

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-192
Proposal: Dwelling and outbuilding (shed)
Subject Site: 203 Woodbridge Hill Road, Woodbridge
Responsible Planning Officer: Tayla Beagley

Advertised Documents:

- Application Plans
- Bushfire Hazard Assessment
- Wastewater Assessment Report
- Planning Submission

Available upon request:

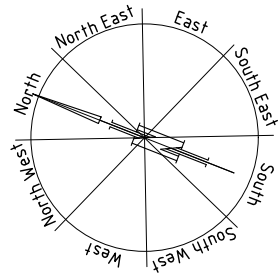
- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **21 July 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.

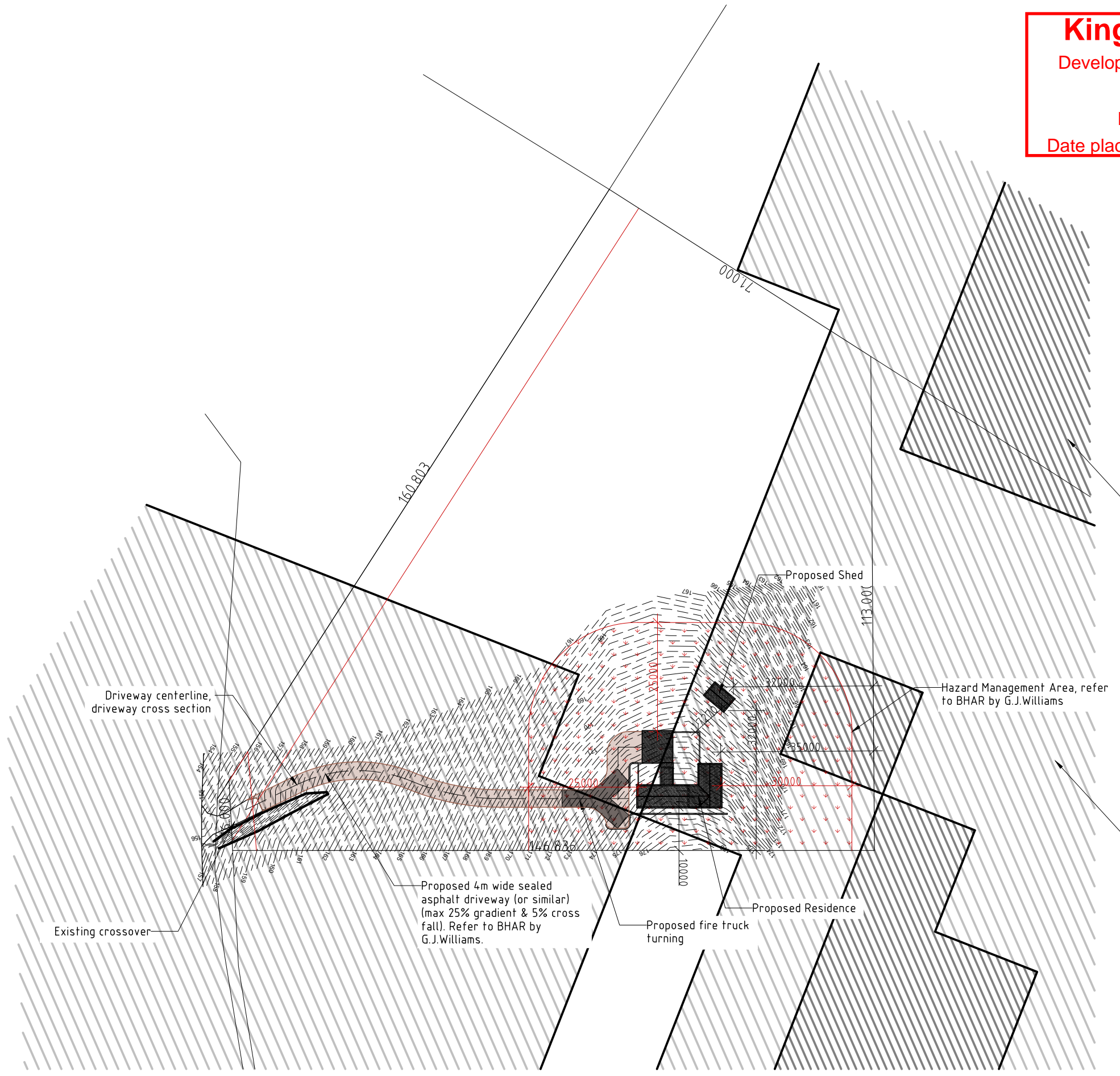




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 Plan Reference No: P3
 Date Received: 3/7/2026
 Date placed on Public Exhibition: 8/7/2026

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12. BAL - 12.5 Notes

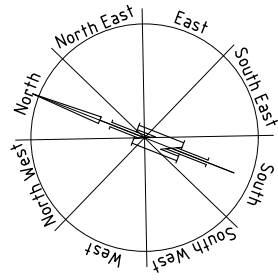


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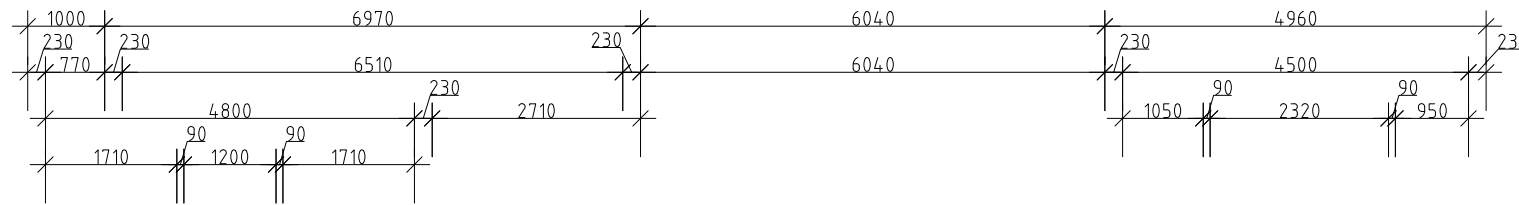
- Kingborough Interim Planning Scheme
- Zone:
- 26.0 Rural Resource
 - Front setback: 20m
 - Side & Rear setback: 50m
- Codes:
- Scenic Landscape Area;
 - Biodiversity protection Area;
 - Landslide Hazard Area;
 - Bushfire Prone Area

Note: the proposed development is located on clear pasture. Per Code 10.2 Application, no clearance or conversion or disturbance of native vegetation is proposed to take place, therefore Code 10.5 etc is applicable.

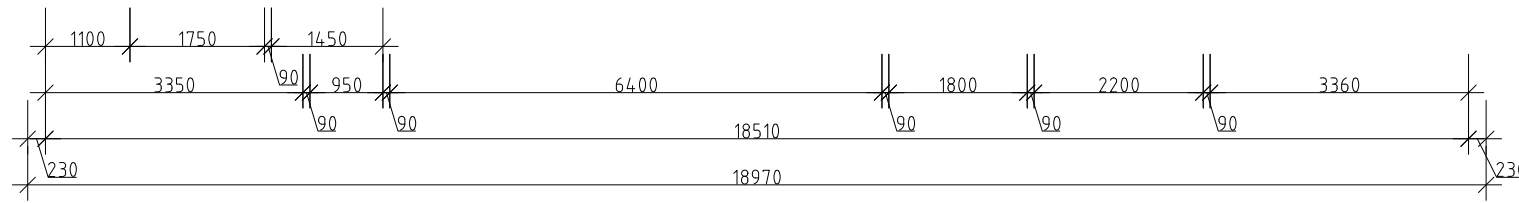
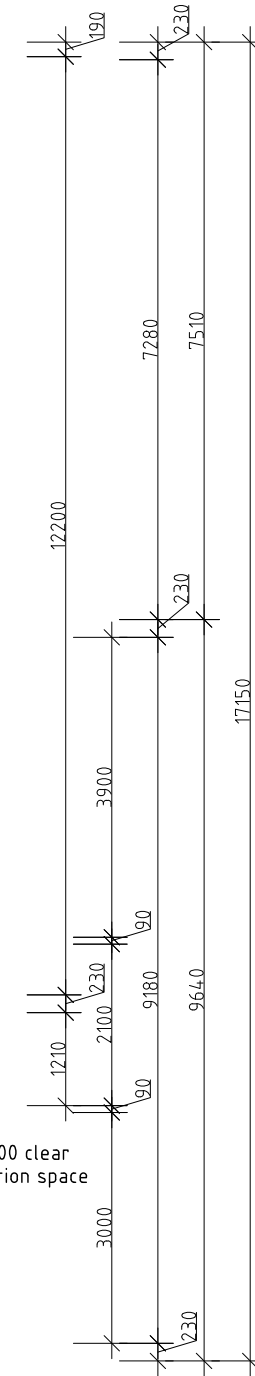
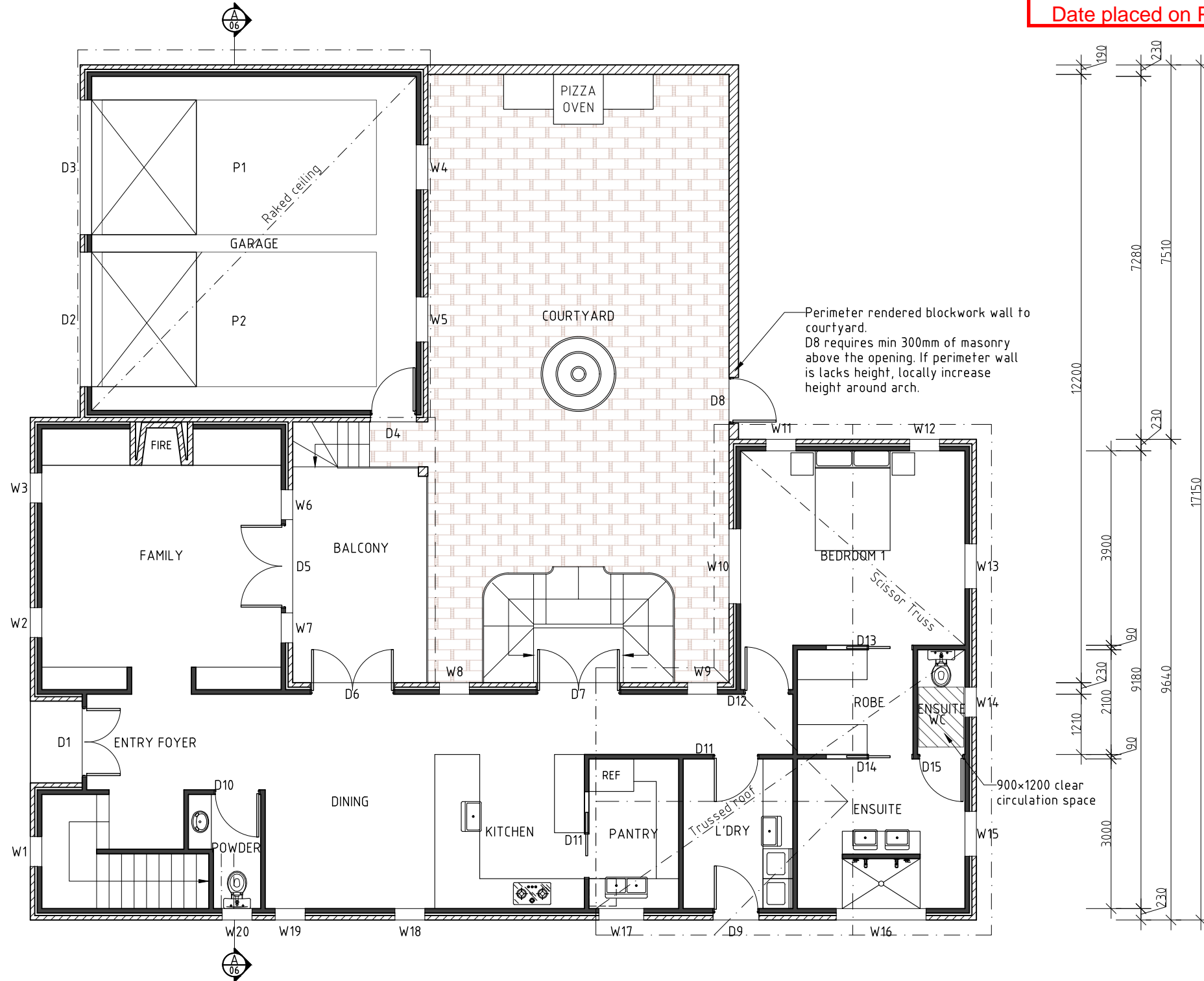
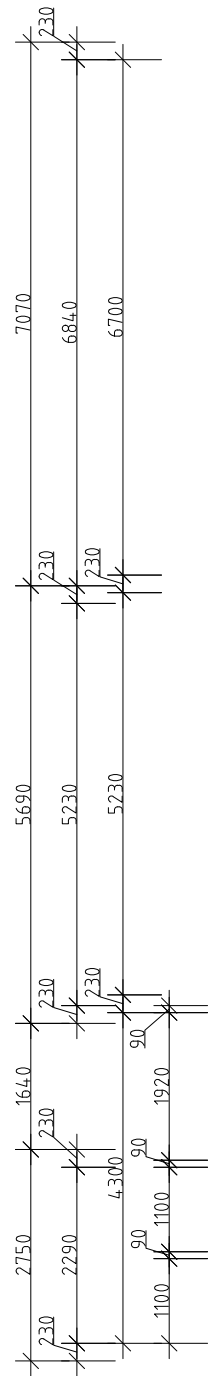
PROPOSED RESIDENCE & OUTBUILDINGS FOR MR.F. & MRS.E MAZZA AT 203 WOODBRIDGE HILL RD, WOODBRIDGE.	SITE PLAN		DATE 03/07/2026	DRAWN BY J.TILLEY email: jttilley7@biopond.com phone ph 0400 671 582
	SCALE 1:1000 0 10000 20000	AMENDED	DRAWING NO. 01 OF 12	Certified: G. Tilley Accreditation No.CC620H © copyright 2025 2026



Vinyl plank flooring throughout
baring tiles to wet areas



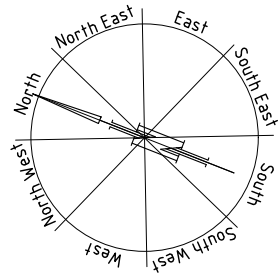
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Area	
Lower Level:	150.53m ²
Upper Level:	53.97m ²
Total:	244.50m ²
Balcony:	11.73m ²
Courtyard:	73.68m ²
Terrace:	27.98m ²

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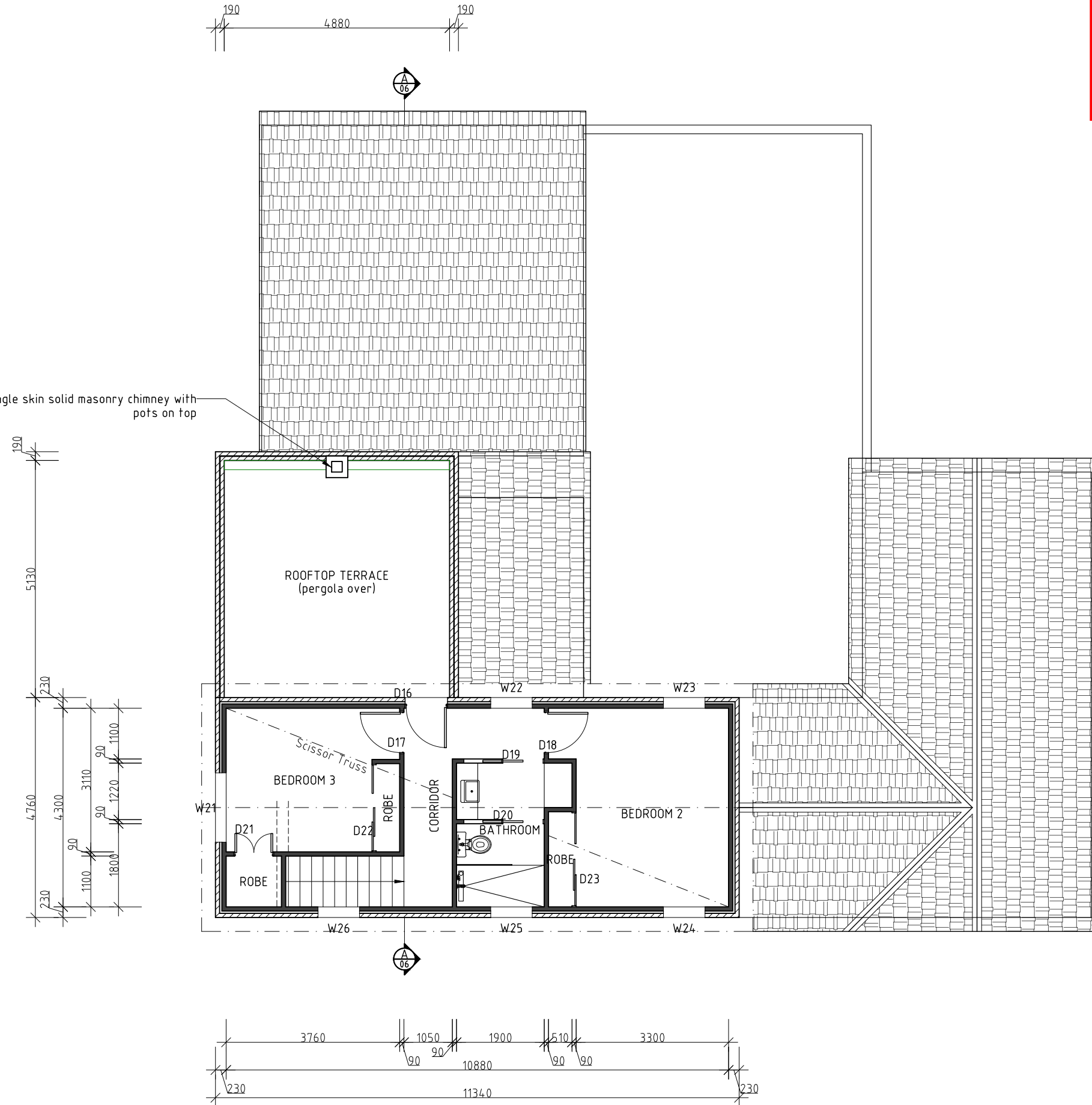
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Vinyl plank flooring throughout
 baring tiles to wet areas

Single skin solid masonry chimney with
 pots on top



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PLAN

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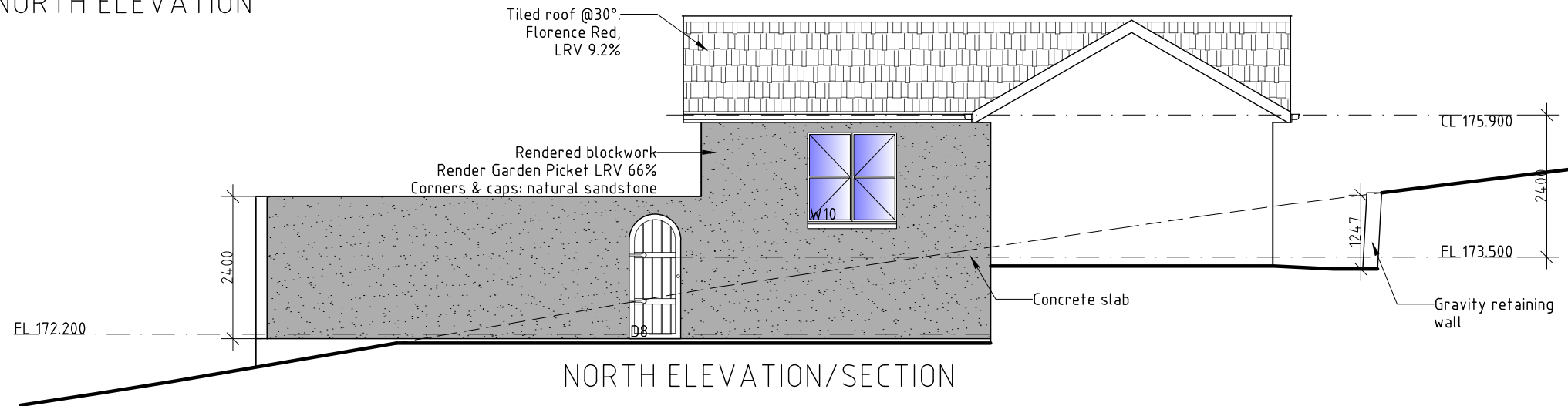
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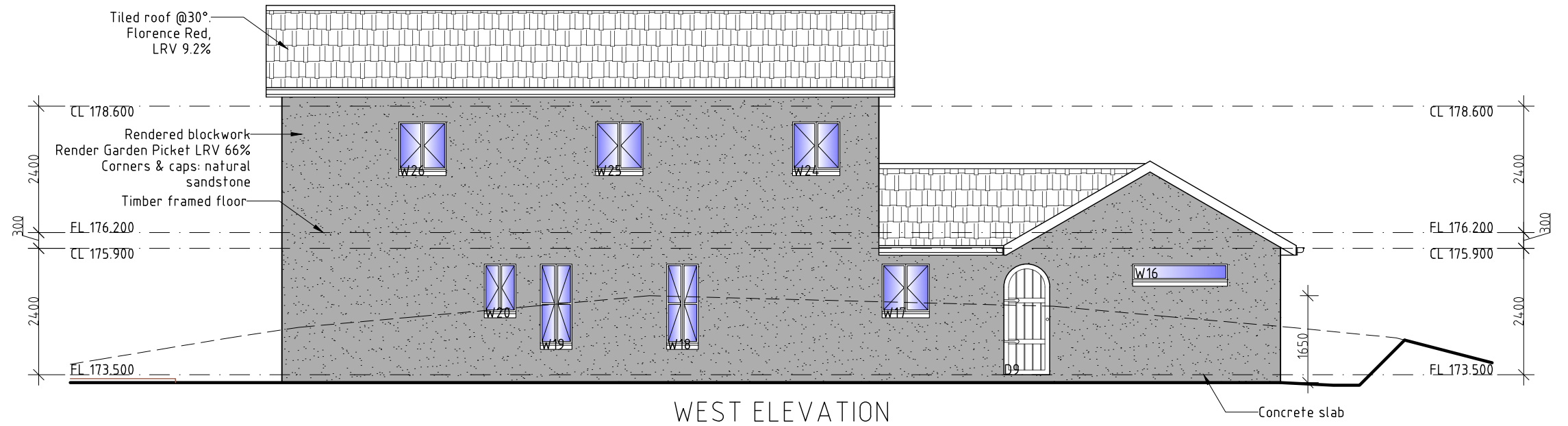
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NORTH ELEVATION



NORTH ELEVATION/SECTION



WEST ELEVATION

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PROPOSED RESIDENCE & OUTBUILDINGS FOR
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ELEVATIONS

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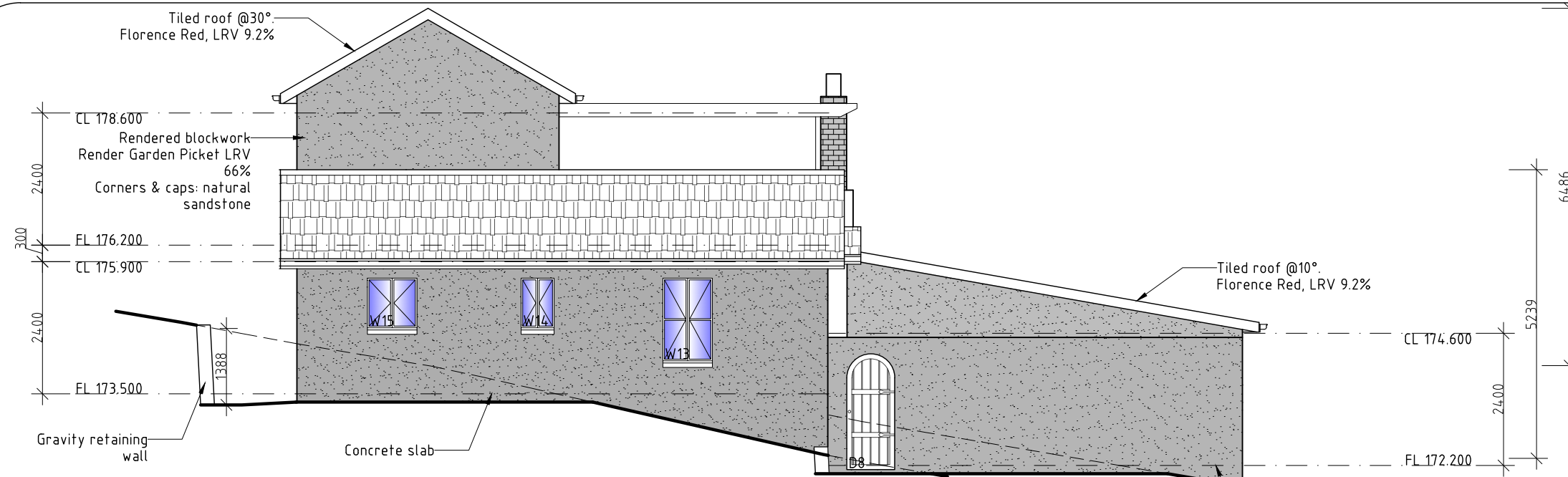
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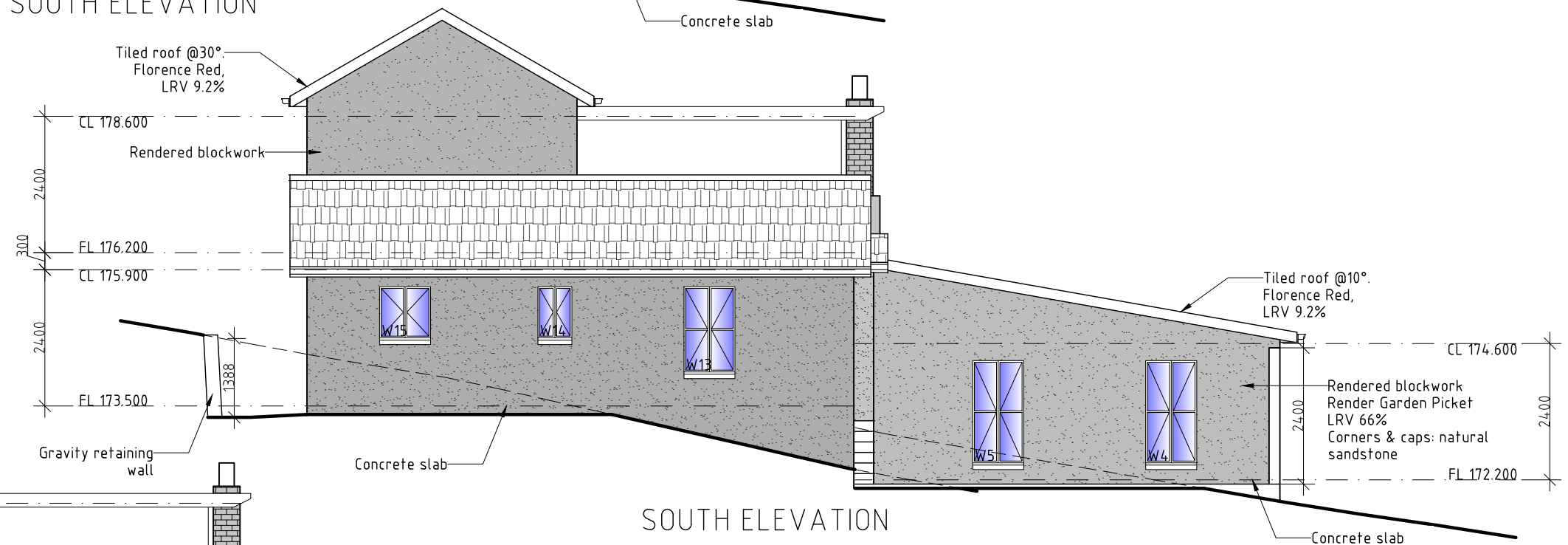
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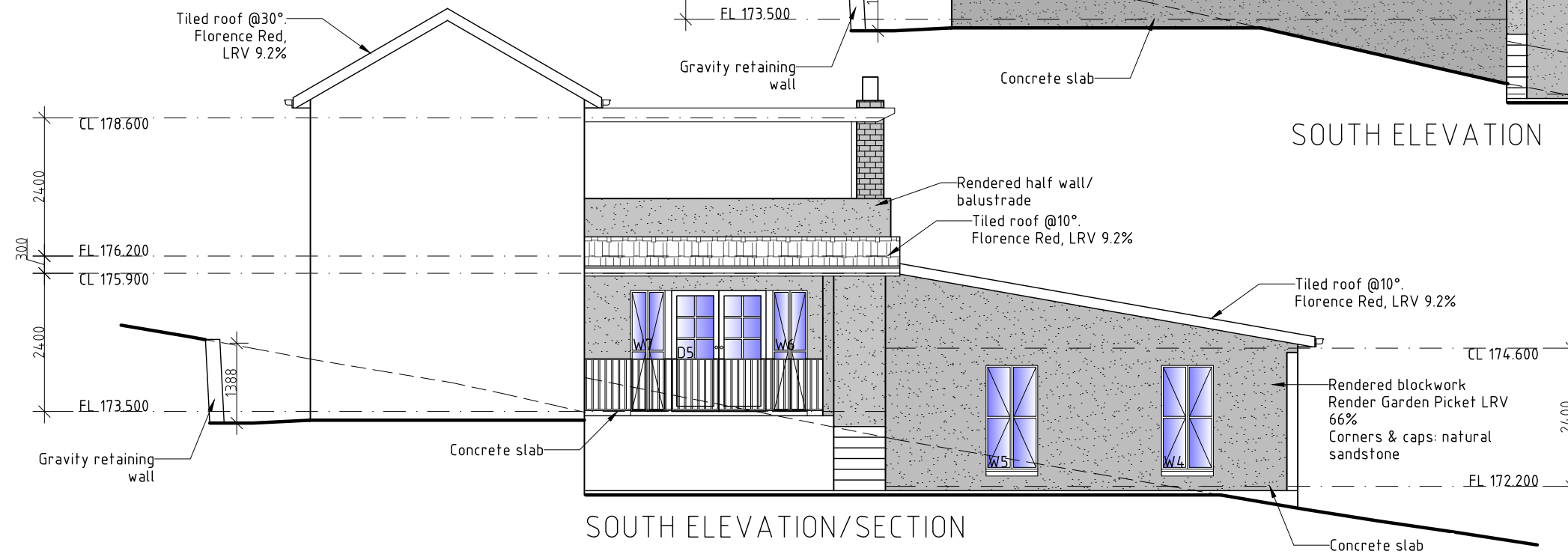
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SOUTH ELEVATION



SOUTH ELEVATION



SOUTH ELEVATION/SECTION

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ELEVATIONS

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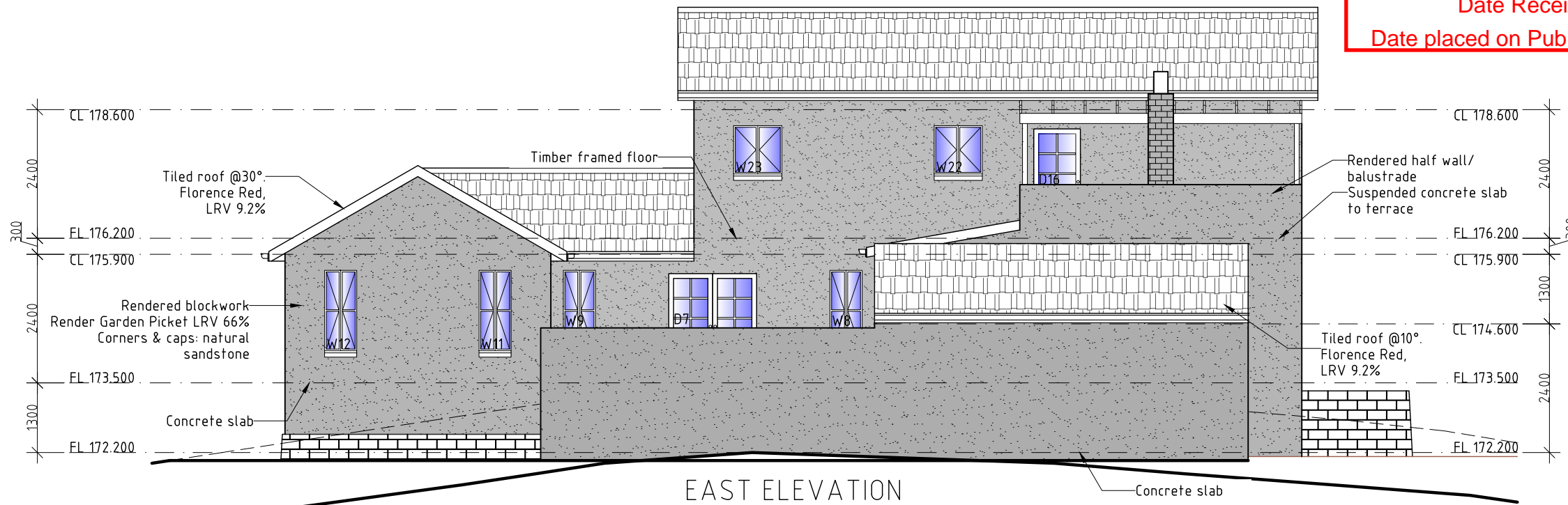
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ELEVATIONS

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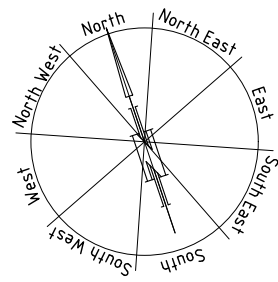
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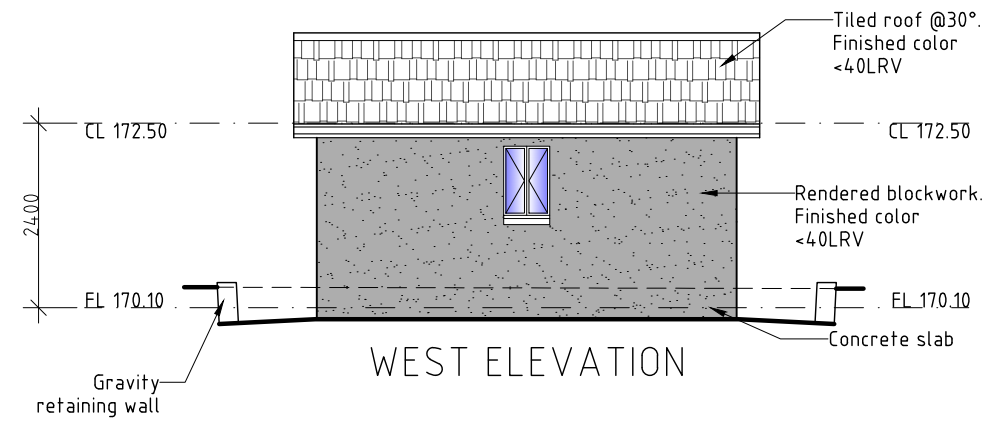
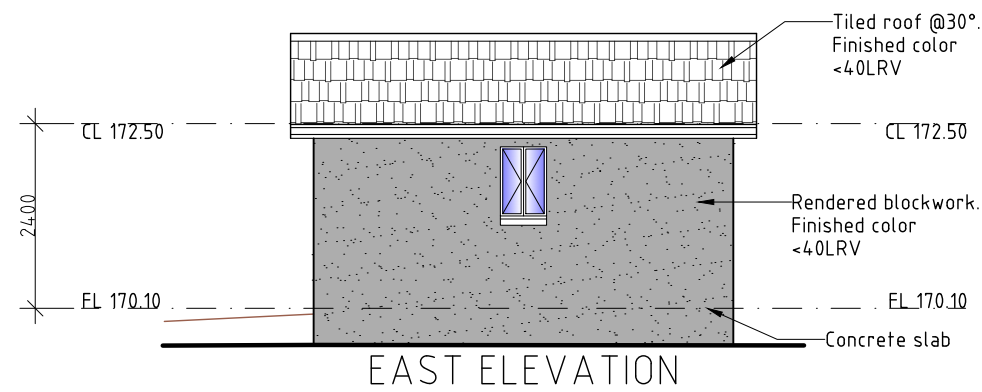
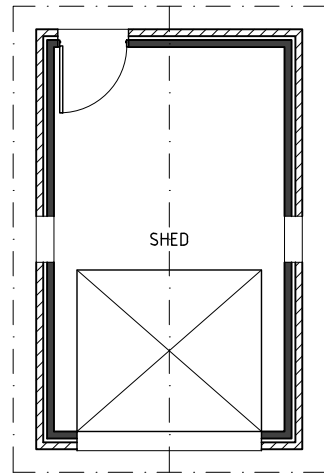
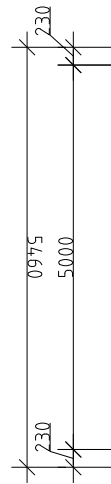
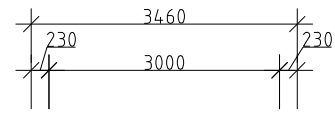
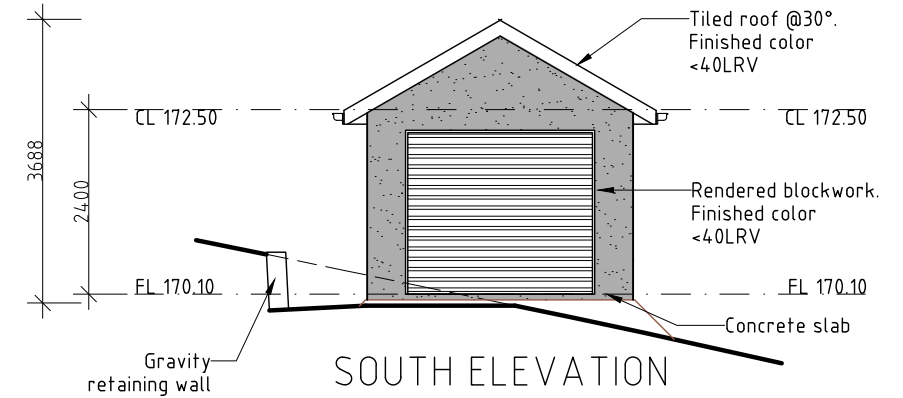
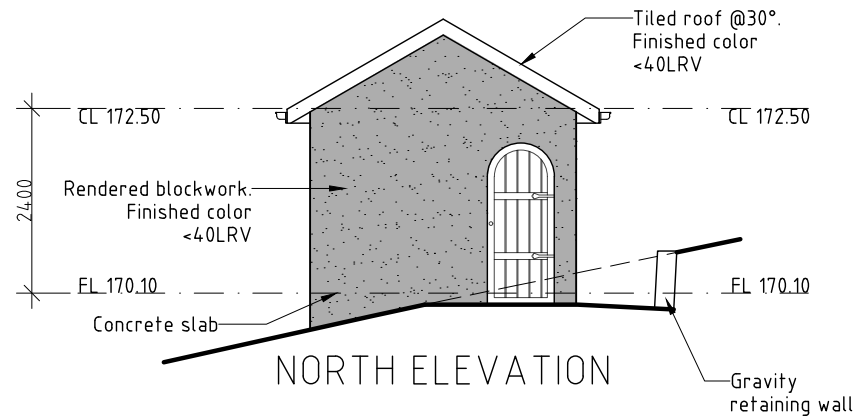
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Area
Shed: 18.89m²
Note the shed roof load width
to include future solar panels

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SHED PLAN & ELEVATIONS

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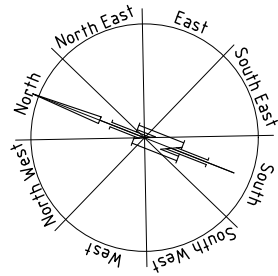
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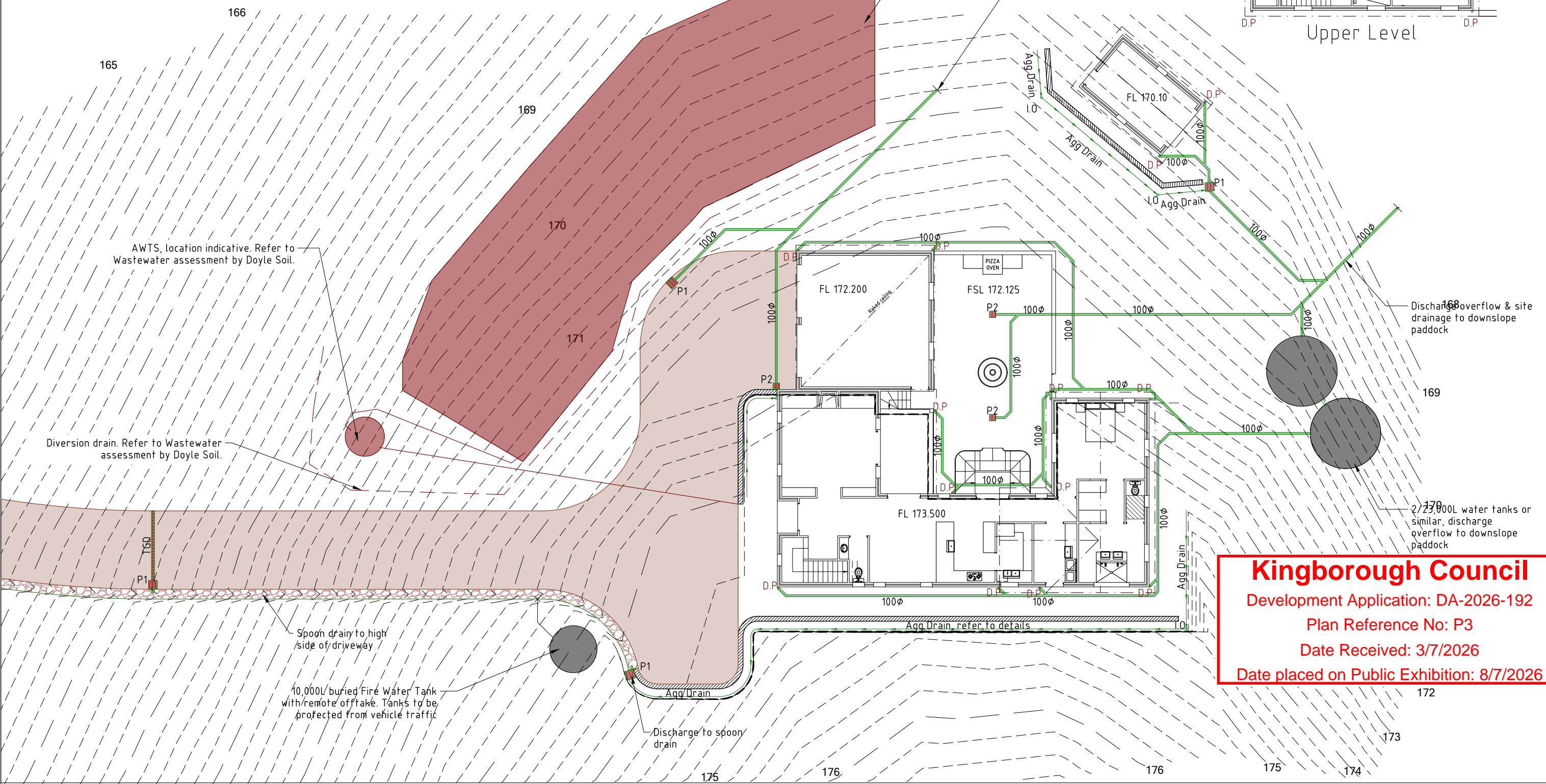
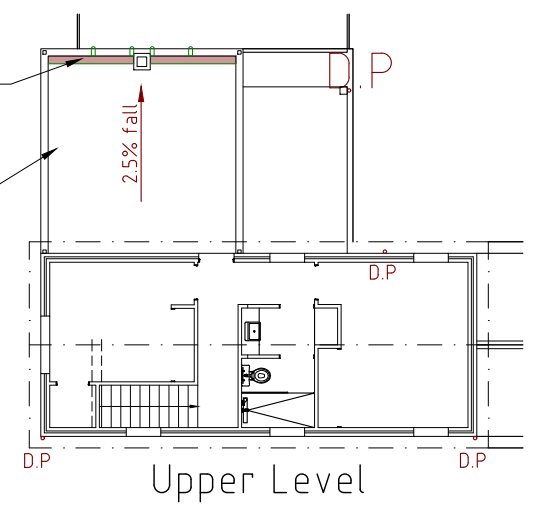


TGD Trafficable grate drain
 P1 450x450 Trafficable pit. Each grate pit to be fitted with water quality improvement device. Designed & installed in accordance with manufacturers instructions
 P2 325x325 Trafficable pit. Each grate pit to be fitted with water quality improvement device. Designed & installed in accordance with manufacturers instructions

Agg drains to be installed prior to slab/footings preparation. Evidence of the agg drainage installation to be supplied to the Engineer.
 Plumber to confirm the location of existing on-site services prior to commencement of any excavations

S100φ 100uPVC sewerage 1.67% min. fall
 100φ 100uPVC stormwater 1:100 min. fall
 100x100 cast in kerb to downslope of driveway perimeter I.O. at each intersection & bend

200mm wide cast in spoon drain, discharge onto garage roof
 Fall floor to spoon drain



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STORMWATER CONCEPT PLAN

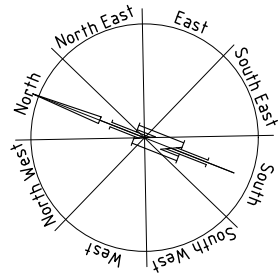
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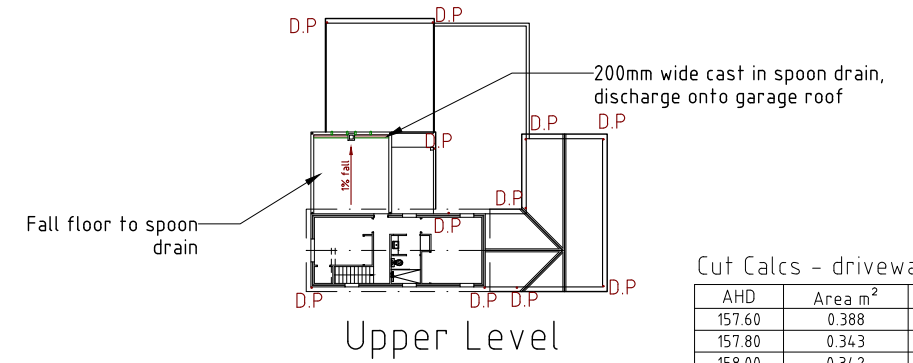


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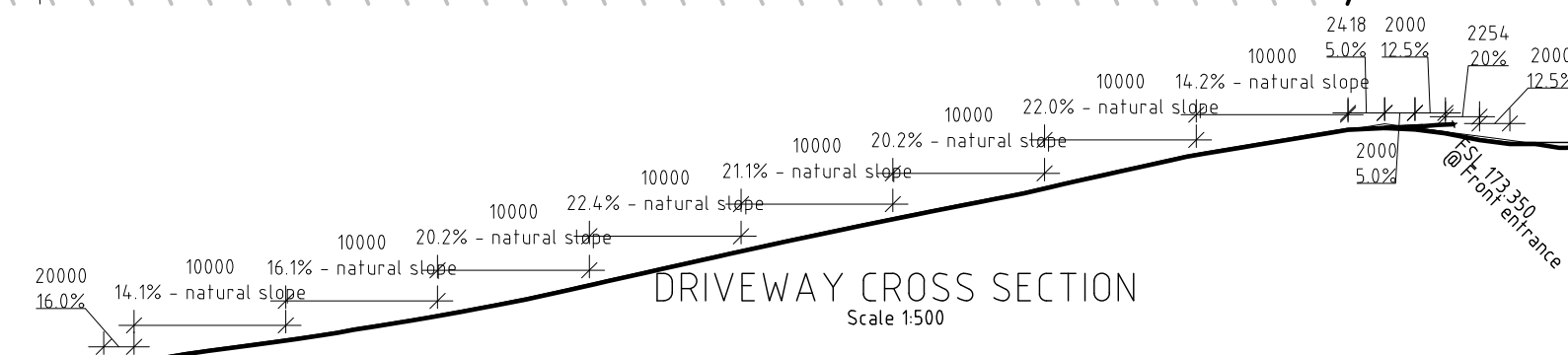
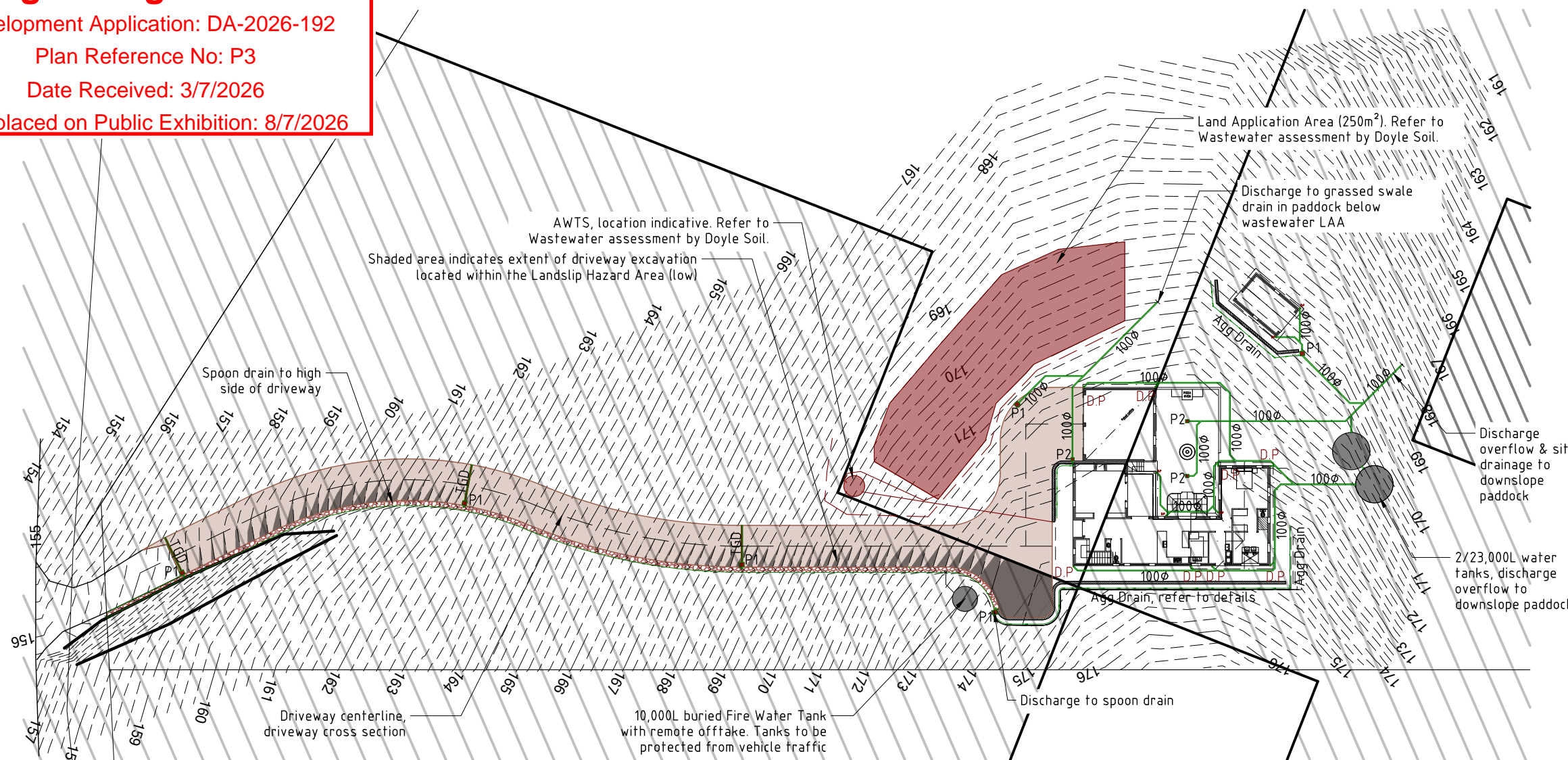
Plumber to confirm the location of existing on-site services prior to commencement of any excavations



Cut Calcs - driveway in L.S.H.

AHD	Area m ²	~Volume
157.60	0.388	0.038792
157.80	0.343	0.034290
158.00	0.342	0.034243
158.20	0.342848	0.034285
158.40	0.597109	0.059711
158.60	0.881473	0.088147
158.80	1.016772	0.101677
159.00	0.911004	0.091100
159.20	0.772071	0.077207
159.40	0.6951	0.069510
159.60	0.896647	0.089665
159.80	0.8449	0.084490
160.00	1.151611	0.115161
160.20	1.216935	0.121694
160.40	1.09822	0.109822
160.60	0.973222	0.097322
160.80	0.859034	0.085903
161.00	0.753038	0.075304
161.20	0.654201	0.065420
161.40	0.561923	0.056192
161.60	0.474919	0.047492
161.80	0.392486	0.039249
162.00	0.21664	0.021664
162.20	0.14094	0.014094
162.40	0.077187	0.007719
162.6-166.0	0	0
166.20	0.0747	0.007470
166.40	0.116795	0.011680
166.60	0.158719	0.015872
166.80	0.201458	0.020146
167.00	0.245172	0.024517
167.20	0.289937	0.028994
167.40	0.336169	0.033617
167.60	0.383333	0.038333
167.80	0.431796	0.043180
168.00	0.481727	0.048173
168.20	0.509236	0.050924
168.40	0.510094	0.051009
168.60	0.509971	0.050997
168.80	0.437831	0.043783
169.00	0.331723	0.033172
169.20	0.332047	0.033205
169.40	0.331888	0.033189
169.60	0.367047	0.036705
169.80	0.439558	0.043956
170.00	0.491652	0.049165
170.20	0.522842	0.052284
170.40	0.533434	0.053343
170.60	0.533703	0.053370
170.80	0.533617	0.053362
171.00	0.533852	0.053385
171.20	0.533618	0.053362
171.40	0.852975	0.085298
171.60	0.90257	0.090257
171.80	0.902276	0.090228
172.00	0.902476	0.090248
172.20	0.902795	0.090280
172.40	0.933055	0.093306
172.60	1.164705	0.116471
172.80	1.63313	0.163313
173.00	3.32635	0.332635
173.20	22.563851	2.256385
173.40	31.613615	3.161362
173.60	26.651785	2.665179
173.80	20.860286	2.086029
174.00	14.92123	1.492123
174.20	9.362453	0.936245
174.40	4.364002	0.436400
174.60	0.964571	0.096457
Estimated driveway cut Volume, located in Landslip Hazard Area		16.959558

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STORMWATER CONCEPT PLAN

DATE 03/07/2026

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WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740

WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:

FLOOR: Waterproof entire floor if no preformed shower base provided
WALLS: Waterproof to not less than 1800mm above the floor substrate
WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof internal and external corners and joints
PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:

FLOORS: Entire floor to be water resistant
WALLS/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:

FLOORS: Waterproof entire floor
WALL/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
WALLS: Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.
WALL JUNCTIONS AND JOINTS: Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof for the extent of the vessel

AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
HORIZONTAL SURFACES: Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip
WALLS: Waterproof walls to not less than 150mm above the lip of the vessel

WALL JUNCTIONS AND JOINTS: Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof wall/floor junctions 25mm above finished floor level

PENETRATIONS: Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

OTHER AREAS (LAUNDRIES AND WCs):

FLOOR: Water resistant floor to entire room
WALLS: Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of wall
WALL JUNCTIONS AND JOINTS: Waterproof junctions where a vessel is fixed to a wall
WALL/FLOOR JUNCTIONS: Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used
PENETRATIONS: Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

WATERPROOFING SYSTEMS:
 Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.

FALLS TO WET AREA FLOORS:
 Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.

STEPDOWN SHOWERS:
 Where stepdown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.

HOB CONSTRUCTION:
 Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.

ENCLOSED SHOWERS WITH LEVEL THRESHOLD:
 Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

UNENCLOSED SHOWERS:
 Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joints and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

PENETRATIONS:
 All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

FLASHINGS/JUNCTIONS:
 All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

SHOWER SCREENS:
 1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

- HYDRAULIC NOTES:**
- All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.
 - The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.
 - Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.
 - Refer to designers drawings and fixture and equipment technical specifications for pipework connections.
 - Make good all disturbed surfaces to match existing.
 - Remove all excess soil and surplus materials from site.
 - All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.
 All plumbing & drainage to be in accordance with local Council requirements. Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.
 Stormwater line (100mm uPVC)
 Sewer line (100mm uPVC)

SERVICES
 The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia
 Thermal insulation for heated water piping must:
 a) be protected against the effects of weather and sunlight; and
 b) be able to withstand the temperatures within the piping; and
 c) use thermal insulation in accordance with AS/NZS 4859.1

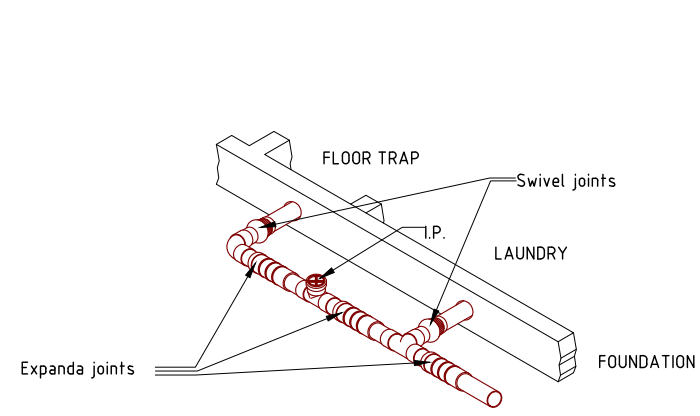
Heated water piping that is not within a conditioned space must be thermally insulated as follows:

- Internal piping:
 - All flow and return internal piping that is -
 - within an unventilated wall spaces
 - within an internal floor between storeys; or
 - between ceiling and insulation and a ceiling
 Must have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
- Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
 - All flow and return piping
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
- Piping located outside the building or in an unenclosed building sub-floor or roof space:
 - All flow and return piping.
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)
 Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

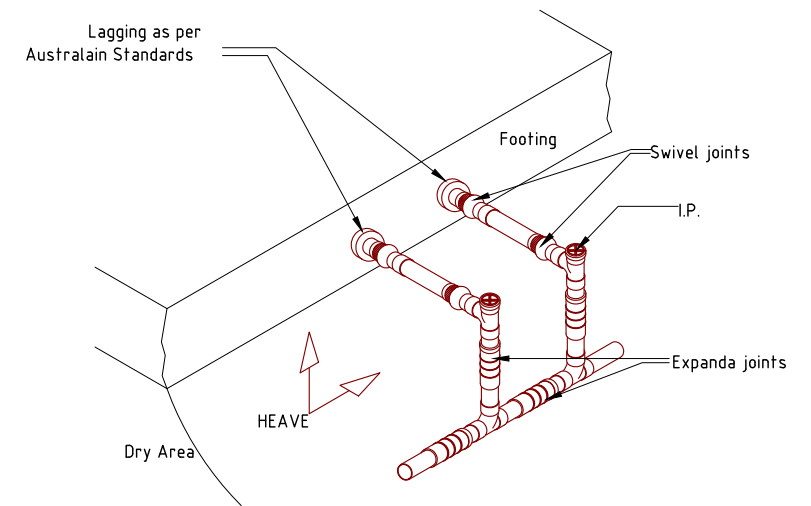
Hot & Cold Water Nominal Diameters	
Branch off takes	Min. DN20
Max. off take length 6m	DN18
Max. off take length 3m	DN15
Max. off take length 1m	DN10

Insulation Schedule		
Heated water pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line Offtake	20-25 18	19mm Bradflex 13mm Bradflex
Cold water pipes exposed		
Type	Size Range	Insulation
All	>20	13mm Bradflex
Other cold water pipes		
Type	Size Range	Insulation
All	All	Not required

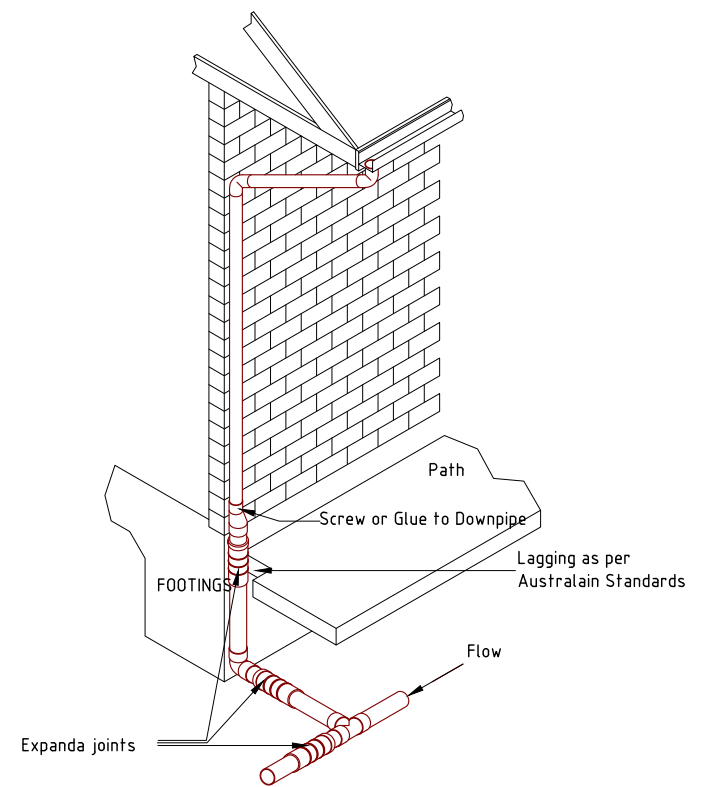
NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

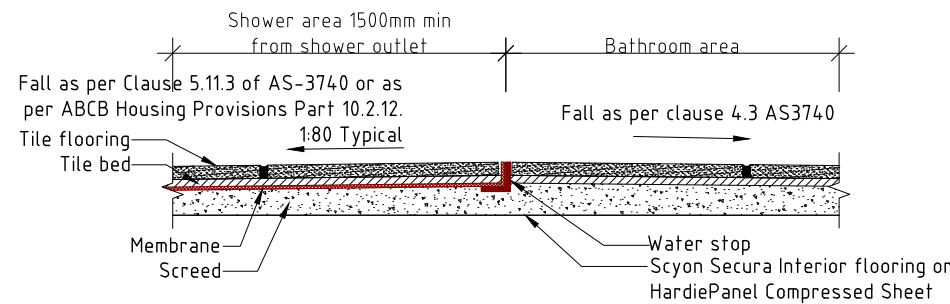
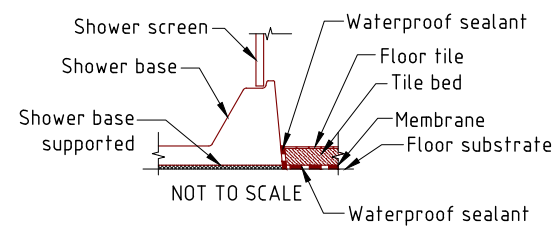
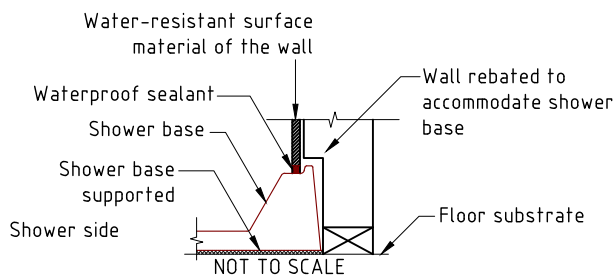
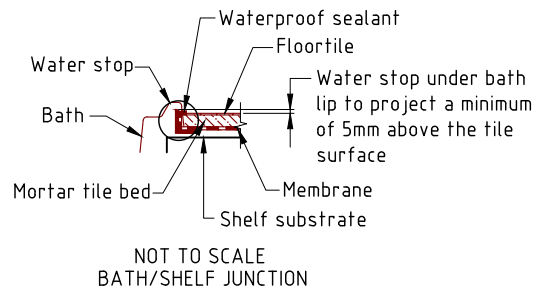
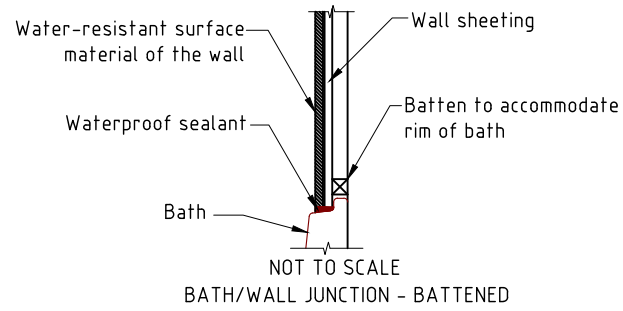
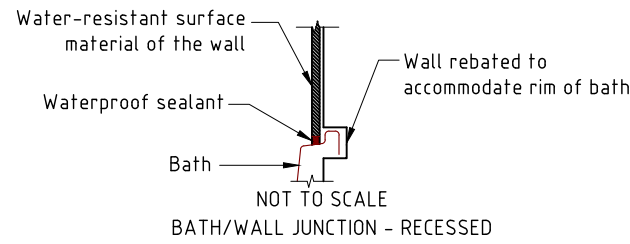
Surface drainage to conform with NCC Vol. 2 Part H2D2. NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

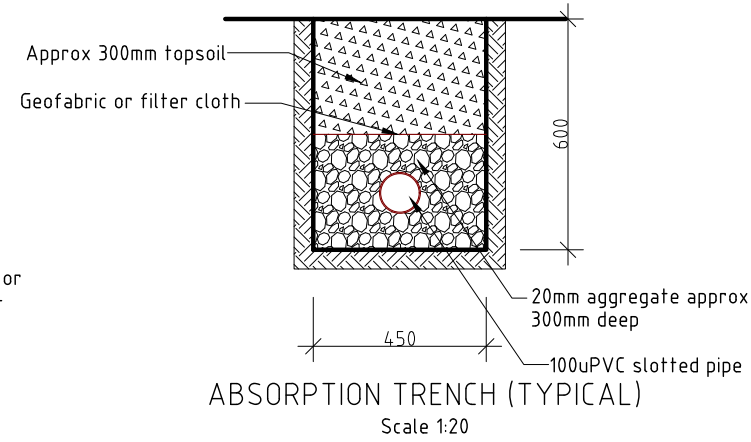
Kingborough Council
 Development Application: DA-2026-192
 Plan Reference No: P3
 Date Received: 3/7/2026
 Date placed on Public Exhibition: 8/7/2026

**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

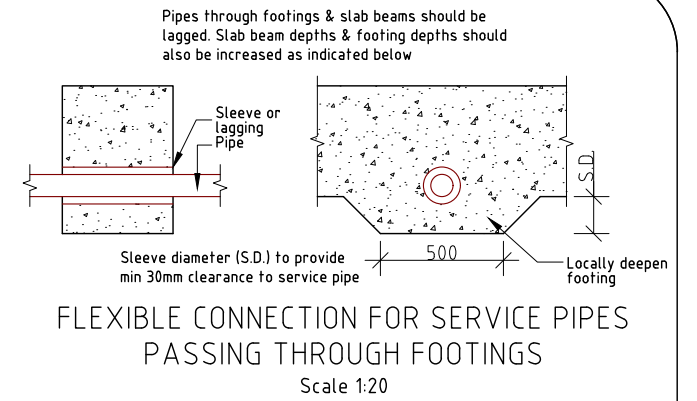
PROPOSED RESIDENCE & OUTBUILDINGS FOR MR.F. & MRS.E MAZZA AT 203 WOODBRIDGE HILL RD, WOODBRIDGE.	PLUMBING NOTES		DATE 03/07/2026	DRAWN BY J.TILLEY email: jttilley7@biopond.com phone ph 0400 671 582
	SCALE N/A	AMENDED	DRAWING NO. 10 OF 12	Certified: G. Tilley Accreditation No.CC620H © copyright 2025 2026



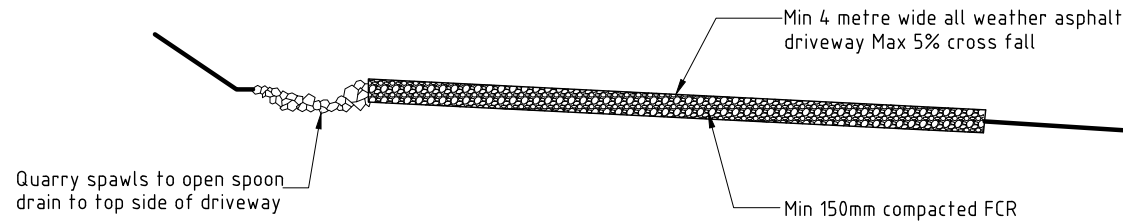
TYPICAL TERMINATION OF MEMBRANE AT EXTENT OF SHOWER AREA
Scale 1:5



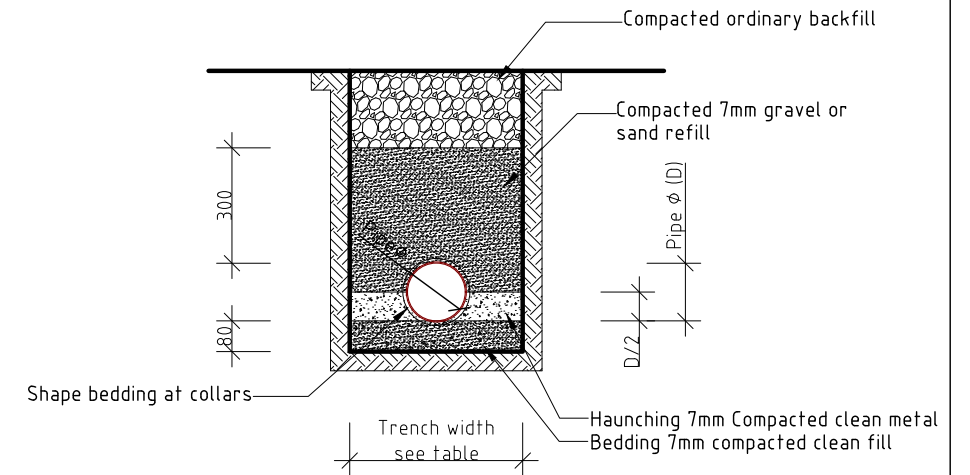
ABSORPTION TRENCH (TYPICAL)
Scale 1:20



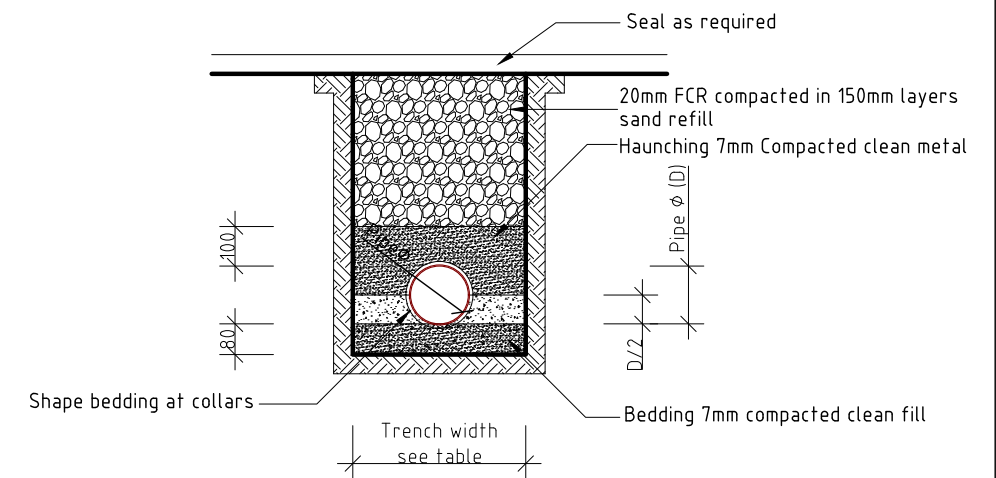
FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS
Scale 1:20



DRIVEWAY CROSS SECTION (TYPICAL)
Scale 1:50

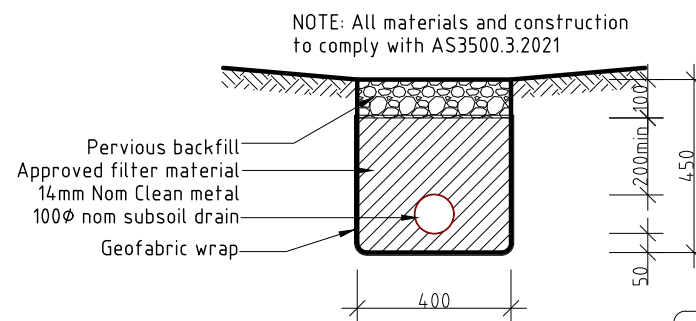


PIPE TRENCH DETAIL TO NON-TRAFFICABLE AREAS (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO TRAFFICABLE AREAS (TYPICAL)
Scale 1:20

Kingborough Council
Development Application: DA-2026-192
Plan Reference No: P3
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Date placed on Public Exhibition: 8/7/2026



AGG DRAIN DETAIL (TYPICAL)
Scale 1:20

TRENCH WIDTHS	
Pipe diameter	Min trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	ø plus 300mm

Surface drainage to conform with NCC Vol. 2 Part H2D2.
NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSRIO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

**DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE & OUTBUILDINGS FOR MR.F. & MRS.E MAZZA AT 203 WOODBRIDGE HILL RD, WOODBRIDGE.

PLUMBING DETAILS

SCALE 1:20
0 200 400

AMENDED

DATE
03/07/2026

DRAWING NO.
11 OF 12

DRAWN BY J.TILLEY
email: jttilley7@biopond.com
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H
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All Construction within a BAL-12.5 area shall be carried out in accordance with Sections 3 & 5 of AS3959:2018.

Subfloor supports shall be enclosed or be constructed of non-combustible material in accordance with Section 5 of AS3959:2018.

Unenclosed subfloors shall be constructed of non-combustible materials or bushfire resistant timbers as specified in Appendix F of AS3959:2018.

Walls within 400mm of ground or less than 400mm above decks, carport roofs, awnings and similar elements shall be constructed of:

- masonry veneer with a minimum thickness of 90mm; or
- Precast or in situ concrete walls; or
- fibre-cement sheet cladding with a minimum thickness of 6mm; or
- Bushfire resisting timber as specified in Appendix F of AS3959:2018; or
- Steel sheeting

All joints in walls are to be covered, sealed, overlapped, backed or butt-jointed.

Vents and weepholes shall be screened with corrosion-resistant mesh with maximum aperture opening sizes of 2mm.

All external glazed doors & windows shall be made of metal and shall be screened to openable portions with metal framed screens with maximum aperture opening sizes of 2mm. All glazing elements to be minimum 4mm thick Grade A safety glass. Doors to be tight-fitting to the frame.

External hinged doors to be a minimum 35mm thick, with solid timber for a minimum of 400mm measured vertically above the threshold. Door framing to be metal or bushfire resisting timber as specified in Appendix F of AS3959:2018. All external doors to be tight-fitting to frames.

Garage doors shall be constructed of non-combustible material or bushfire resisting timber as specified in Appendix F of AS3959:2018 for a minimum vertical height of 400mm above the ground when the door is closed. Suitable weather strips and draught seals or brushes to be fitted to door frame if guide tracks not provided.

All roofing materials to be of non-combustible materials. All roof/wall and roof/roof junctions shall be sealed with appropriate screening with maximum mesh aperture size of 2mm in accordance with Clause 3.6 of AS3959:2018. Sheet roof shall have any gaps sealed with corrosion-resistant mesh with maximum aperture size of 2mm.

All eave and roof ventilation to be screened with non-combustible ember resistant mesh with maximum mesh aperture size of 2mm. Eave lighting to be adequately sealed and not compromise the performance of the light.

All Verandah, carport and awnings roofs that are part of the main roof space to comply with roof BAL requirements. If verandah, carport or awning roof separated from the main roof space, shall have a non-combustible roof covering, except if roof covering is translucent or transparent, in accordance with Section 5 of AS3959:2018.

Penetrations in roof to be sealed with non-combustible materials. Openings to roof vent pipes or vented roof lights or similar shall be protected with corrosion-resistant mesh with maximum aperture size of 2mm.

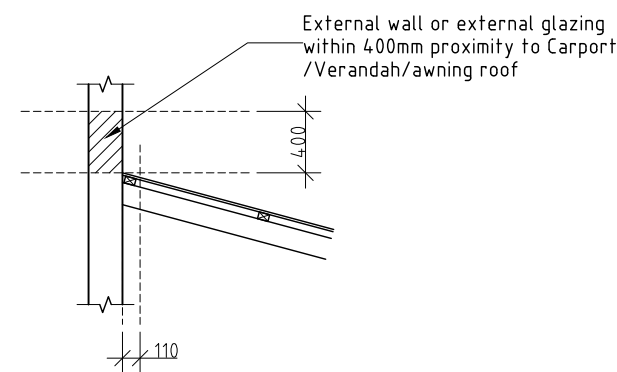
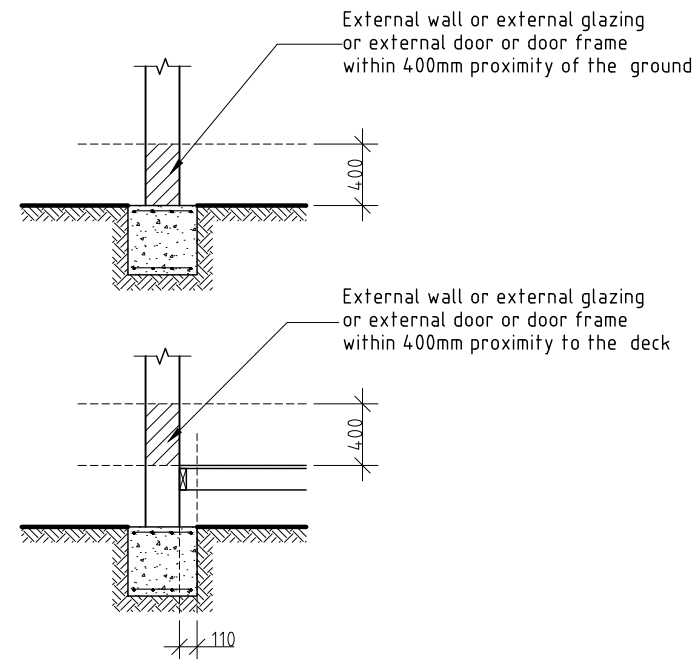
Roof mounted evaporative cooling units shall be fitted with non-combustible cover with corrosion-resistant mesh covers with max. mesh aperture sizes of 2mm.

Gutter and valley leaf guards shall be of non-combustible material where fitted.

All decking and stair treads within 300mm horizontally of an external glazed element that is less than 400mm vertically from the surface of the deck, is to be of bushfire resistant timber as specified in Appendix F of AS3959:2018, or be constructed of non-combustible material.

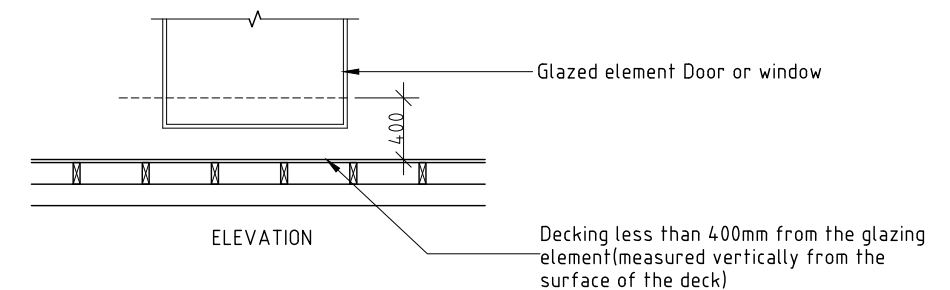
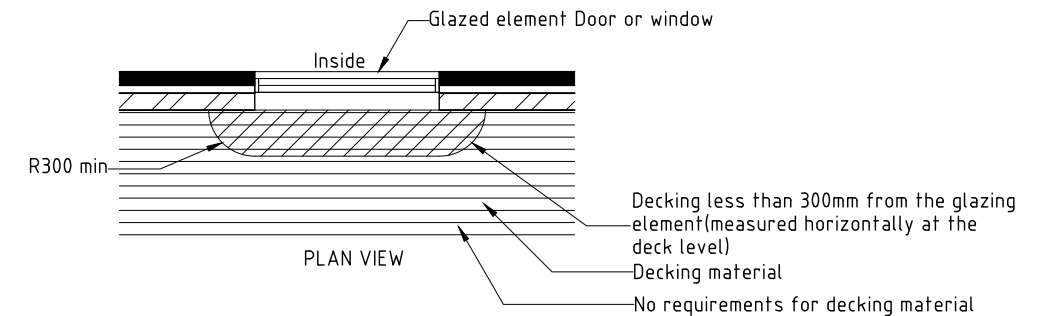
Verandah posts shall be mounted on galvanized stirrups with min 75mm clearance to adjacent finished ground level.

All exposed above ground water and gas supply pipes shall be metal.



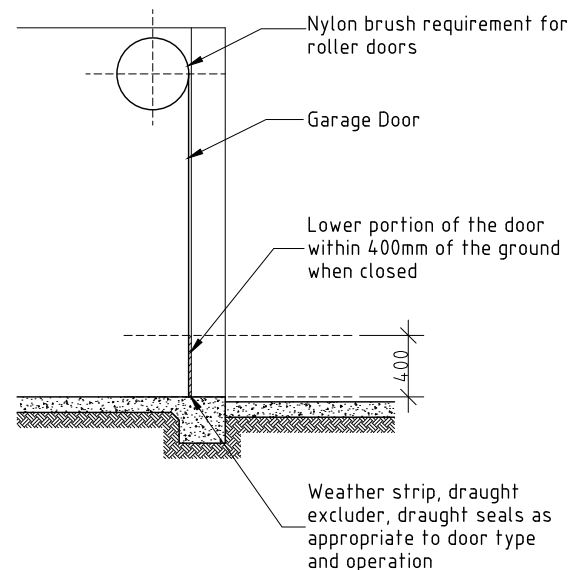
EXTERNAL WALLS OR EXTERNAL GLAZING, OR EXTERNAL DOORFRAMES WITHIN THE LIMITS ABOVE GROUND, DECKS, CARPORT ROOFS

SCALE 1:50



DECKING WITHIN HORIZONTAL & VERTICAL LIMITS OF GLAZED ELEMENTS

SCALE 1:50



VEHICLE ACCESS DOOR (GARAGE DOORS)

SCALE 1:50

TABLE F1 OF AS3959 BUSHFIRE-RESISTANT SPECIES

Standard trade name	Botanical name
Ash, silvertop	<i>Eucalyptus sieberi</i>
Blackbutt	<i>Eucalyptus pilularis</i>
Gum, red river	<i>Eucalyptus camaldulensis</i>
Gum, spotted	<i>Corymbia maculata</i>
Ironbark, red	<i>Eucalyptus sideroxyton</i>
Kwila (Merbau)	<i>Intsia bijuga</i>
Turpentine	<i>Syncarpia glomulifera</i>

PROPOSED RESIDENCE & OUTBUILDINGS FOR MR.F. & MRS.E MAZZA AT 203 WOODBRIDGE HILL RD, WOODBRIDGE.

BAL-12.5 NOTES

DATE

03/07/2026

DRAWN BY J.TILLEY

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SCALE 1:100

0 1000 2000

AMENDED

DRAWING NO.

12 OF 12

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