SANITARY PLUMBING & DRAINAGE PRODUCTS ARE TO BE CERTIFIED UNDER THE WATERMARK CERTIFICATION SCHEME.

REFER TO PLUMBING PERMIT

ROOF LINE - - - - -

PROPOSED
FLOOR PLAN
S/W DRAINAGE PLAN

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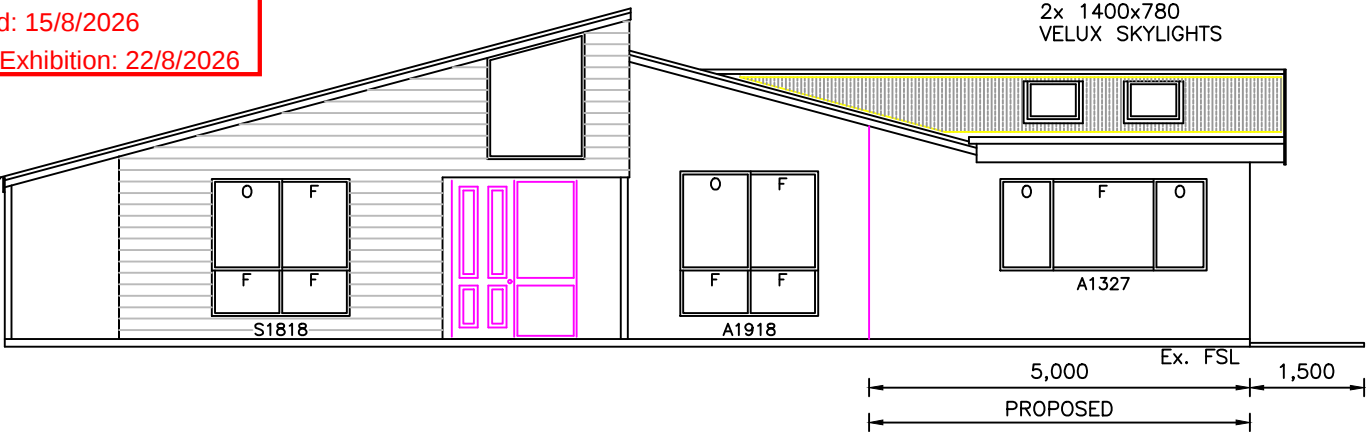
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670G-3P

DATE:
20 SEPTEMBER 2023

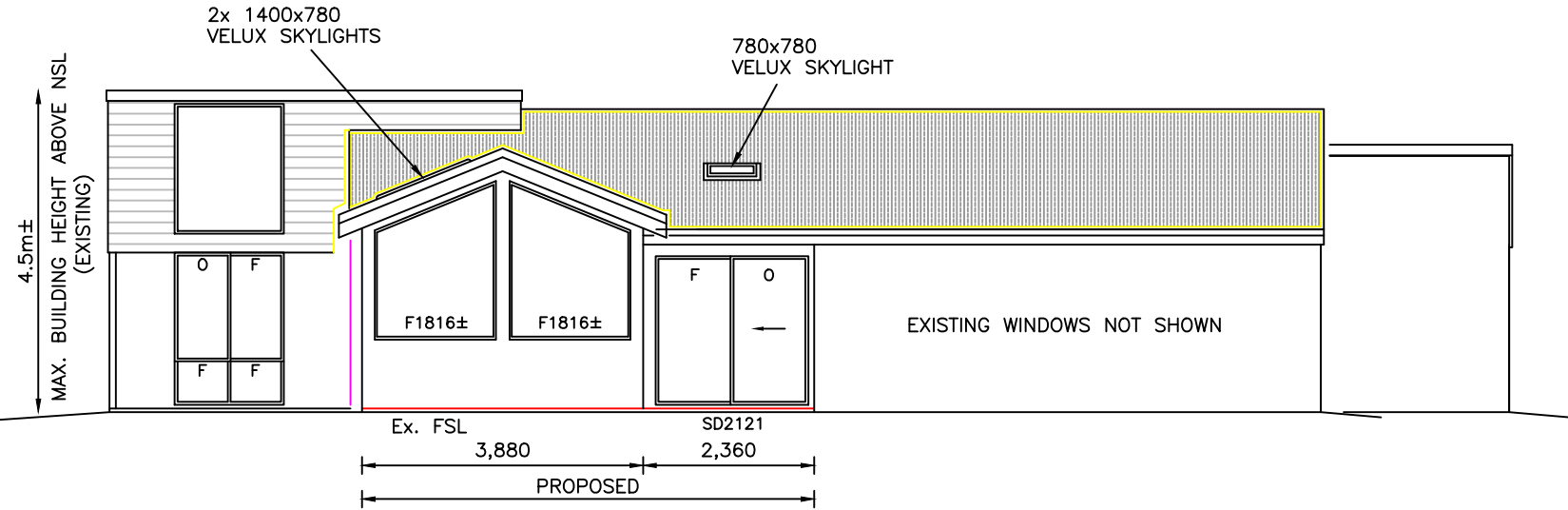
SCALE: @A3
1:100

RENDERED FIBRE-CEMENT SHEET CLADDING (colour-SANDBANK but to match existing)
(Light Refl V = 41%)
TRIMDEK HI-TEN COLORBOND SHEET ROOFING (colour-BUSHLAND but to match existing)
(Light Refl V = 23%)
TIMBER FRAMED WINDOWS (colour-Brown) (Light Refl V = 15%±)

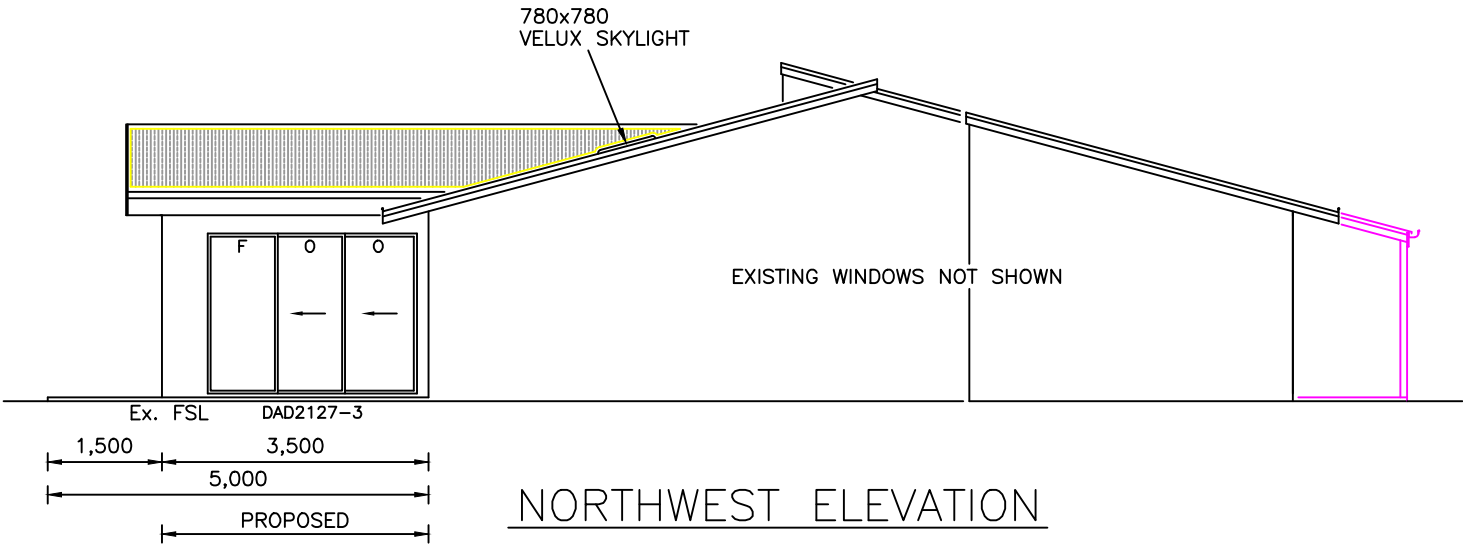
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SOUTHEAST ELEVATION



NORTHEAST ELEVATION



NORTHWEST ELEVATION

PROPOSED
ELEVATIONS

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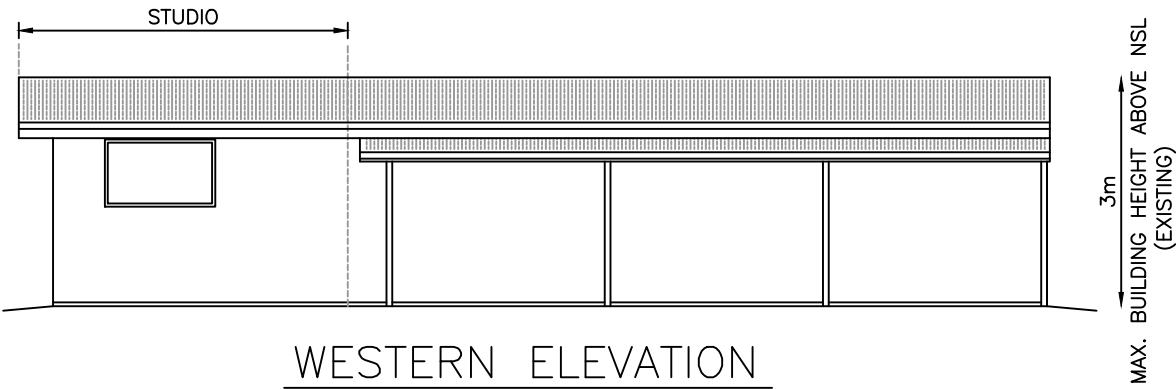
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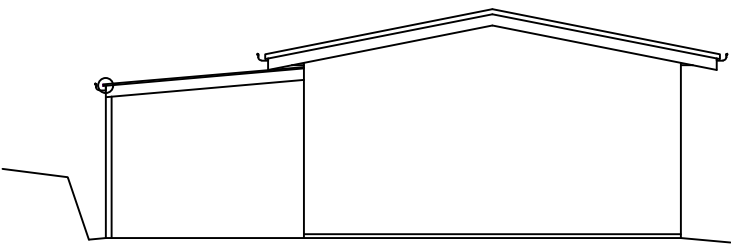
FIBRE-CEMENT WEATHERBOARD CLADDING (colour-SANDBANK but to match existing)
(Light Refl V = 41%)
TRIMDEK HI-TEN COLORBOND SHEET ROOFING (colour-BUSHLAND but to match existing)
(Light Refl V = 23%)
ALUMINIUM FRAMED WINDOWS (colour-IRONSTONE)(Light Refl V = 11%)

Appendix A (5 of 5)

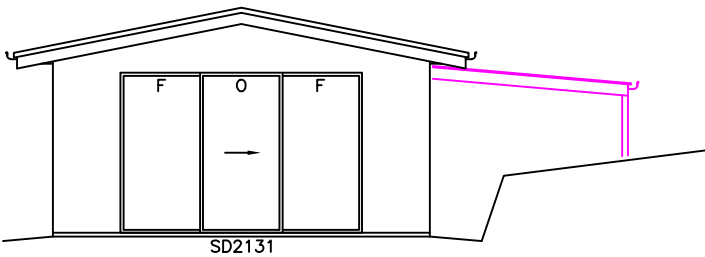
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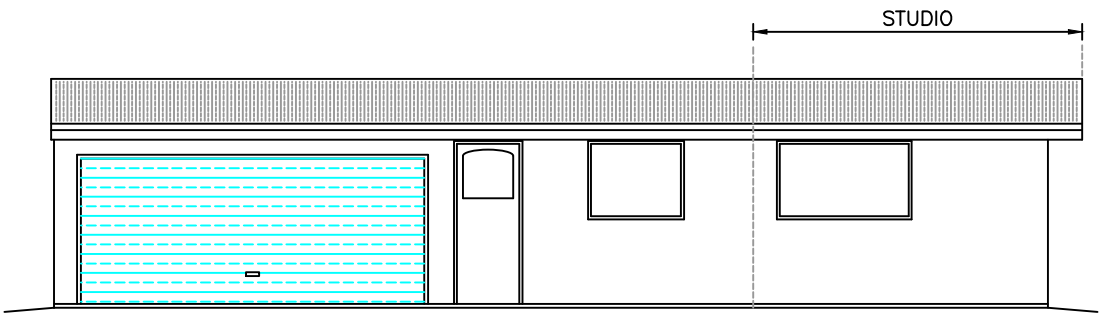
WESTERN ELEVATION



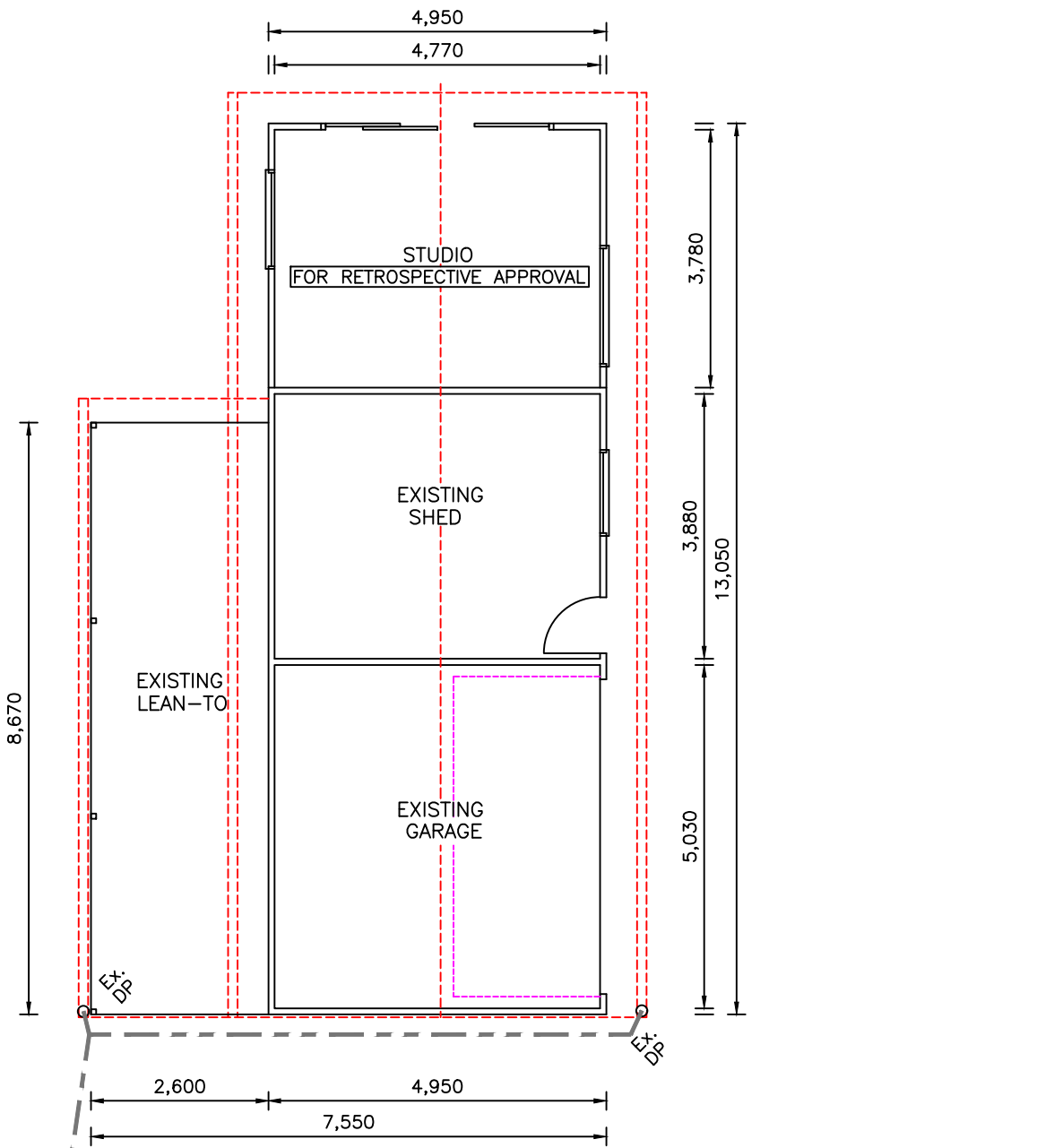
SOUTHERN ELEVATION



NORTHERN ELEVATION



EASTERN ELEVATION



----- ROOF LINE

STUDIO

FOR RETROSPECTIVE APPROVAL

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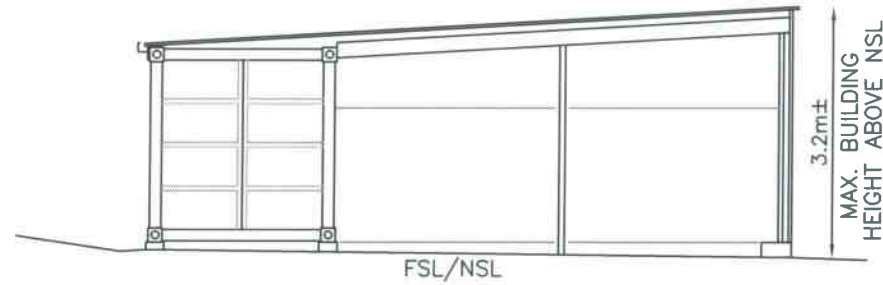
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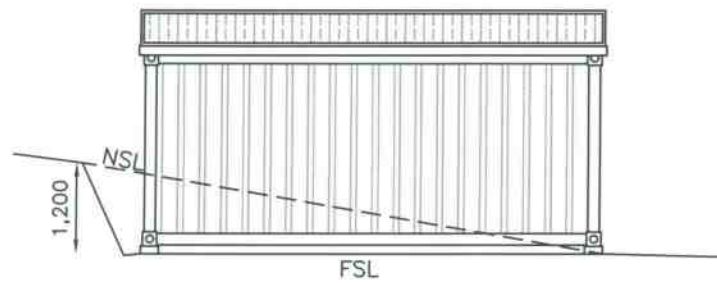
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TRIMDEK HI-TEN COLORBOND SHEET CLADDING (colour-BUSHLAND)
(& LASERLITE SHEET CLADDING)
TRIMDEK HI-TEN COLORBOND SHEET ROOFING (colour-BUSHLAND)
SHIPPING CONTAINER (colour-HEADLAND/MANOR RED)
(Light Refl V = 9% to 14%)

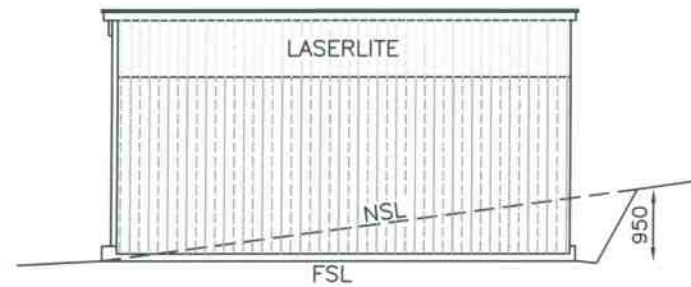
FLOOR AREA (OUTER FACE OF WALLS OR SUPPORTS)
= 50.3m²



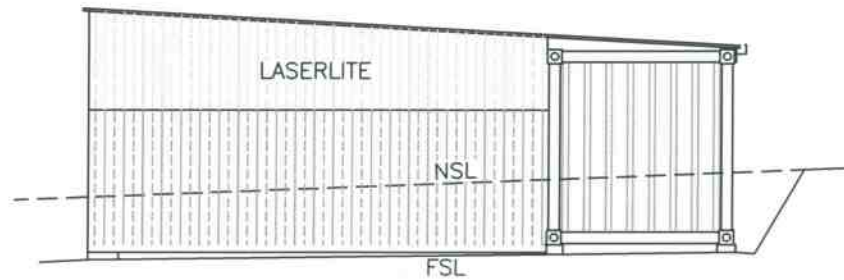
SOUTHERN ELEVATION



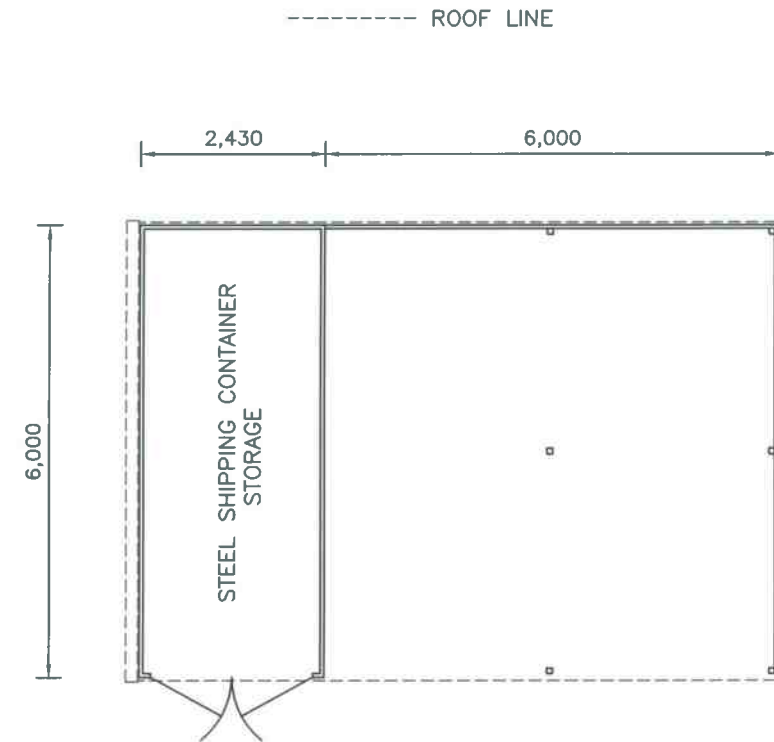
WESTERN ELEVATION



EASTERN ELEVATION



NORTHERN ELEVATION



SHIPPING CONTAINER
& LEAN-TO

FOR RETROSPECTIVE APPROVAL

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SCHEDULE OF REQUIREMENTS FOR BAL-19

ALL WORKS ARE TO COMPLY WITH THE DIRECTOR’S DETERMINATION –”REQUIREMENTS FOR BUILDING IN BUSHFIRE-PRONE AREAS (TRANSITIONAL)” v2.3 (DIRECTOR’S DETERMINATION) AVAILABLE AT www.cbos.tas.gov.au (Resources and tools>Building and trade forms, publications and reports>Building in Hazardous Areas Determinations)

HAZARD MANAGEMENT AREA (REFER TO GUIDE TO HAZARD MANAGEMENT AREA ATTACHED)

THIS AREA TO BE CREATED & MAINTAINED TO, AT LEAST, THE DIMENSIONS SHOWN SO THAT IT IS KEPT IN A MINIMAL FUEL CONDITION.

CONSTRUCTION

TO COMPLY WITH THE PROVISIONS OF THE DIRECTOR’S DETERMINATION. HABITABLE BUILDINGS AND ASSOCIATED OUTBUILDINGS MUST BE DESIGNED & CONSTRUCTED TO COMPLY WITH AS 3959:2018 SECn 3 & SECn 6 FOR BAL-19 REQUIREMENTS. HOWEVER, NO SPECIFIC CONSTRUCTION REQUIREMENTS FOR OUTBUILDINGS MORE THAN 6m FROM THE HABITABLE BUILDING OR FIRE SEPARATED PER AS 3959 cl. 3.2. HIGHER LEVELS OF CONSTRUCTION ARE ENCOURAGED.

VEHICULAR ACCESS

DIRECTOR’S DETERMINATION (cl.4.2 & TABLE 4.2) TO BE TO WITHIN 90m FROM THE FURTHEST PART OF THE BUILDING TO BE PROTECTED AS A HOSE LAY. THERE ARE NO SPECIFIC ACCESS REQUIREMENTS WHERE ACCESS LENGTH IS <30m or ACCESS IS NOT REQUIRED FOR A FIRE APPLIANCE TO ACCESS A FIREFIGHTING WATER POINT.

WHERE ≥30m, IN LENGTH or ACCESS IS FOR A FIRE APPLIANCE TO A FIREFIGHTING WATER POINT, ACCESS TO BE:
-ALL WEATHER CONSTRUCTION
-LOAD CAPACITY OF MIN. 20 TONNES, INCL BRIDGES & CULVERTS
-MIN. CARRIAGEWAY WIDTH OF 4m (TRAFFIC LANE WIDTH OF 3m + SHOULDER WIDTH OF 0.5m EA. SIDE)
-MIN. VERTICAL CLEARANCE OF 4m.
-MIN. HORIZONTAL CLEARANCE OF 0.5m FROM THE EDGE OF CARRIAGEWAY.
-MAX. CROSSFALL OF 5%
-DIPS MAX. OF 12.5% ENTRY & EXIT ANGLES.
-MIN. CURVE INNER RADIUS OF 10m.
-MAX. GRADIENT OF 15°/28% FOR SEALED & 10°/18% FOR UNSEALED &
-END WITH A TURNING AREA FOR FIRE APPLIANCES OF A MIN. 10m OUTER RADIUS TURNING CIRCLE, ACCESS ENCIRCLING THE BUILDING OR A “T”or”Y” TURNING HEAD 4m WIDE & 8m LONG.

FOR ACCESS LENGTHS ≥200m, PASSING BAYS OF ADDITIONAL 2m WIDE & 20m LONG ARE TO BE PROVIDED NO MORE THAN 200m APART.

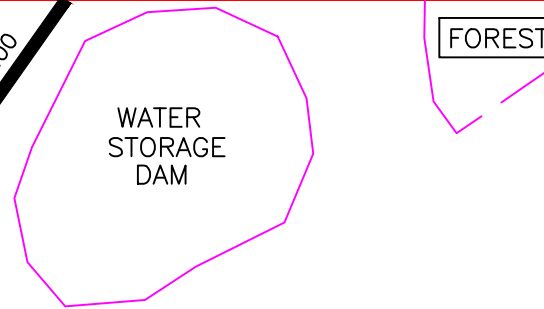
WATER SUPPLY (for FIREFIGHTING)

DIRECTOR’S DETERMINATION. (cl. 4.3 & TABLE 4.3B) THE FURTHEST PART OF THE BUILDING AREA TO BE PROTECTED MUST BE WITHIN 90m (HOSE LAY) OF A CONNECTION TO A STORED WATER SUPPLY IN A TANK, SWIMMING POOL, DAM OR LAKE AVAILABLE FOR FIREFIGHTING PURPOSES AT ALL TIMES WHICH HAS A CAPACITY OF AT LEAST 10,000L FOR EACH HABITABLE BUILDING. THIS 10,000L IS NOT TO BE USED FOR FIREFIGHTING SPRINKLER SYSTEMS. TANKS ARE TO BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTIBLE MATERIAL IF ABOVE GROUND UNLESS SHIELDED IN ALL DIRECTIONS PER SECn.3.5 AS 3959 WITH THE LOWEST 400mm EXTERIOR OF THE TANK PROTECTED BY METAL, NON-COMBUSTIBLE MATERIAL OR MIN. 6mm FIBRE-CEMENT.

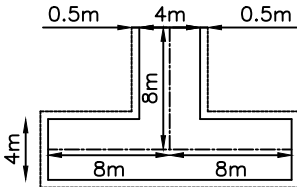
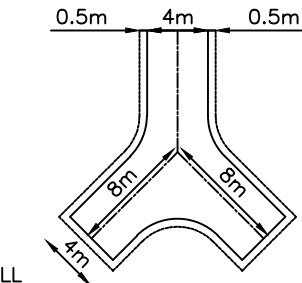
FITTINGS, PIPEWORK & ACCESSORIES, INC. STAND & SUPPORTS:

FITTINGS & PIPEWORK MUST BE BURIED TO A MIN. DEPTH OF 300mm PER 5.23 AS/NZS 3500.1 2003 OR BE METAL OR LAGGED WITH A NON-COMBUSTIBLE MATERIAL IF ABOVE GROUND, HAVE A MIN NOMINAL INTERNAL DIA. OF 50mm, BE FITTED WITH A VALVE OF MIN. INTERNAL DIA. OF 50mm & BE PROVIDED WITH A DIN or STANDARD FORGED STORZ 65 COUPLING WITH A SUCTION WASHER. THE COUPLING MUST BE ACCESSIBLE AT ALL TIMES & BE FITTED WITH A BLANK CAP & SECURING CHAIN OF MIN. 220mm LONG. ALTERNATIVELY, UNDERGROUND TANKS MAY HAVE AN OPENING IN THE TOP OF MIN 250mm DIA. REMOTE OFFTAKES ARE TO BE VISIBLE, ACCESSIBLE, AT A HEIGHT OF 450-600mm ABOVE GROUND & BE PROTECTED FROM POSSIBLE DAMAGE. SIGNAGE FOR STATIC WATER CONNECTIONS ARE TO BE PERMANENTLY FIXED IN A VISIBLE LOCATION & COMPLIANT WITH: AS 2304-2011 Water storage tanks for fire protection systems; OR BE MARKED WITH THE LETTER “W”, MIN 100mm HIGH IN UPPER CASE WITHIN A CIRCLE, BE OF FADE RESISTANT MATERIAL WITH WHITE REFLECTIVE “W” & CIRCLE ON A RED BACKGROUND. THE SIGN IS TO BE MIN. 400mm HIGH, WITHIN 1m OF THE CONNECTION & NOT IMPEDE ACCESS OR OPERATION. IT IS PREFERABLE THAT REMOTE OFFTAKES BE FROM A CHARGED LINE. A CLEAR PATHWAY FOR THE HOSE LAY FROM THE WATER CONNECTION POINT TO ALL PARTS OF THE BUILDING TO BE PROTECTED IS TO BE MAINTAINED AT ALL TIMES. A HARDSTAND AREA FOR FIRE APPLIANCES OF MIN 3m WIDE, 6m LONG OF THE THE STANDARD OF, & CONNECTED TO THE ACCESS CARRIAGEWAY IS TO BE PROVIDED. IT IS TO BE MAX. 3m HOSE LAY FROM THE WATER CONNECTION, INCLUDING THE MINIMUM LEVEL OF DAMS, SWIMMING POOLS ETC. & MIN. 6m FROM THE BUILDING AREA TO BE PROTECTED.

THIS FORMS AN INTEGRAL PART OF THE BUILDING APPROVAL DOCUMENTATION. ENSURE ALL RELEVANT CONSULTANTS & CONTRACTORS ARE PROVIDED WITH A COPY OF THIS PLAN & SUPPORTING REPORT.



VEHICLE TURNING DIMENSIONS



ALTHOUGH A COMPLIANT WATER SUPPLY FOR FIREFIGHTING, VEHICLE HARDSTAND AREA & VEHICLE TURNING LOCATIONS HAVE BEEN SHOWN, OTHER LOCATIONS & CONFIGURATIONS MAY BE AVAILABLE FOR COMPLIANCE. (REFER TO SCHEDULE OF REQUIREMENTS). ANY ALTERNATIVE MUST BE CHECKED WITH THE BUILDING SURVEYOR & PLANNING AUTHORITY BEFORE PROCEEDING.

TO BE READ IN CONJUNCTION WITH BUSHFIRE ASSESSMENT REPORT BY G J WILLIAMS DRAFTING SERVICE DATED 12th AUGUST 2026 REF. No 670G

Kingborough Council

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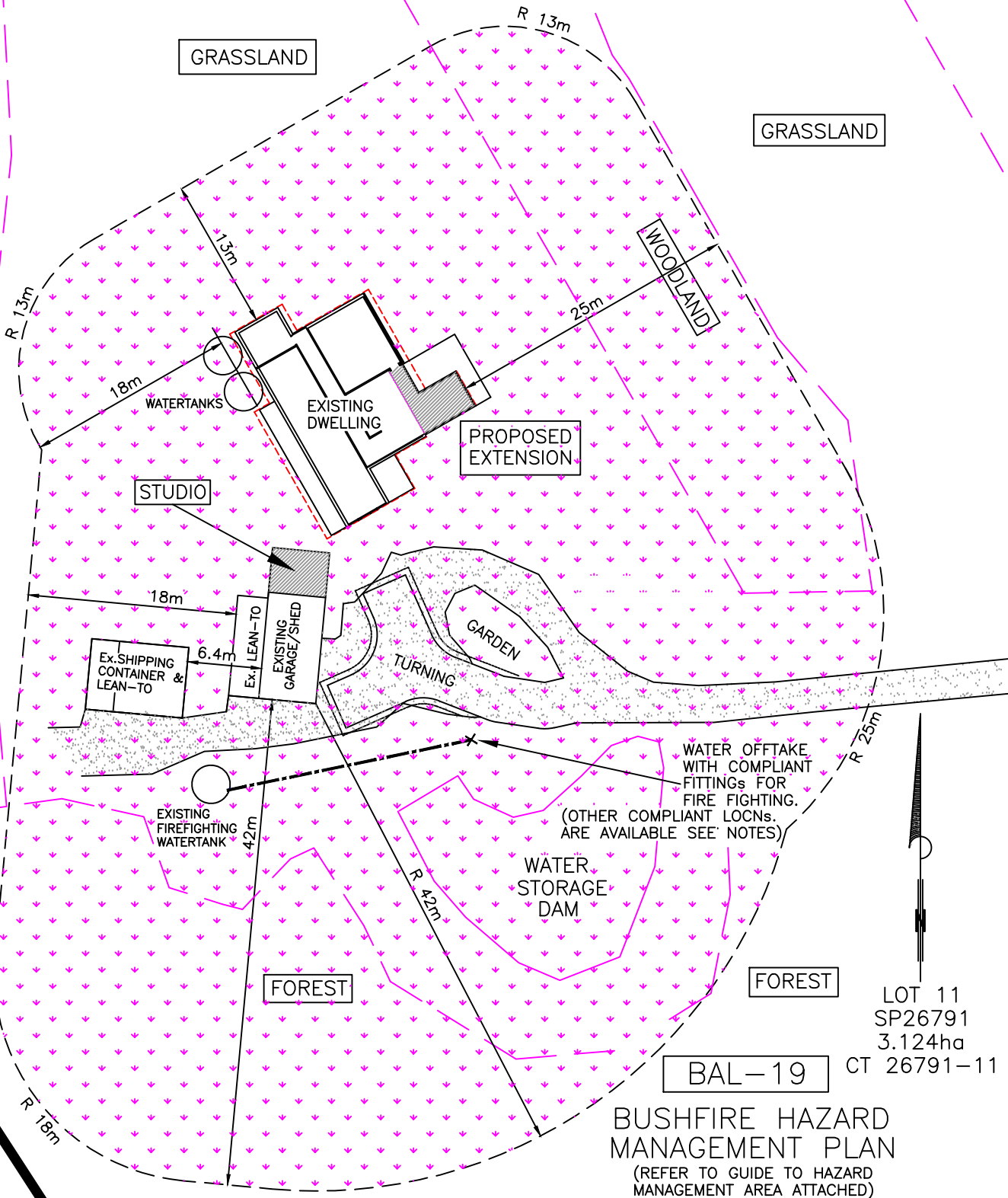
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Appendix C (1 of 5)

FOREST



LOT 11
SP26791
3.124ha
CT 26791-11

BUSHFIRE HAZARD MANAGEMENT PLAN
(REFER TO GUIDE TO HAZARD MANAGEMENT AREA ATTACHED)

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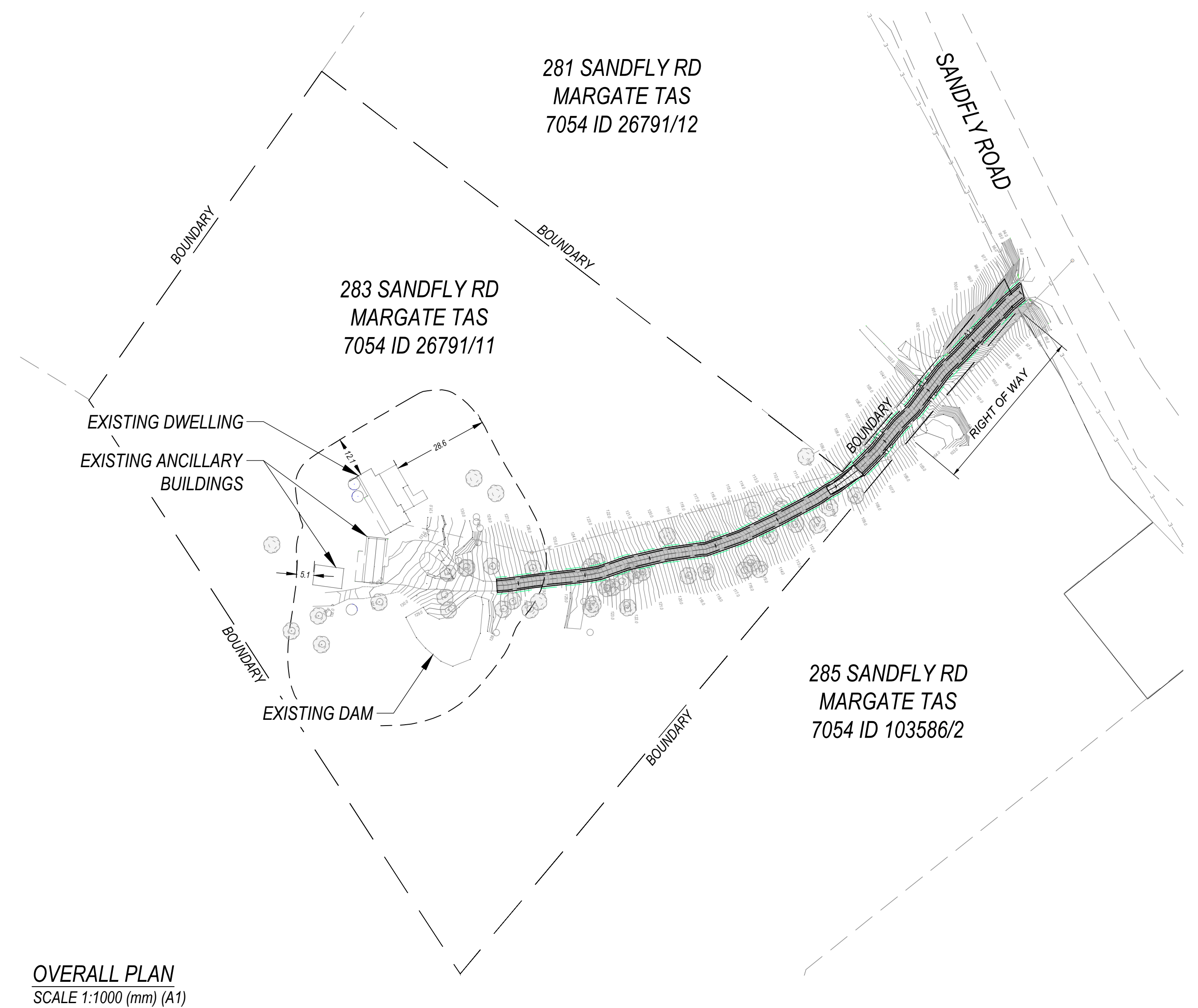
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MARGATE

DRAWING No:
670G-BHMP-2
DATE:
12 AUGUST 2026
SCALE: @A3
1:500

CIVIL DRAWINGS
DRIVEWAY UPGRADE
OLIVER GIUDICI
283 SANDFLY RD MARGATE TAS 7054

DRAWING SCHEDULE

SHEET C01	DRAWING TITLE TITLE & OVERALL PLAN	REV 0	DATE 02/07/26
C02	NOTES & LEGEND	0	02/07/26
C03	OVERALL LAYOUT PLAN	0	02/07/26
C04	DRIVEWAY DETAILED CIVIL AND DRAINAGE LAYOUT 1 OF 3	0	02/07/26
C05	DRIVEWAY DETAILED CIVIL AND DRAINAGE LAYOUT 2 OF 3	0	02/07/26
C06	DRIVEWAY DETAILED CIVIL AND DRAINAGE LAYOUT 3 OF 3	0	02/07/26
C07	CONSTRUCTION DETAILS	0	02/07/26



OVERALL PLAN
SCALE 1:1000 (mm) (A1)

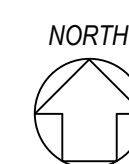
WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE
APPROXIMATE ONLY AND THE EXACT POSITION
SHOULD BE PROVEN ON SITE. NO GUARANTEE IS
GIVEN THAT ALL SERVICES ARE SHOWN.

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BASE SURVEY SUPPLIED BY
ROGERSON & BIRCH SURVEYORS
SURVEYED ON: 19/03//2026
HORIZONTAL DATUM: MGA2020 AHD 83
GRID: GDA2020, ZONE 55
LEVEL DATUM: AHD



FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732



DRIVEWAY UPGRADE

CLIENT: OLIVER GIUDICI
283 SANDFLY RD MARGATE TAS 7054

DRAWING TITLE

TITLE AND OVERALL PLAN

DESIGNED	DRAWN	
	HM	
PROJECT	SHEET NO.	REVISION
CKD-CIV-201	C01	0

SCALE
S NOTED

LEGEND

SHAPED TABLE DRAIN

BOUNDARY LINE

OPEN DRAIN

EXISTING FENCE LINE

EXISTING OVERHEAD POWER LINE

EXISTING TELECOMMUNICATIONS LINE

EXISTING POWER POLE

SD

SD

SD

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EARTHWORKS & DRIVEWAY NOTES:

1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS".

2. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED AND GRUBBED IN THE AREA OF PROPOSED WORKS.

3. NEW OR MODIFIED DRIVEWAY CROSSINGS SHALL BE IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-v1 AND MUST BE INSPECTED AND APPROVED BY COUNCIL.

4. EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY THE CLIENT PRIOR TO INSTALLATION.

5. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED TO BE OTHERWISE.

6. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

• TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.

• THE SUB GRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 100 kPa.

• FILL IN EMBANKMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND.

• THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.

• EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% STD, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.

7. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE CLIENT SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED TO CONFIRM AN APPROVED BASE.

8. CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 3 DAYS USING A CURRENT BEST PRACTICE METHOD.

9. SAWN CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELLING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.

10. BATTERS SHALL BE SET TO A SAFE ANGLE OF REPOSE IN ACCORDANCE WITH THE BCA VOL 2 AS INDICATED BELOW:

NOTE: WHERE SITE CONDITIONS ARE UNSUITABLE FOR A BATTERED BANK CONSULT THE CLIENT FOR A SUITABLE RETAINING WALL DESIGN. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

SEE TABLE BELOW

SOIL TYPE (* REFER BCA 3.2.4)	EMBANKMENT SLOPES H:L	
	COMPACTED FILL	CUT
STABLE ROCK (A*)	2:3	8:1
SAND (A*)	1:2	1:2
SILT (P*)	1:4	1:4
CLAY	FIRM CLAY	1:2
	SOFT CLAY	NOT SUITABLE
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

WORKPLACE HEALTH & SAFETY NOTES:

BEFORE THE CONTRACTOR COMMENCES WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START HAZARD ANALYSIS / JOB SAFETY ANALYSIS (JSA) WHICH SHALL IDENTIFY IN DOCUMENTED FORM;

- THE TYPE OF WORK.

• HAZARDS AND RISKS TO HEALTH AND SAFETY.

• THE CONTROLS TO BE APPLIED IN ORDER ELIMINATE OR MINIMIZE THE RISK POSED BY THE IDENTIFIED HAZARDS.

• THE MANNER IN WHICH THE RISK CONTROL MEASURES ARE TO BE IMPLEMENTED.

THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS.

FOR THIS PROJECT; POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

- EXCAVATION OF ANY TYPE & DEPTHS

• CONTAMINATED SOILS

• CONSTRUCTION IN GROUND WITH HIGH WATER TABLE

• FELLING / LOPPING &/OR REMOVAL OF EXISTING TREES/VEGETATION

• UNDERGROUND STRUCTURES (MANHOLES / SUMPS / ETC)

• CONFINED SPACES

• OVERHEAD POWER LINES

• UNDERGROUND STORMWATER, WATER AND SEWER PIPES

• TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD

• ELECTRICAL/POWER CABLES - BOTH UNDERGROUND & OVERHEAD

• WORKING AT HEIGHTS

• WORKING WITH ASBESTOS CONTAINING MATERIALS

• TRAFFIC MANAGEMENT

GENERAL NOTES

1. ALL WORKS SHALL BE IN ACCORDANCE WITH LGAT STANDARD DRAWINGS (U.N.O.)

2. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE (U.N.O.)

CIVIL WORKS

1. NO MACHINERY IS TO BE PLACED ON OR HAVE ACCESS TO ANY AREA OUTSIDE THE LIMIT OF WORKS UNLESS APPROVED.

2. THE LIMIT OF WORKS LINE SHALL BE TEMPORARILY FENCED WITH BUNTING BEFORE ANY WORKS COMMENCE.

3. NO CLEARING OF VEGETATION OR REMOVAL OF TOPSOIL IS PERMITTED IN ANY AREA NOT DIRECTLY RELATED TO THE CONSTRUCTION WORKS OR AS NOTED ON THE DRAWINGS OTHER THAN REMOVAL OF TREES IDENTIFIED AS IN A HAZARDOUS CONDITION.

4. ALL STRIPPED TOPSOIL IS TO BE STORED IN AN APPROVED MANNER FOR REHABILITATION WORKS AND VEGETATION RESEEDING.

5. SUBGRADE CBR FOR ROAD PAVEMENTS AND FOOTPATHS TO BE A MINIMUM OF 5%

Kingborough Council

Development Application: DA-2023-345

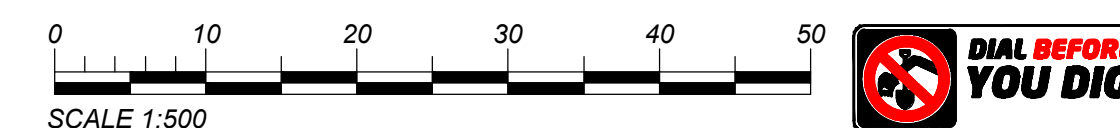
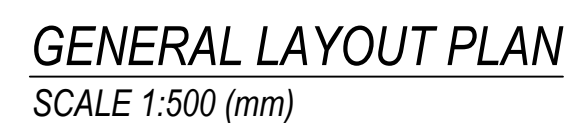
Plan Reference No: P3

Date Received: 15/8/2026

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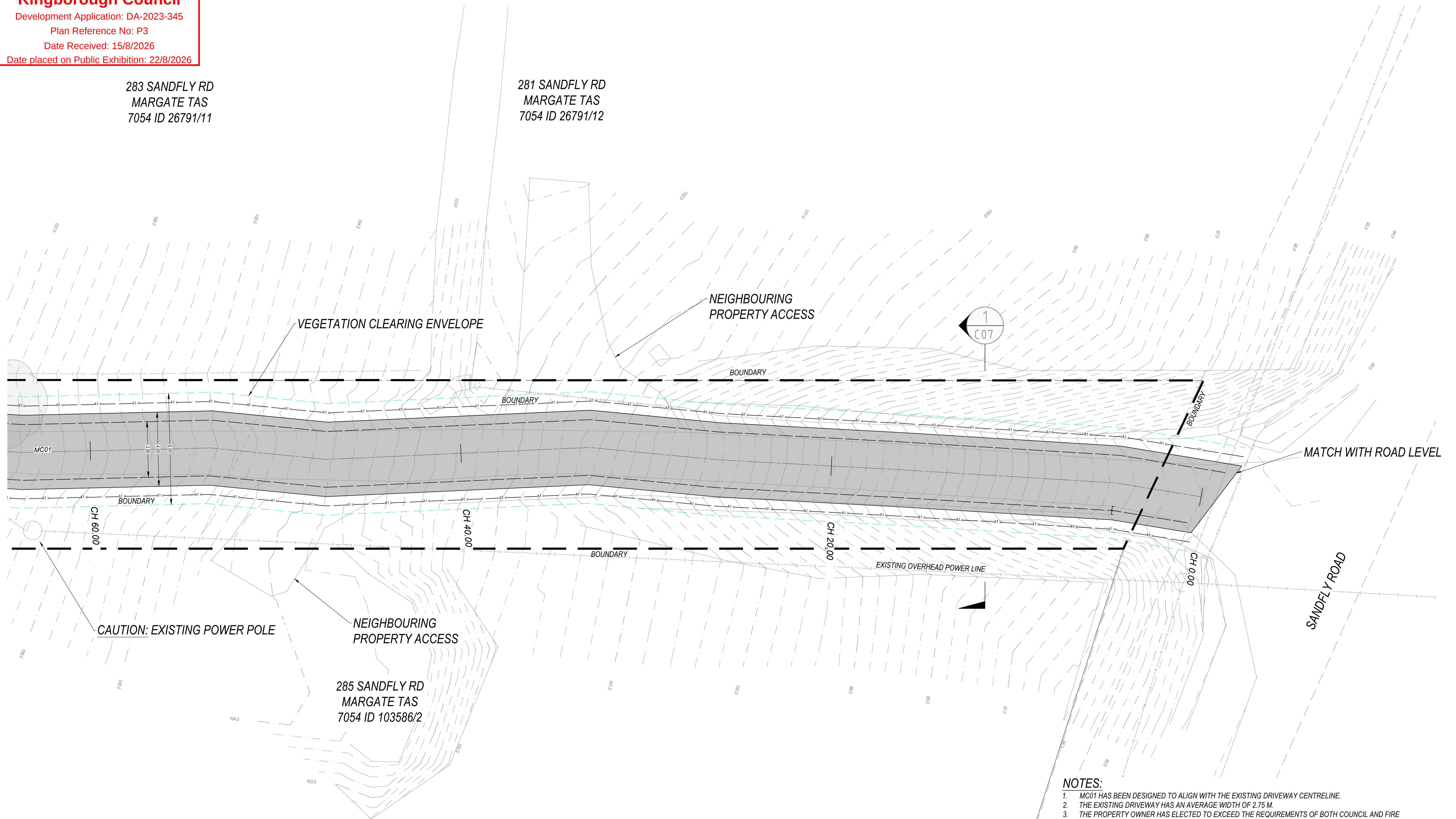


0	BUILDING APPROVAL / CONSTRUCTION	OG	02/07/26		FYSH DESIGN UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS PH: 0414 149 394 ACCREDITATION: BSD LICENCE NO. 479819732		DRIVEWAY UPGRADE CLIENT: OLIVER GIUDICI 283 SANDFLY RD MARGATE TAS 7054 DRAWING TITLE NOTES AND LEGEND	DESIGNED DRAWN HM PROJECT SHEET NO. CKD-CIV-201 C02	SCALE AS NOTED REVISION 0
REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE				



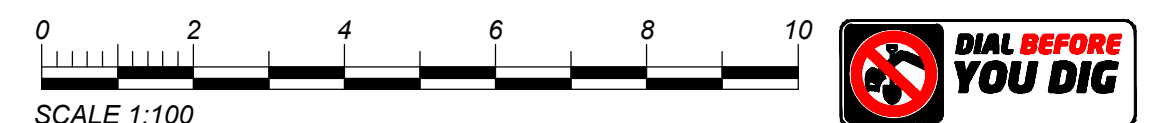
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281 SANDFLY RD
MARGATE TAS
7054 ID 26791/12

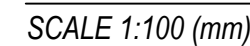


SCALE 1:100 (mm)

1. MC01 HAS BEEN DESIGNED TO ALIGN WITH THE EXISTING DRIVEWAY CENTRELINE.
2. THE EXISTING DRIVEWAY HAS AN AVERAGE WIDTH OF 2.75 M.
3. THE PROPERTY OWNER HAS ELECTED TO EXCEED THE REQUIREMENTS OF BOTH COUNCIL AND FIRE AUTHORITIES BY SEALING THE FULL 3.0 M CARRIAGEWAY, TOGETHER WITH 0.5 M SHOULDERS ON EITHER SIDE. THIS APPROACH HAS BEEN ADOPTED TO ADDRESS CONCERNS REGARDING LONG-TERM MAINTENANCE AND DURABILITY, PARTICULARLY GIVEN THE STEEP GRADE OF THE DRIVEWAY.
4. TREE IDS REFER TO SEPARATE TREE PLAN USED BY CLIENT FOR ENGAGEMENT OF ARBORIST.



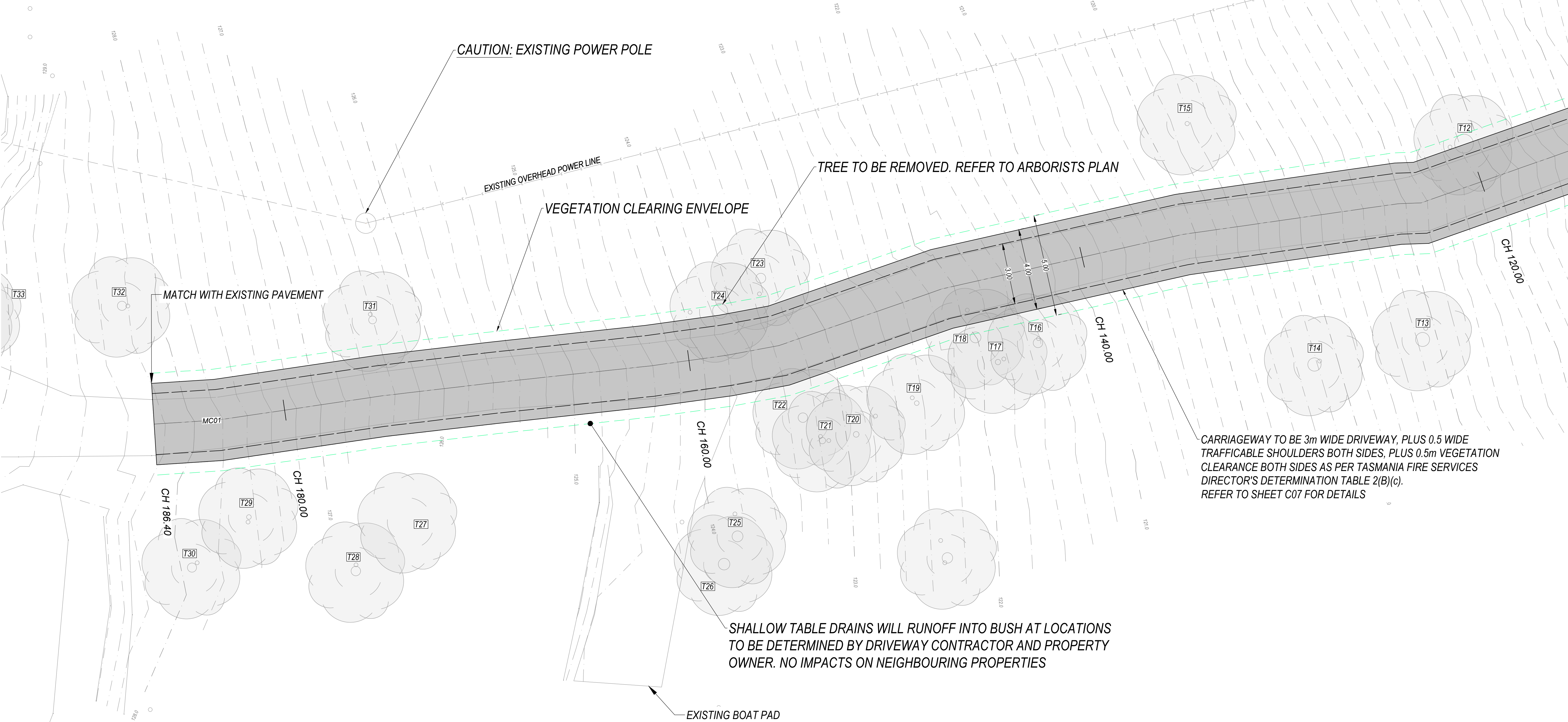
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REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE												



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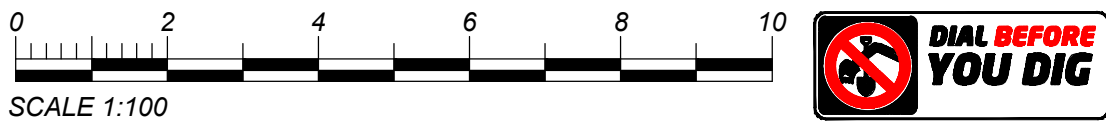


0BUILDING APPROVAL / CONSTRUCTIONOG02/07/26			FYSH DESIGN CIVIL & LANDSCAPE FYSH DESIGN UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS PH: 0414 149 394 ACCREDITATION: BSD LICENCE NO. 479819732 NORTH DRIVEWAY UPGRADE CLIENT: OLIVER GIUDICI 283 SANDFLY RD MARGATE TAS 7054 DRAWING TITLE DRIVEWAY DETAILED CIVIL AND DRAINAGE LAYOUT 2 OF 3 DESIGNED PROJECT CKD-CIV-201 DRAWN SHEET NO. C05 SCALE AS NOTED REVISION 0		
REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE



DRIVEWAY DETAILED CIVIL LAYOUT 3
SCALE 1:100 (mm)

- NOTES:
- MC01 HAS BEEN DESIGNED TO ALIGN WITH THE EXISTING DRIVEWAY CENTRELINE.
 - THE EXISTING DRIVEWAY HAS AN AVERAGE WIDTH OF 2.75 M.
 - THE PROPERTY OWNER HAS ELECTED TO EXCEED THE REQUIREMENTS OF BOTH COUNCIL AND FIRE AUTHORITIES BY SEALING THE FULL 3.0 M CARRIAGEWAY, TOGETHER WITH 0.5 M SHOULDERS ON EITHER SIDE. THIS APPROACH HAS BEEN ADOPTED TO ADDRESS CONCERNS REGARDING LONG-TERM MAINTENANCE AND DURABILITY, PARTICULARLY GIVEN THE STEEP GRADE OF THE DRIVEWAY.
 - TREE IDS REFER TO SEPARATE TREE PLAN USED BY CLIENT FOR ENGAGEMENT OF ARBORIST.



0 BUILDING APPROVAL / CONSTRUCTION		OG	02/07/26			 FYSH DESIGN UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS PH: 0414 149 394 ACCREDITATION: BSD LICENCE NO. 479819732		DRIVEWAY UPGRADE CLIENT: OLIVER GIUDICI 283 SANDFLY RD MARGATE TAS 7054 DRAWING TITLE DRIVEWAY DETAILED CIVIL AND DRAINAGE LAYOUT 3 OF 3	DESIGNED HM PROJECT CKD-CIV-201	DRAWN HM SHEET NO. C06	SCALE AS NOTED REVISION 0
REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE						

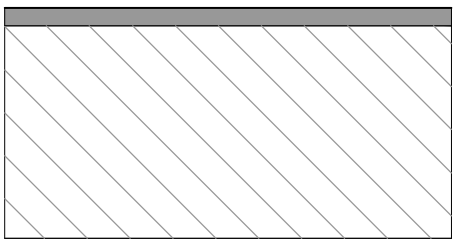
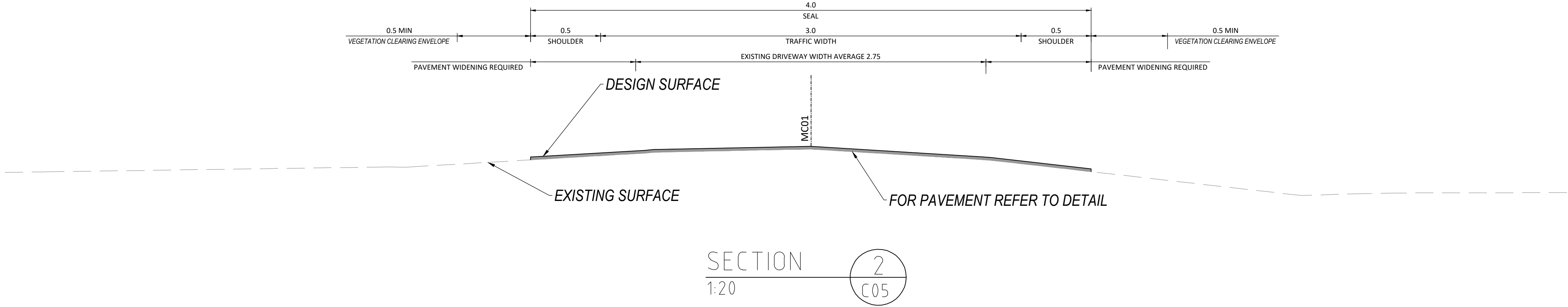
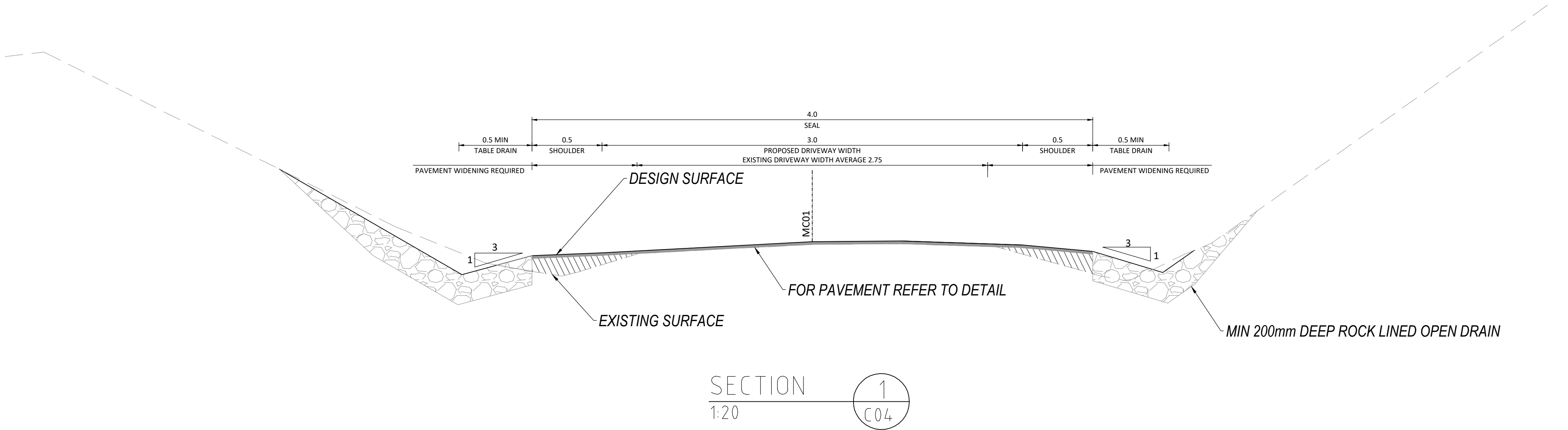
Kingborough Council

Development Application: DA-2023-345

Plan Reference No: P3

Date Received: 15/8/2026

Date placed on Public Exhibition: 22/8/2026

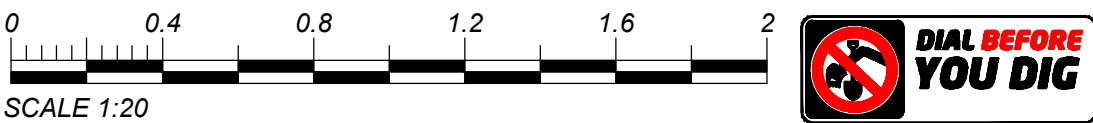


SEAL TO BE DEFINED BY PROPERTY OWNER
200mm BASE COURSE AS PER LGAT TSD-R04-v3

PAVEMENT WIDENING DETAIL

NOTES:

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REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE							

NOTES:

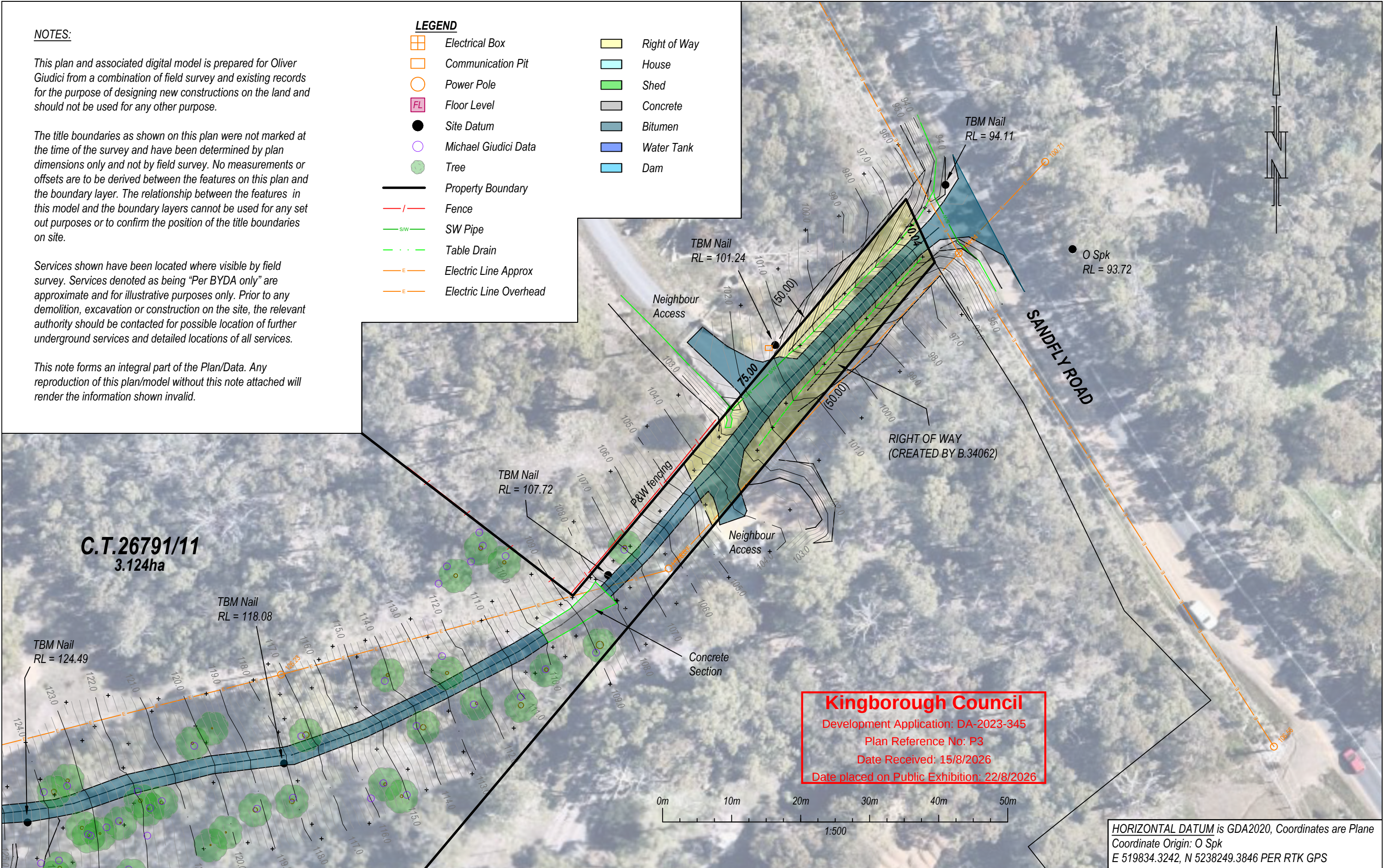
This plan and associated digital model is prepared for Oliver Giudici from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Services denoted as being "Per BYDA only" are approximate and for illustrative purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

- LEGEND**
- Electrical Box
 - Communication Pit
 - Power Pole
 - Floor Level
 - Site Datum
 - Michael Giudici Data
 - Tree
 - Property Boundary
 - Fence
 - SW Pipe
 - Table Drain
 - Electric Line Approx
 - Electric Line Overhead
 - Right of Way
 - House
 - Shed
 - Concrete
 - Bitumen
 - Water Tank
 - Dam



Kingborough Council
Development Application: DA-2023-345
Plan Reference No: P3
Date Received: 15/8/2026
Date placed on Public Exhibition: 22/8/2026

HORIZONTAL DATUM is GDA2020, Coordinates are Plane
Coordinate Origin: O Spk
E 519834.3242, N 5238249.3846 PER RTK GPS

REV	AMENDMENTS	DRAWN	DATE	APPR.
E				
D				
C				
B				
A				



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

Contour & Detail Plan

FOR: Oliver Giudici
LOCATION: 283 Sandfly Road,
Margate

Date:	Contour interval:	Reference:
19-03-26	0.200m	GIUD001 1675801
Drawn:	Scale:	Bearing Datum: MGA2020 per
CF	1:500 (A3)	SIO159080
Approved:	Title Reference:	Vertical Datum:
SH	26791/11	AHD83 per GNSS RTK

NOTES:

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LEGEND

- Electrical Box

Communication Pit

Power Pole

Floor Level

Site Datum

Michael Giudici Data

Tree

Property Boundary

Fence

SW Pipe

Table Drain

Electric Line Approx

Electric Line Overhead
- Right of Way

House

Shed

Concrete

Bitumen

Water Tank

Dam

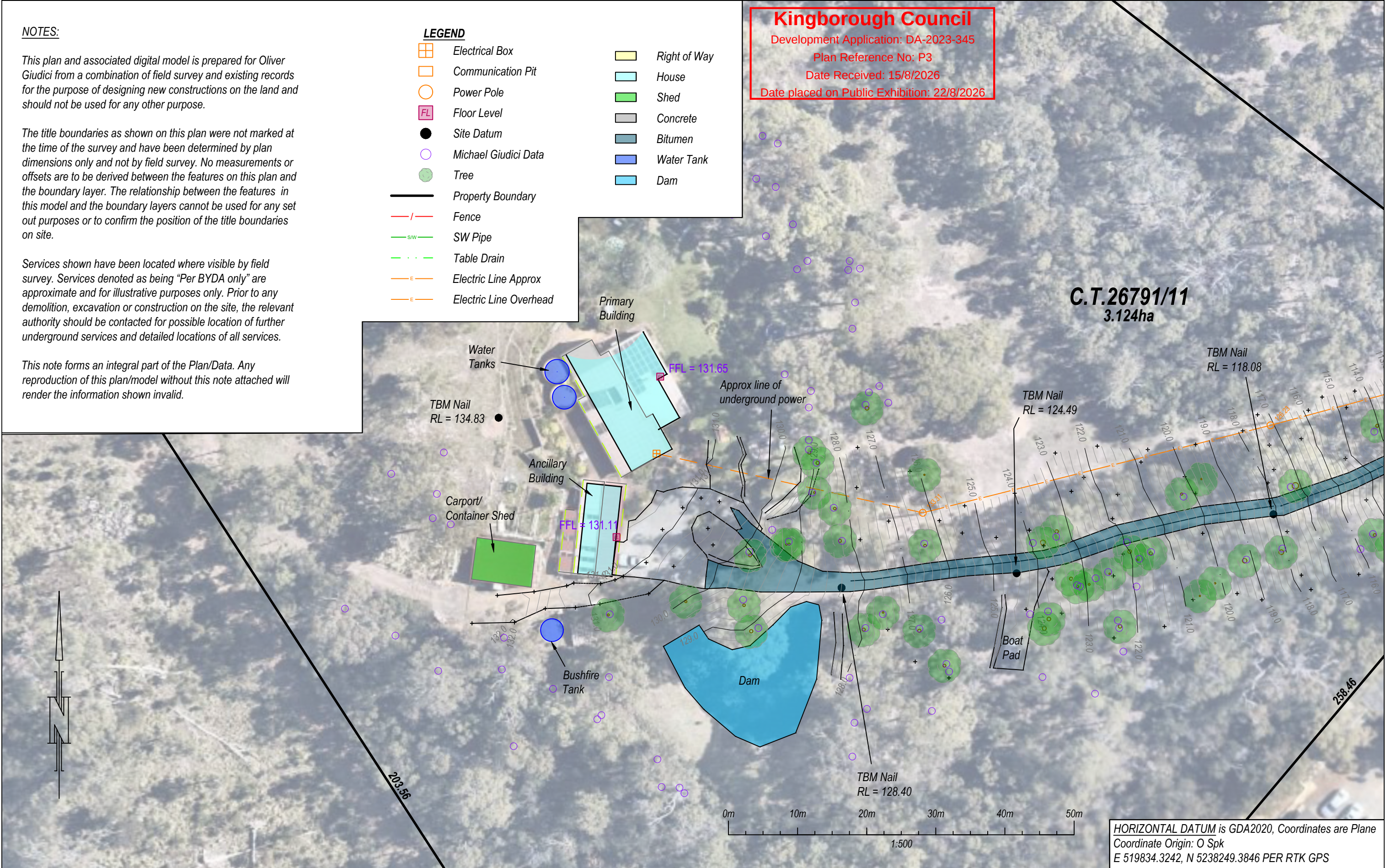
Kingborough Council

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HORIZONTAL DATUM is GDA2020, Coordinates are Plane
Coordinate Origin: O Spk
E 519834.3242, N 5238249.3846 PER RTK GPS

E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

Contour & Detail Plan

FOR: Oliver Giudici
LOCATION: 283 Sandfly Road,
Margate

Date:	Contour interval:	Reference:
19-03-26	0.200m	GIUDO01 1675801
Drawn:	Scale:	Bearing Datum: MGA2020 per
CF	1:500 (A3)	SIO159080
Approved:	Title Reference:	Vertical Datum:
SH	26791/11	AHD83 per GNSS RTK

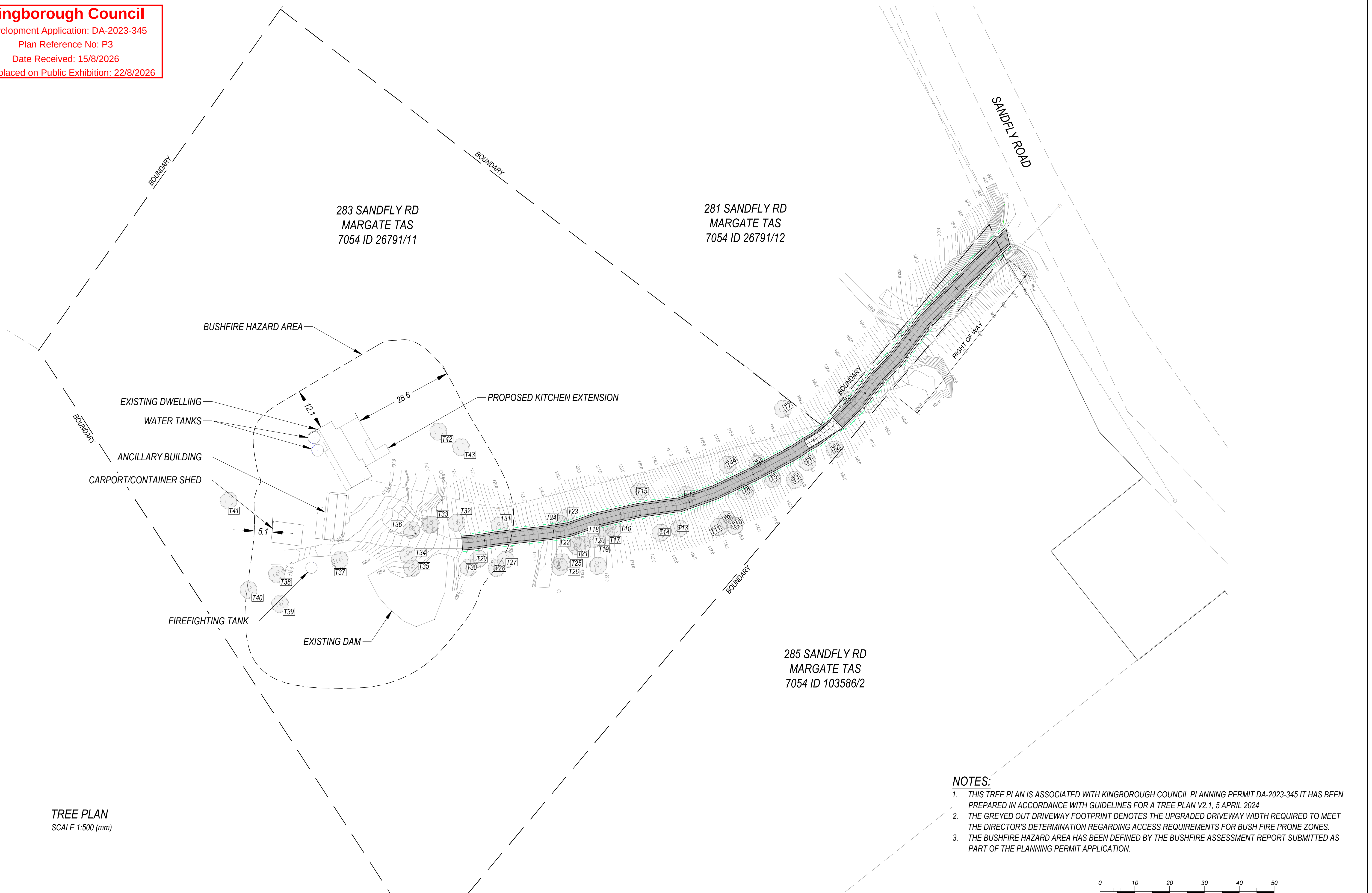
Kingborough Council
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TREE PLAN

TREE PLAN

- NOTES:

- NOTES:**
1. THIS TREE PLAN IS ASSOCIATED WITH KINGBOROUGH COUNCIL PLANNING PERMIT DA-2023-345 IT HAS BEEN PREPARED IN ACCORDANCE WITH GUIDELINES FOR A TREE PLAN V2.1, 5 APRIL 2024
 2. THE GREYED OUT DRIVEWAY FOOTPRINT DENOTES THE UPGRADED DRIVEWAY WIDTH REQUIRED TO MEET THE DIRECTOR'S DETERMINATION REGARDING ACCESS REQUIREMENTS FOR BUSH FIRE PRONE ZONES.
 3. THE BUSHFIRE HAZARD AREA HAS BEEN DEFINED BY THE BUSHFIRE ASSESSMENT REPORT SUBMITTED AS PART OF THE PLANNING PERMIT APPLICATION.



0			FOR INFORMATION			OG	02/07/26				BASE SURVEY SUPPLIED BY ROGERSON & BIRCH SURVEYORS SURVEYED ON: 19/03/2026 HORIZONTAL DATUM: MGA2020 AHD 83 GRID: GDA2020, ZONE 55 LEVEL DATUM:					FYSH DESIGN UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS PH: 0414 149 394 ACCREDITATION: BSD LICENCE NO. 479819732				DRIVEWAY UPGRADE CLIENT: OLIVER GIUDICI 283 SANDFLY RD MARGATE TAS 7054 DRAWING TITLE Tree Plan		DESIGNED PROJECT 283_SFR		DRAWN HM SHEET NO. 01		SCALE AS NOTED REVISION 0	
REV			DESCRIPTION			DATE	REV	DESCRIPTION			DATE																