

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-180
Proposal: Spa
Subject Site: 5 Atunga Street, Tarooma
Responsible Planning Officer: Andrea Urzi

Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **17 July 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



Kingborough Council

Development Application: DA-2026-180

Plan Reference No: P1

Date Received: 13/05/2026

Date placed on Public Exhibition: 4/7/2026

PROPOSED OUTDOOR SPA

No. 5 ATUNGA STREET, TAROONA
R. & J. CALLOW

SCHEDULE OF DRAWINGS

ARCHITECTURAL

A01	DRAWING SCHEDULE & NOTES
A02	SITE PLAN
A03	GENERAL NOTES
A04	DEMOLITION PLAN
A05	PROPOSED SWIM SPA PLAN
A06	EXTERIOR ELEVATIONS - WEST
A07	EXTERIOR ELEVATIONS - SOUTH
A08	EXTERIOR ELEVATIONS - NORTH

GENERAL INFORMATION

LAND CERTIFICATE OF TITLE REFERENCE No. - C.T 8468/1

SOIL REPORT CONSULTANT & CLASSIFICATION - NONE PROVIDED.

DESIGN WIND SPEED - 40m/s (N2)

CLIMATE ZONE FOR THERMAL DESIGN (building code of australia) - ZONE 7

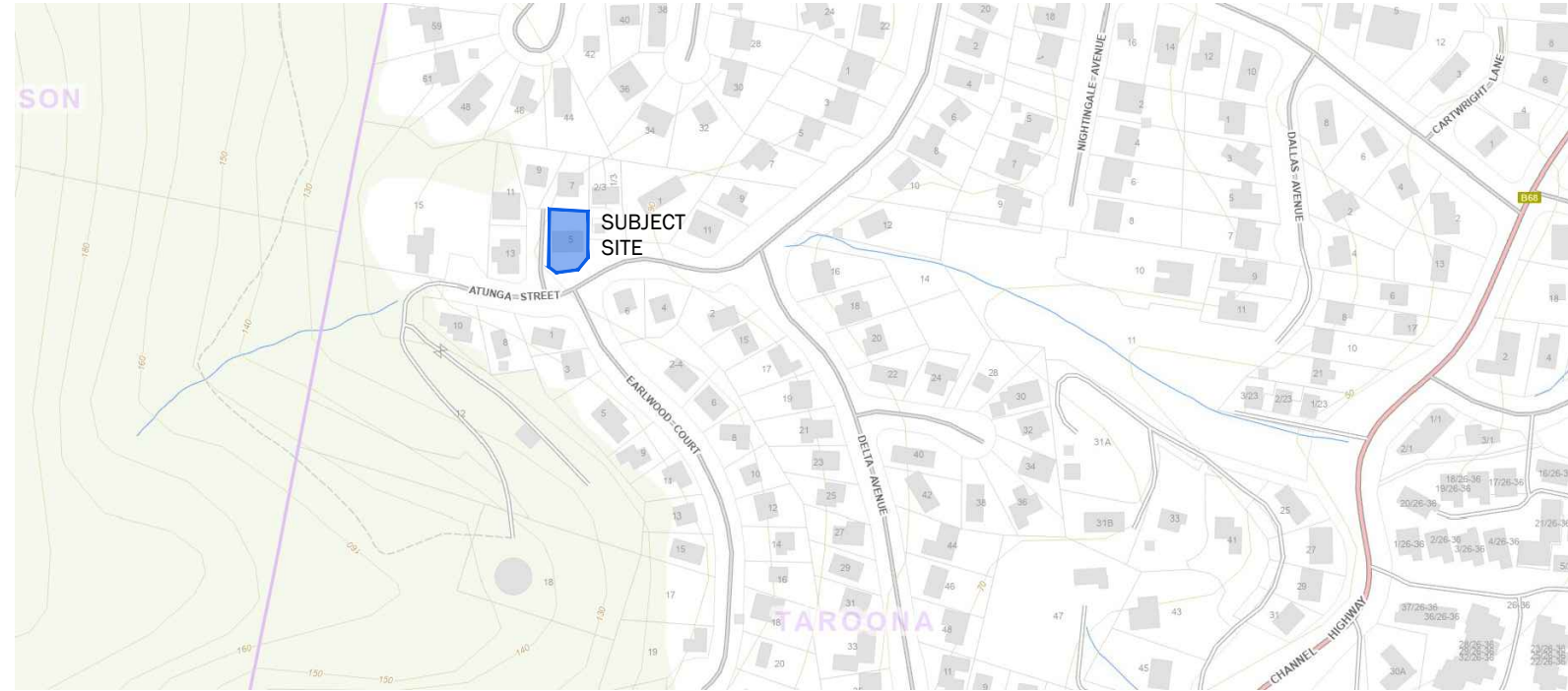
BUSHFIRE-PRONE AREA BAL RATING (bushfire attack level) - N/A (swimming pool).

ALPINE AREA (fire safety) - NO

CORROSION ENVIRONMENT - MEDIUM (mild steel corrosion rate 25 to 50µm/year). TYPICALLY MORE THAN 1km FROM BREAKING SURF OR AGGRESSIVE INDUSTRIAL AREAS OR MORE THAN 50m FROM SHELTERED BAYS.

EXTERNAL BUILDING AREAS (proposed)

SWIM SPA - 13.51m²



LOCATION PLAN

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDISFARNE
TASMANIA 7015

matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC5666C

PROJECT:

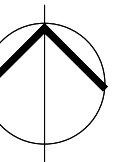
OUTDOOR SPA

5 ATUNGA STREET
TAROONA

R. & J. CALLOW

DATE: MAY 2026
PROJECT No. 1978

ISSUE/REV:



TITLE:

DRAWING SCHEDULE

SCALE: N/A (A3)
DRAWING No:

A01

SHEET: 1 OF 8

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT- ASK!! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE KEY

- A** OUTLINE OF EXISTING TWO-STOREY DWELLING.
- B** EXISTING BLUESTONE RETAINING WALL.
- C** PROPOSED OUTDOOR SWIM SPA, ACCESS STEPS AND GATE.

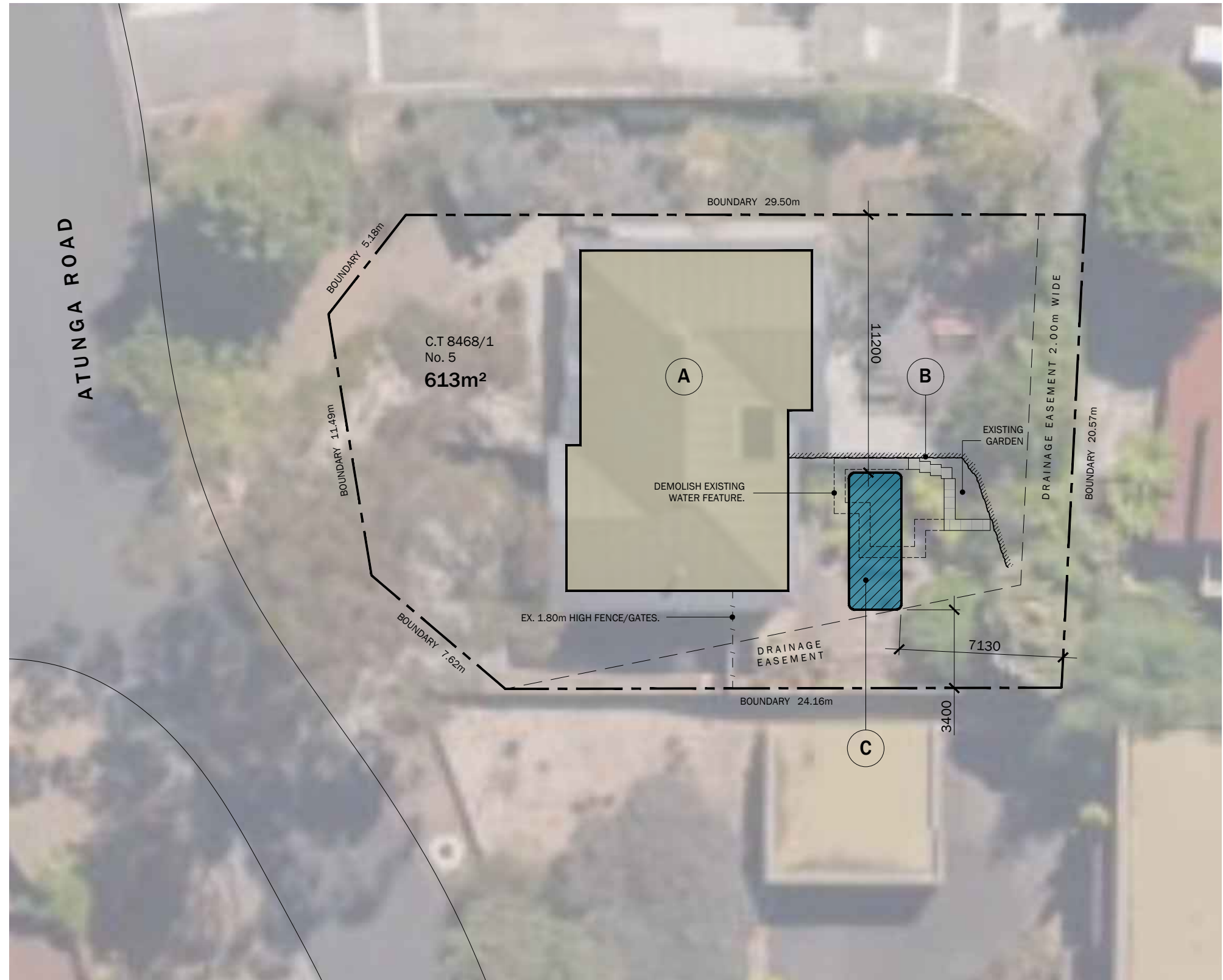
SITE IS LOCATED WITHIN THE FOLLOWING ZONES & AREAS OF THE KINGBOROUGH INTERIM PLANNING SCHEME 2015: -

- 12.0 LOW DENSITY RESIDENTIAL ZONE.
- SCENIC LANDSCAPE AREA.
- LANDSLIDE HAZARD AREA.
- BUSHFIRE PRONE AREA.

THERE IS NO CHANGE TO THE EXISTING ROOFED AREA, AND NO CHANGE TO THE SITE COVERAGE.

THERE IS NO REMOVAL OR DISTURBANCE OF BUSHLAND REQUIRED.

WORKS WILL NOT BE VISIBLE FROM PUBLIC SPACES.



SITE PLAN 1:200

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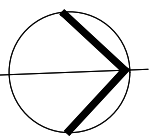
PROJECT:
OUTDOOR SPA

**5 ATUNGA STREET
TAROONA**

R. & J. CALLOW

DATE: **MAY 2026**
PROJECT No. 1978

ISSUE/REV:



TITLE:
SITE PLAN

SCALE: 1:200 (A3)
DRAWING No:

A02

SHEET: **2** OF 8

CARRYING OUT BUILDING WORK

- PREVENTION OF NUISANCES

A PERSON MUST NOT ALLOW DIRT, DUST, FUMES, NOISE, SMOKE, BUILDING MATERIALS, SEWAGE OR CONCENTRATIONS OF WATER WHICH ARE CAUSED BY, OR OCCUR IN THE COURSE OF, BUILDING WORK TO BECOME –

(a) A PUBLIC HEALTH RISK; OR

(b) A NUISANCE FOR AN OWNER, OCCUPIER OR USER OF ADJOINING LAND.

- PROTECTION FOR PUBLIC AND ADJOINING PROPERTIES

(1) A BUILDER MUST PROVIDE AND MAINTAIN A GUARD IN RESPECT OF AN EXCAVATION OR VOID IF THE EXCAVATION OR VOID –

(a) CONSTITUTES, OR IS MADE IN THE COURSE OF, BUILDING WORK; AND

(b) IS A DANGER TO THE PUBLIC.

- REQUIREMENTS BEFORE BUILDING DEMOLITION OR REMOVAL – GENERAL

A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS THE PERSON HAS –

(a) RECEIVED WRITTEN ADVICE FROM THE APPROPRIATE ELECTRICITY SUPPLY ENTITY THAT ALL SUPPLY OF ELECTRICITY TO THE

BUILDING HAS BEEN DISCONNECTED AND ALL AERIAL OR UNDERGROUND ELECTRICITY SUPPLY CABLES HAVE BEEN REMOVED

FROM THE SITE; AND

(b) RECEIVED WRITTEN ADVICE FROM THE OPERATOR OF THE APPROPRIATE GAS NETWORK THAT ALL GAS SUPPLY TO THE BUILDING HAS BEEN DISCONNECTED AND ALL SUPPLY LINES HAVE BEEN REMOVED FROM THE SITE; AND

(c) ADVISED THE GENERAL MANAGER IN WRITING OF THE TIMETABLE FOR CAPPING STORMWATER DRAINS; AND

(d) ADVISED THE CHIEF OFFICER IN WRITING, WITHIN THE SPECIFIED PERIOD, OF THE TIMETABLE IN WHICH THE FOLLOWING ACTIONS ARE TO OCCUR:

(i) DISCONNECTION OF ALL TELEPHONE LINES OR OTHER SIGNALING DEVICES ASSOCIATED WITH THE MONITORING OF ALL FIRE PROTECTION EQUIPMENT MONITORED BY THE TASMANIA FIRE SERVICE;

(ii) THE REMOVAL, DISMANTLING OR ALTERATION OF ANY WATER SUPPLY TO A BUILDING OR WATER SUPPLY DEVICE, BOOSTER OR OTHER ASSEMBLY ASSOCIATED WITH FIRE PROTECTION EQUIPMENT;

(iii) THE REMOVAL, DISMANTLING OR ALTERATION OF ALL OCCUPANT SAFETY SYSTEMS INCLUDING AN EMERGENCY WARNING INTERCOMMUNICATION SYSTEM, AIR-HANDLING SYSTEM, STAIRWELL PRESSURISATION SYSTEM OR SMOKE OR FIRE DOOR; AND

(e) ADVISED IN WRITING THE REGULATED ENTITY, WITHIN THE MEANING OF THE WATER AND SEWERAGE INDUSTRY ACT 2008, OF THE TIMETABLE FOR CAPPING ANY SEWERS AND SEALING OFF ANY WATER SUPPLY LINES.

- REQUIREMENTS BEFORE BUILDING DEMOLITION OR REMOVAL – ASBESTOS

(1) A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS THE PERSON HAS –

(a) TAKEN ALL REASONABLY PRACTICABLE STEPS TO IDENTIFY THE PRESENCE OF ASBESTOS IN THE BUILDING; AND

(b) COMPLIED WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.

(2) A PERSON MUST NOT REMOVE A BUILDING UNLESS THE PERSON HAS REMOVED ALL ASBESTOS (INCLUDING MATERIAL IDENTIFIED AS CONTAINING ASBESTOS) FROM THE BUILDING IN ACCORDANCE WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.

- REQUIREMENTS DURING BUILDING DEMOLITION OR REMOVAL

A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS –

(a) THE DEMOLITION OR REMOVAL IS CARRIED OUT –

(i) IN ACCORDANCE WITH A PERMIT GRANTED UNDER THESE REGULATIONS; AND

(ii) IN A SAFE AND PROFESSIONAL MANNER; AND

(b) THE DEMOLITION OF ANY WALL WHICH ABUTS ON A PUBLIC STREET IS CARRIED OUT ONLY DURING THE HOURS PERMITTED BY THE PERMIT AUTHORITY; AND

(c) THE PERSON TAKES REASONABLE ACTION TO PREVENT BUILDING MATERIAL AND DEBRIS FALLING ONTO OR INTO –

(i) A PLACE WHICH IS OPEN TO THE PUBLIC; AND

(ii) ANY ADJACENT LAND OR WAY; AND

(d) THE POSITIONS OF CAPPED SEWER AND STORMWATER DRAINS AND SEALED-OFF WATER SUPPLY LINES ARE CLEARLY MARKED AT THE SITE; AND

(e) THE PERSON LEAVES THE SITE OF THE DEMOLITION OR REMOVAL CLEAN AND TIDY; AND

(f) THE PERSON REMOVES ALL BROKEN GLASS OR OTHER DANGEROUS OR HAZARDOUS BUILDING MATERIAL FROM THE SITE.

GENERAL NOTES - NATIONAL CONSTRUCTION CODE (NCC)

WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC) VOLUME TWO & HOUSING PROVISIONS, AS WELL AS LOCAL COUNCIL RULES/REGULATIONS.

A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY MUST BE KEPT ON SITE.

SLAB CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 2870, AND MUST COMPLY WITH PART 4.1 OF THE THE NCC.

CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600 - AND HAVE A MINIMUM STRENGTH OF 25MPa (N25) AT 28 DAYS. STEEL REINFORCING MUST COMPLY WITH AS 2870. GENERALLY CONCRETE AND REINFORCING MUST COMPLY WITH PART 4.2 OF THE NCC.

ALL EXTERNAL STEEL MEMBERS & FIXINGS SHALL BE PROTECTED FROM CORROSION IN ACCORDANCE WITH PART 6.3.9 AND TABLES 6.3.9a & 6.3.9b OF THE NCC. GENERALLY HOT DIP GALVANISED OR POWDERCOATED UNLESS NOTED OTHERWISE.

STAIR CONSTRUCTION SHALL COMPLY WITH PART 11 OF THE NCC. PARAMETERS SHALL BE AS FOLLOWS:-
RISERS MAX. 190mm, MIN 115mm; TREADS MAX. 355mm, MIN 240mm

SLIP RESISTANCE OF STAIR TREADS SHALL BE IN ACCORDANCE WITH PART 11.2.4 OF THE NCC. TREADS OF EXTERNAL STAIRS MUST HAVE A SLIP-RESISTANCE CLASSIFICATION OF 'P4 or R11', AND SHALL BE FITTED WITH A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF 'P4' WHEN TESTED IN ACCORDANCE WITH AS4586 (wet surface conditions).

WHERE THE CHANGE IN LEVEL IS GREATER THAN 1.0m, A HANDRAIL MUST BE INSTALLED ALONG AT LEAST ONE(1) SIDE OF THE FLIGHT OR RAMP, FOR THE FULL LENGTH.

CONSTRUCTION OF SWIMMING POOL SAFETY BARRIERS AND WATER RETICULATION SYSTEMS SHALL BE CARRIED OUT IN STRICTLY IN ACCORDANCE WITH AS1926.1, AS1926.2, AND AS1926.3.

WHS REGULATIONS 2012

WORKPLACE HEALTH & SAFETY REGULATIONS 2012 (WHS REGULATIONS) REQUIRE THERE TO BE A PRINCIPAL CONTRACTOR (THE BUILDER) FOR ANY PROJECT WITH A CONSTRUCTION VALUE OVER \$250,000.

THE BUILDER SHALL SAFELY CARRY OUT ALL WORK IN ACCORDANCE WITH WHS REGULATIONS. THE WHS REGULATIONS REQUIRE THAT BEFORE STARTING WORK THE BUILDER MUST IDENTIFY ALL OF THE HIGH RISK CONSTRUCTION WORK THAT WILL BE UNDERTAKEN, DEVELOP SAFE WORK METHOD STATEMENTS FOR THESE, AND ENSURE THAT ALL WORK IS CARRIED OUT IN ACCORDANCE WITH THEM.

POWER SUPPLY
WHERE WORK IS IN PROXIMITY TO OVERHEAD POWER LINES, THE BUILDER SHALL FORM AN APPROPRIATE SAFE WORK STRATEGY. WHERE THE EXISTING POWER SUPPLY NEEDS TO BE RELOCATED, THE BUILDER SHALL CONSULT WITH 'AURORA' & ALL OTHER RELEVANT AUTHORITIES. POWER LINE RELOCATION SHALL BE CONDUCTED IN A SAFE MANNER, AND IN ACCORDANCE WITH ALL RELEVANT STANDARDS & REGULATIONS.

CONSTRUCTION WORK - CODE OF PRACTICE
THE CODE OF PRACTICE FOR CONSTRUCTION WORK IS AN APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE WORK HEALTH & SAFETY ACT (the WHS Act).

AN APPROVED CODE OF PRACTICE IS A PRACTICAL GUIDE TO ACHIEVING THE STANDARDS OF HEALTH, SAFETY AND WELFARE REQUIRED UNDER THE WHS ACT AND THE WORK HEALTH & SAFETY REGULATIONS (WHS regulations).

THE CODE PROVIDES GUIDANCE TO PRINCIPAL CONTRACTORS AND OTHER PERSONS CONDUCTING A BUSINESS OR UNDERTAKING, WHO CARRYOUT CONSTRUCTION WORK, ON HOW TO MEET THE HEALTH & SAFETY REQUIREMENTS UNDER THE WHS ACT & REGULATIONS RELATING TO CONSTRUCTION WORK.

THE CODE SHOULD BE READ IN CONJUNCTION WITH OTHER CODES OF PRACTICE ON SPECIFIC HAZARDS AND CONTROL MEASURES RELEVANT TO THE CONSTRUCTION INDUSTRY INCLUDING (but not limited to):-

- DEMOLITION WORK
- EXCAVATION WORK
- MANAGING ELECTRICAL RISK AT THE WORKPLACE
- MANAGING THE RISK OF FALLS AT WORKPLACES
- MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK
- PREVENTING FALLS IN HOUSING CONSTRUCTION
- CONFINED SPACES
- HAZARDOUS MANUAL TASKS
- FIRST AID IN THE WORKPLACE
- SAFE DESIGN OF STRUCTURES

A COPY OF THE CODE OF PRACTICE FOR CONSTRUCTION WORK CAN BE DOWNLOADED FROM THE FOLLOWING LINK:-

<http://www.safeworkaustralia.gov.au/sites/swa/about/publications/pages/construction-work>

ABBREVIATIONS

a.	AWNING WINDOW.
NCC	NATIONAL CONSTRUCTION CODE (VOL. 2) BUILDING CODE OF AUSTRALIA 2022.
B/H	BULKHEAD.
BLDG.	BUILDING.
CONC.	CONCRETE.
☒	CENTRE LINE.
DIA.	DIAMETER.
DWG. No.	DRAWING NUMBER.
dw.	UNDERBENCH DISHWASHER.
ELEV.	ELEVATION.
ELEC.	ELECTRICAL COMPONENT.
f.	FIXED WINDOW.
F.C.L.	FINISHED CEILING LEVEL.
F.F.L.	FINISHED FLOOR LEVEL.
GALV.	GALVANISED.
h/p	COOKTOP ABOVE BUILT IN OVEN.
MIN.	MINIMUM.
MAX.	MAXIMUM.
MSB.	MAIN ELECTRICAL SWITCHBOARD.
No.	NUMBER OF (.....)
N.T.S.	NOT TO SCALE.
N.G.L.	NATURAL GROUND LEVEL.
O/A.	OVERALL DIMENSION.
r/h	RANGEHOOD ABOVE COOKTOP.
s.	SLIDING WINDOW.
sd.	GLAZED SLIDING DOOR PANEL.
shwr.	SHOWER BAY.
sk.	KITCHEN SINK.
S/S.	STAINLESS STEEL.
TYP.	TYPICAL.
tr.	LAUNDRY TROUGH.
U.N.O.	UNLESS NOTED OTHERWISE.
U/S.	UNDERSIDE OF (.....)
v.	VANITY UNIT.
wc	TOILET PAN.

OUTDOOR SPA

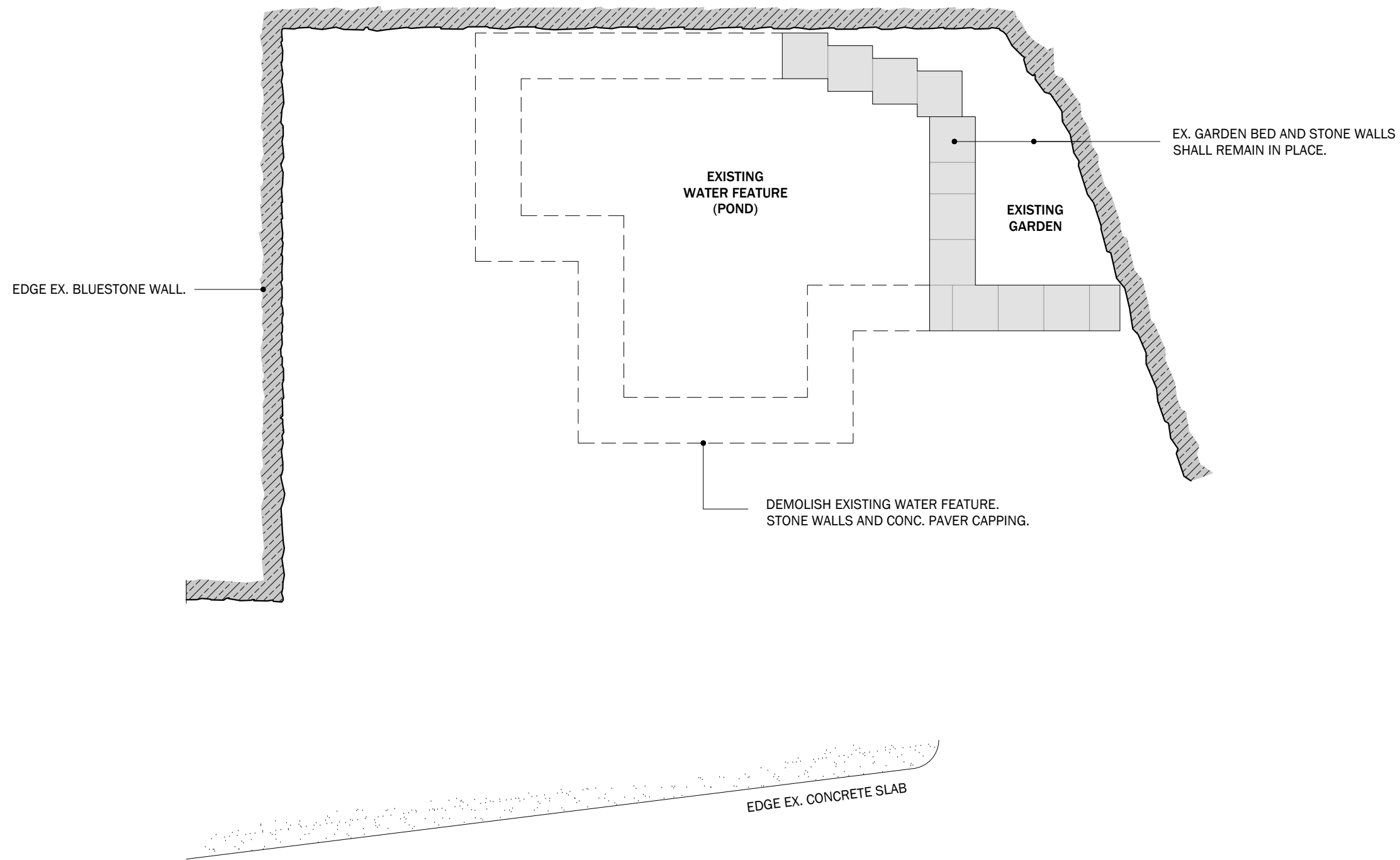
5 ATUNGA STREET
TAROONA

R. & J. CALLOW

DATE: **MAY 2026**
PROJECT No. 1978

GENERAL NOTES

Kingborough Council
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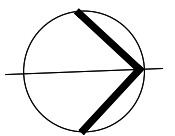
DEMOLITION PLAN 1:50
EXISTING

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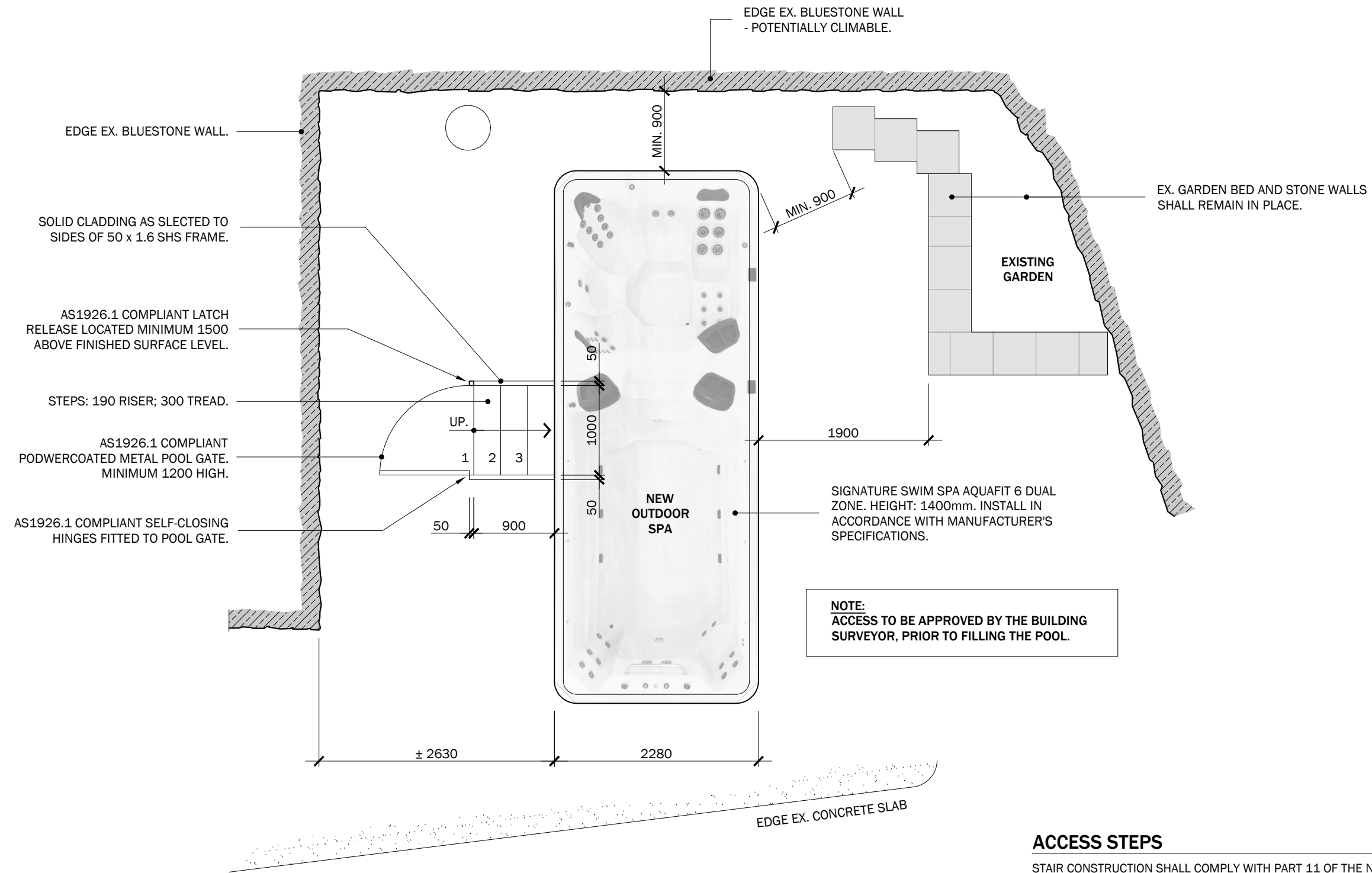


TITLE:
DEMOLITION PLAN

SCALE: 1:50 (A3)
 DRAWING No:

A04

SHEET: 4 OF 8



FLOOR PLAN 1:50
PROPOSED

ACCESS STEPS

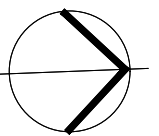
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SWIM SPA

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TITLE:
FLOOR PLAN - PROPOSED

SCALE: **1:100 (A3)**
DRAWING No:

A05

SHEET: **5 OF 8**

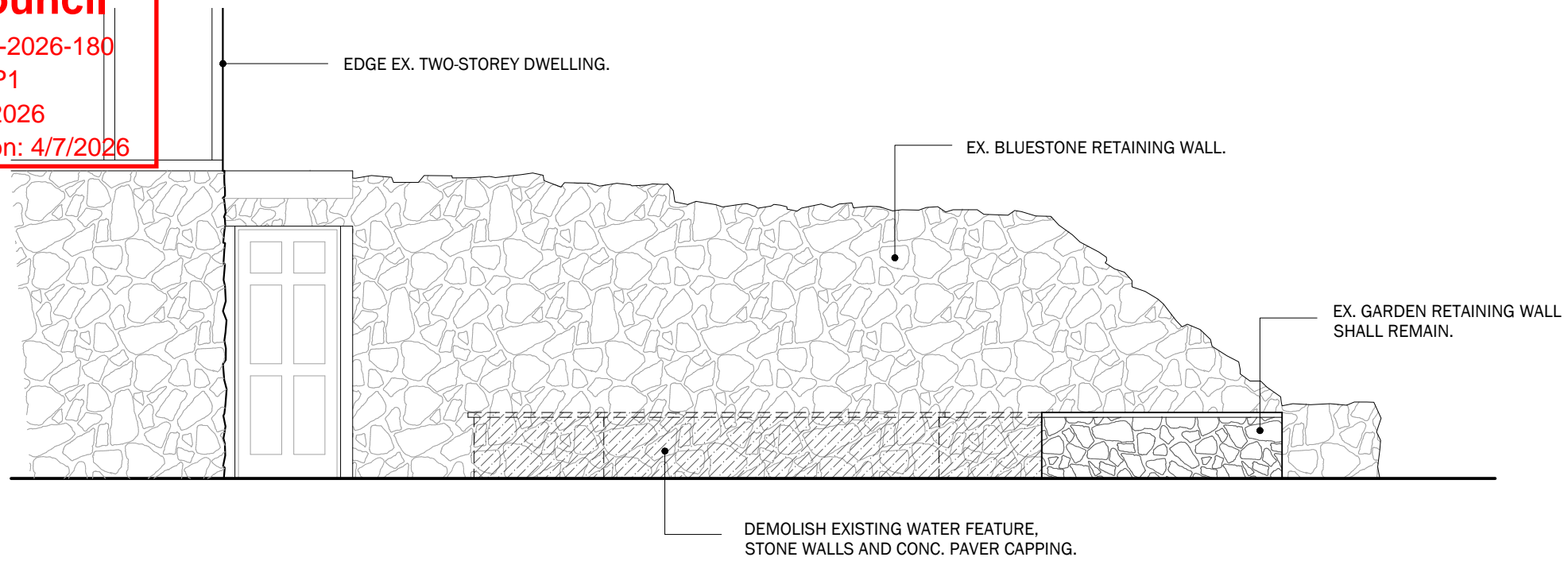
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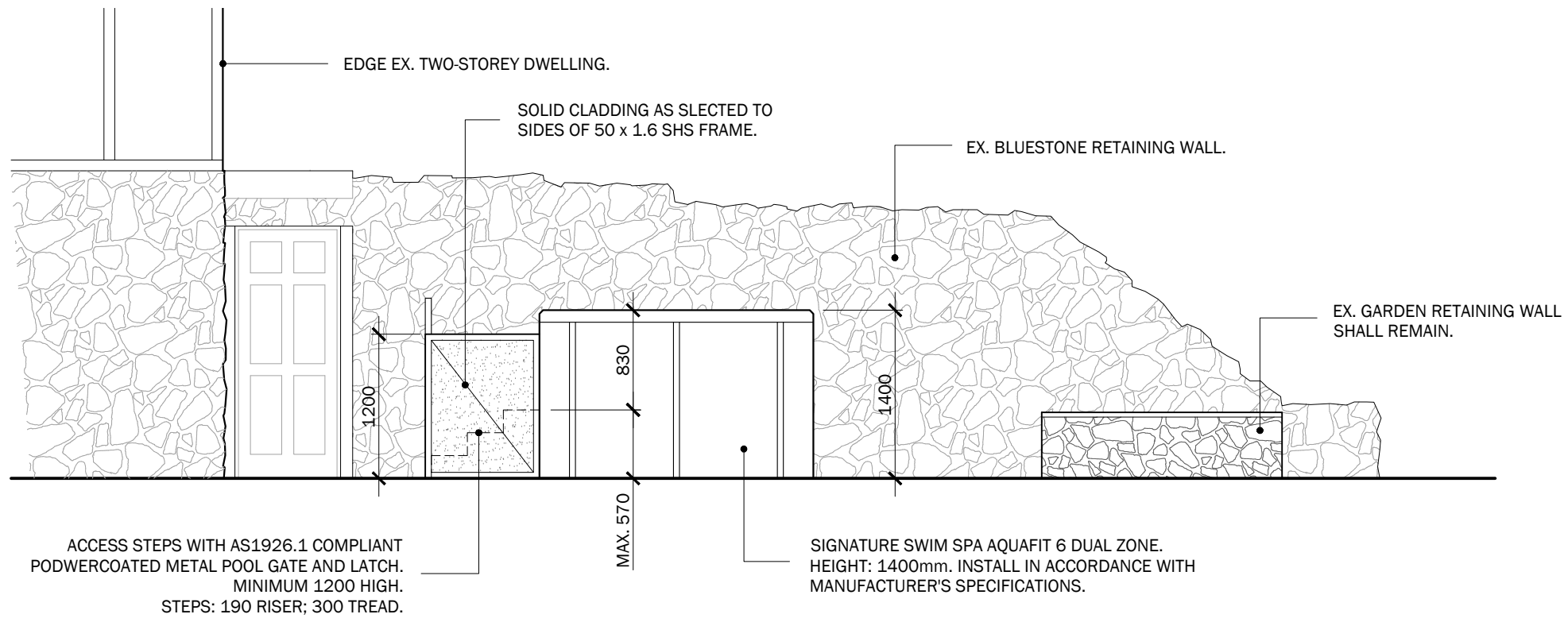
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WEST ELEVATION 1:100

EXISTING



WEST ELEVATION 1:100

PROPOSED

NOTE:
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ISSUE/REV:

TITLE:

EXTERIOR ELEVATIONS

SCALE: 1:100 (A3)

DRAWING No:

A06

SHEET: 6 OF 8

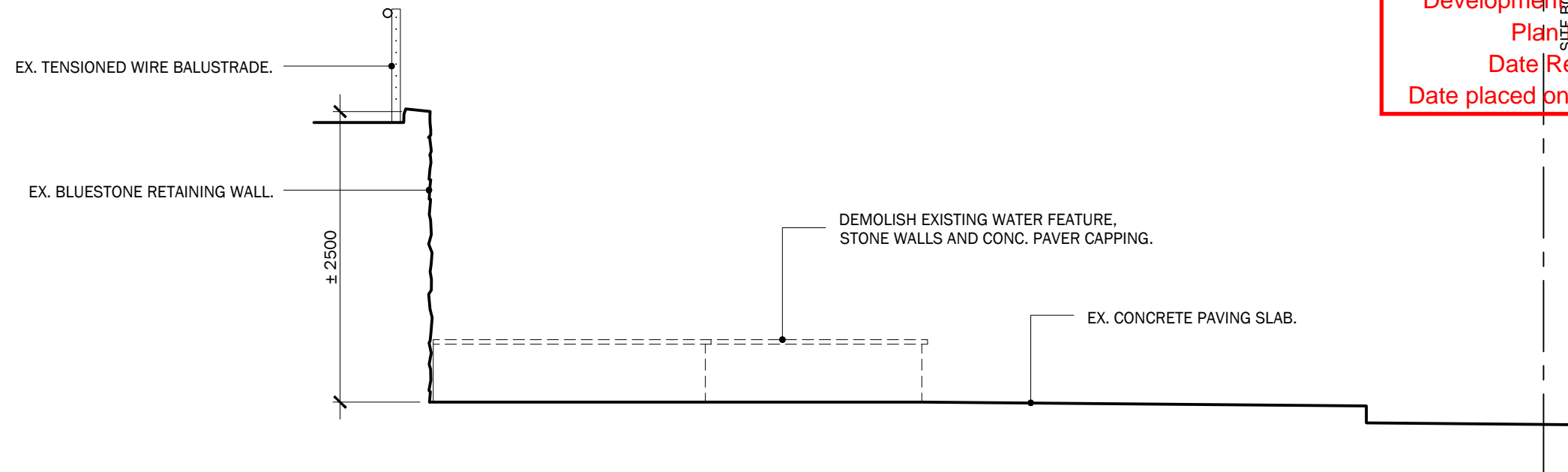
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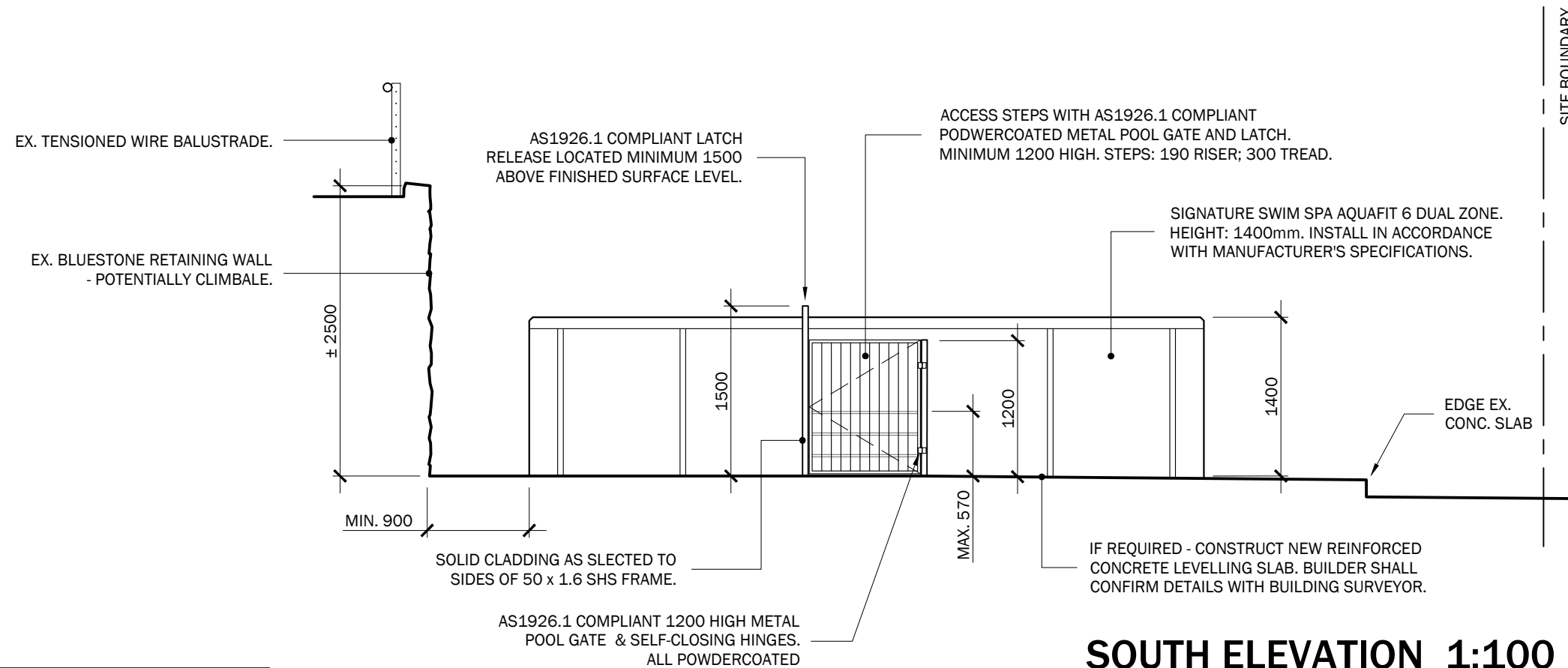
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SOUTH ELEVATION 1:100

EXISTING



SOUTH ELEVATION 1:100

PROPOSED

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OUTDOOR SPA

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TITLE:

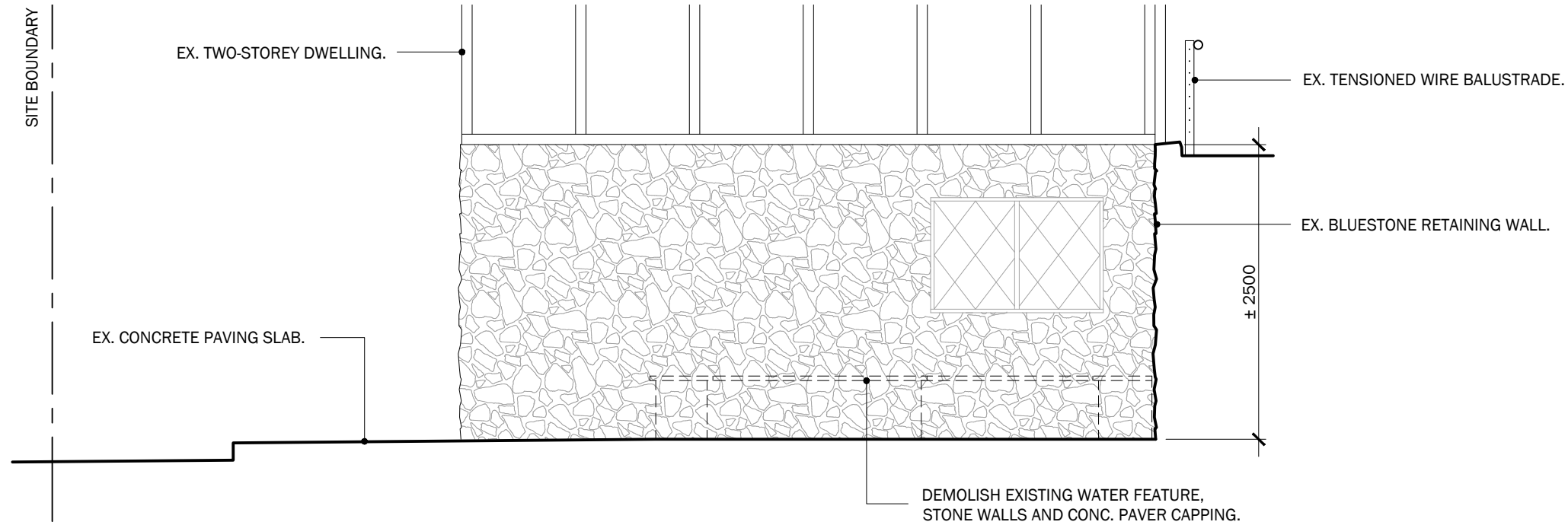
EXTERIOR ELEVATIONS

SCALE: 1:100 (A3)

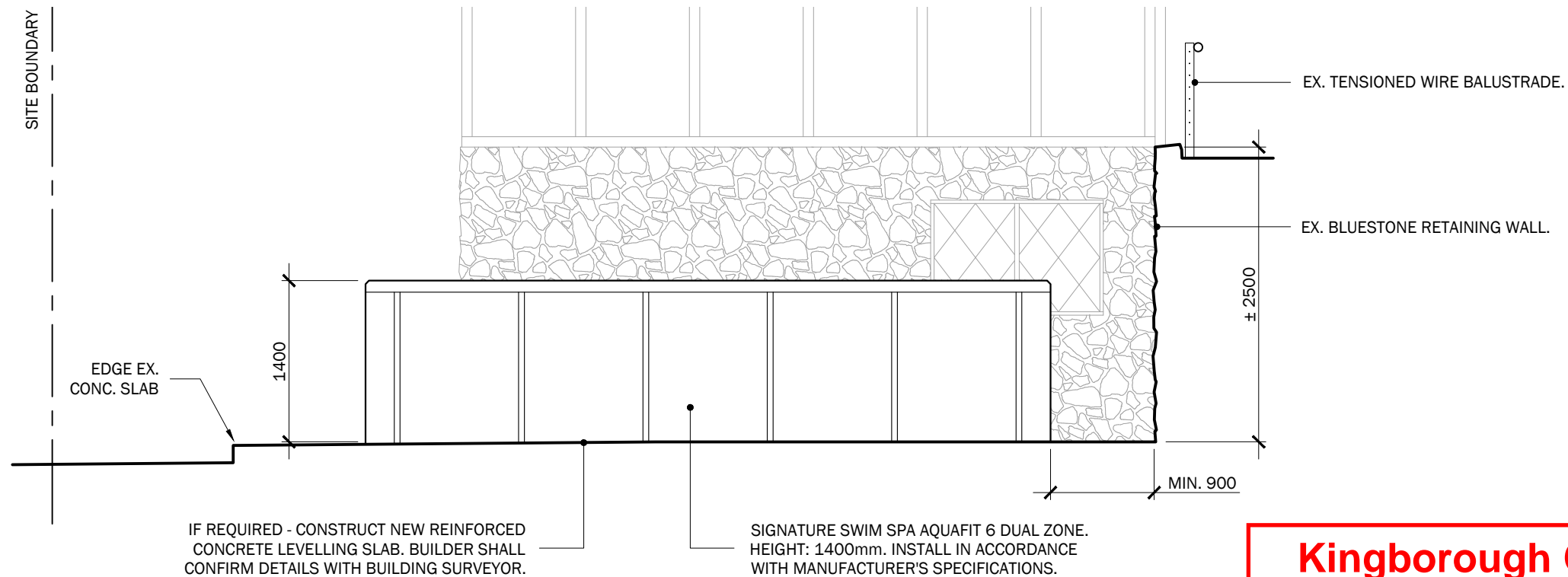
DRAWING No:

A07

SHEET: 7 OF 8



NORTH ELEVATION 1:100
EXISTING



NORTH ELEVATION 1:100
PROPOSED

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