

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-140
Proposal: Deck (partially roofed)
Subject Site: Unit 1/5 Calder Crescent, Blackmans Bay
Responsible Planning Officer: Cassinia Devries

Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **3 July 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY 'CONDITIONS OF APPROVAL' ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT- ASK!! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE COVERAGE (as per the Kingborough Interim Planning Scheme 2015)

EXISTING UNIT 1 RESIDENCE - 99.00m²

EXISTING UNIT 2 RESIDENCE - 72.00m²

PROPOSED ROOF OVER TIMBER DECK - 7.97m²

TOTAL - 178.97m²

TOTAL SITE AREA - 857m²

TOTAL SITE COVERAGE - 20.88%

SITE IS LOCATED WITHIN THE FOLLOWING ZONES & AREAS OF THE KINGBOROUGH INTERIM PLANNING SCHEME 2015: -

- 10.0 GENERAL RESIDENTIAL ZONE.

SITE KEY

- A** EXISTING BRICK RESIDENCE (single-storey).
- B** EXISTING CLAD RESIDENCE (two-storey) & DECK.
- C** EXISTING CONCRETE DRIVEWAY.
- D** DEMOLISH EXISTING DECK.
- E** PROPOSED TIMBER + STEEL FRAMED DECK CONSTRUCTION. PARTIALLY ROOFED.
- F** EXISTING GARAGE.

Kingborough Council

Development Application: DA-2026-140

Plan Reference No: P2

Date Received: 12/6/2026

Date placed on Public Exhibition: 20/6/2026

PO BOX 224 LINDISFARNE
TASMANIA 7015

matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC5666C

PROJECT:

DECK

No. 1/5 CALDER CRESCENT
BLACKMANS BAY

S. LOHREY & C. BOYCE

DATE: JUN 2026

PROJECT No. 1968

ISSUE/REV:

A. PRELIM. ISSUE.	26.2.26
B. PRELIM. ISSUE.	2.3.26
C. PLANNING ISSUE.	3.3.26
D. S/W ADDED.	11.6.26



SITE PLAN 1:200

TITLE:

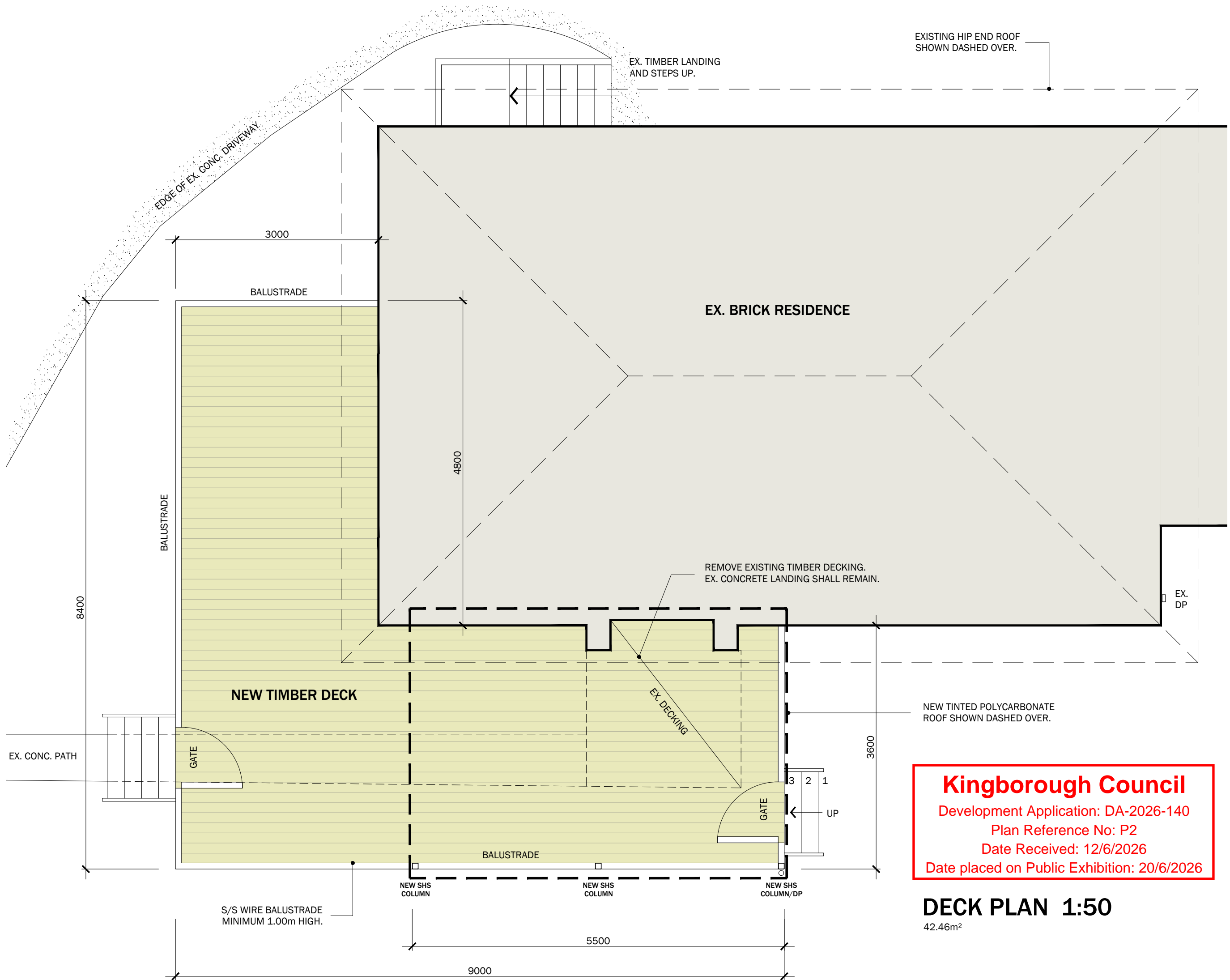
SITE PLAN

SCALE: 1:200 (A3)

DRAWING No:

A01

SHEET: 1 OF 5



EXISTING HIP END ROOF SHOWN DASHED OVER.

EX. TIMBER LANDING AND STEPS UP.

EDGE OF EX. CONC. DRIVEWAY

3000

BALUSTRADE

EX. BRICK RESIDENCE

4800

REMOVE EXISTING TIMBER DECKING. EX. CONCRETE LANDING SHALL REMAIN.

EX. DP

NEW TIMBER DECK

NEW TINTED POLYCARBONATE ROOF SHOWN DASHED OVER.

EX. DECKING

EX. CONC. PATH

GATE

GATE

3 2 1 UP

BALUSTRADE

S/S WIRE BALUSTRADE MINIMUM 1.00m HIGH.

NEW SHS COLUMN

NEW SHS COLUMN

NEW SHS COLUMN/DP

5500

9000

3600

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DECK PLAN 1:50
 42.46m²

MATT GILLEY
 BUILDING DESIGNER

PO BOX 224 LINDISFARNE
 TASMANIA 7015

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 0437 499 238
 LICENCE No. CC5666C

PROJECT:

DECK

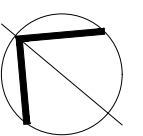
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TITLE:

DECK PLAN

SCALE: 1:50 (A3)

DRAWING No:

A02

SHEET: 2 OF 5

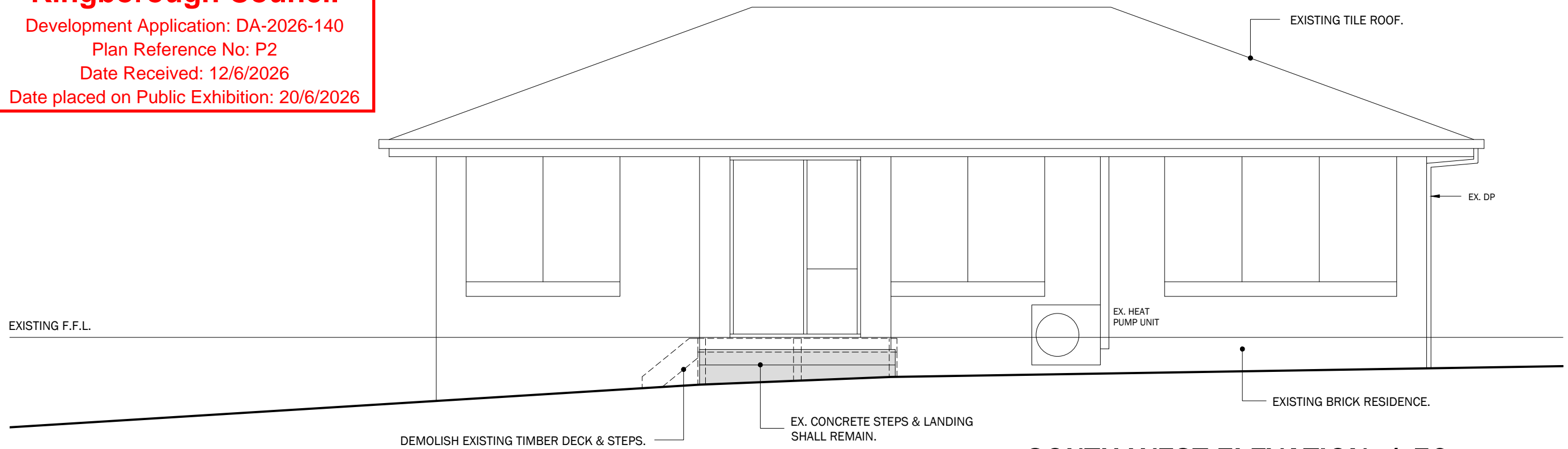
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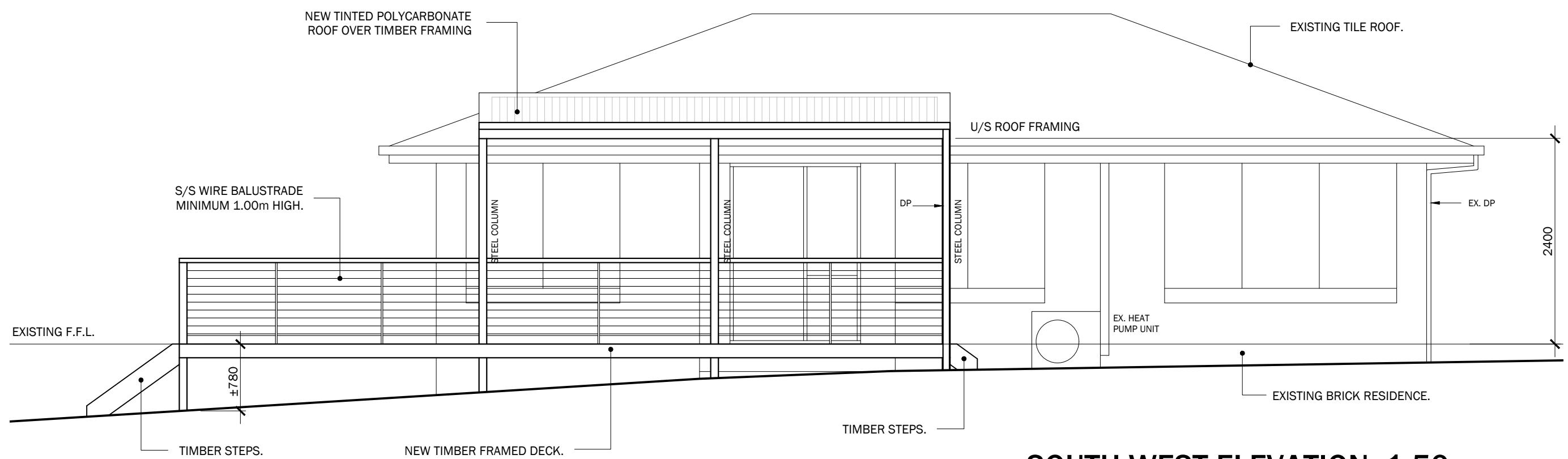


DEMOLISH EXISTING TIMBER DECK & STEPS.

EX. CONCRETE STEPS & LANDING SHALL REMAIN.

SOUTH WEST ELEVATION 1:50

EXISTING



SOUTH WEST ELEVATION 1:50

PROPOSED

MATT GILLEY
BUILDING DESIGNER

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TASMANIA 7015

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ELEVATIONS - SOUTH EAST

SCALE: 1:50 (A3)
DRAWING No:

A03

SHEET: 3 OF 5

PART OUTLINE OF EXISTING BRICK + TILE RESIDENCE.

DEMOLISH EXISTING TIMBER DECK & STEPS.

EXISTING F.F.L.

EX. CONCRETE STEPS & LANDING SHALL REMAIN.

SOUTH EAST ELEVATION 1:50

EXISTING

NEW TINTED POLYCARBONATE ROOF OVER TIMBER FRAMING.

PART OUTLINE OF EXISTING BRICK + TILE RESIDENCE.

MIN. 5°

U/S ROOF FRAMING

2400

DP

STEEL COLUMN

GATE

S/S WIRE BALUSTRADE MINIMUM 1.00m HIGH.

EX. DP

300

NEW TIMBER FRAMED DECK.

EX. CONCRETE STEPS & LANDING SHALL REMAIN.

SOUTH EAST ELEVATION 1:50

PROPOSED

PART OUTLINE OF EXISTING BRICK + TILE RESIDENCE.

PART OUTLINE OF EXISTING BRICK + TILE RESIDENCE.

EX. TIMBER LANDING & STEPS

EX. TIMBER LANDING & STEPS

S/S WIRE BALUSTRADE MINIMUM 1.00m HIGH.

1000

1120

NEW TIMBER FRAMED DECK.

NORTH EAST ELEVATION 1:50

EXISTING

NORTH EAST ELEVATION 1:50

PROPOSED

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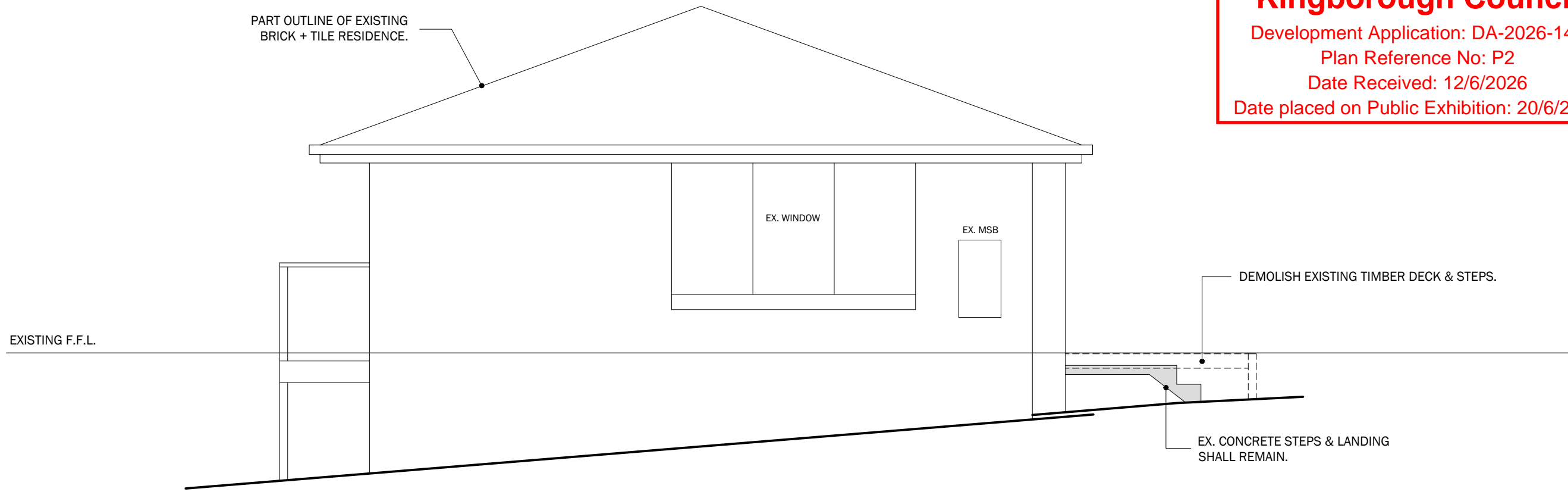
TITLE:

ELEVATION - NORTH EAST

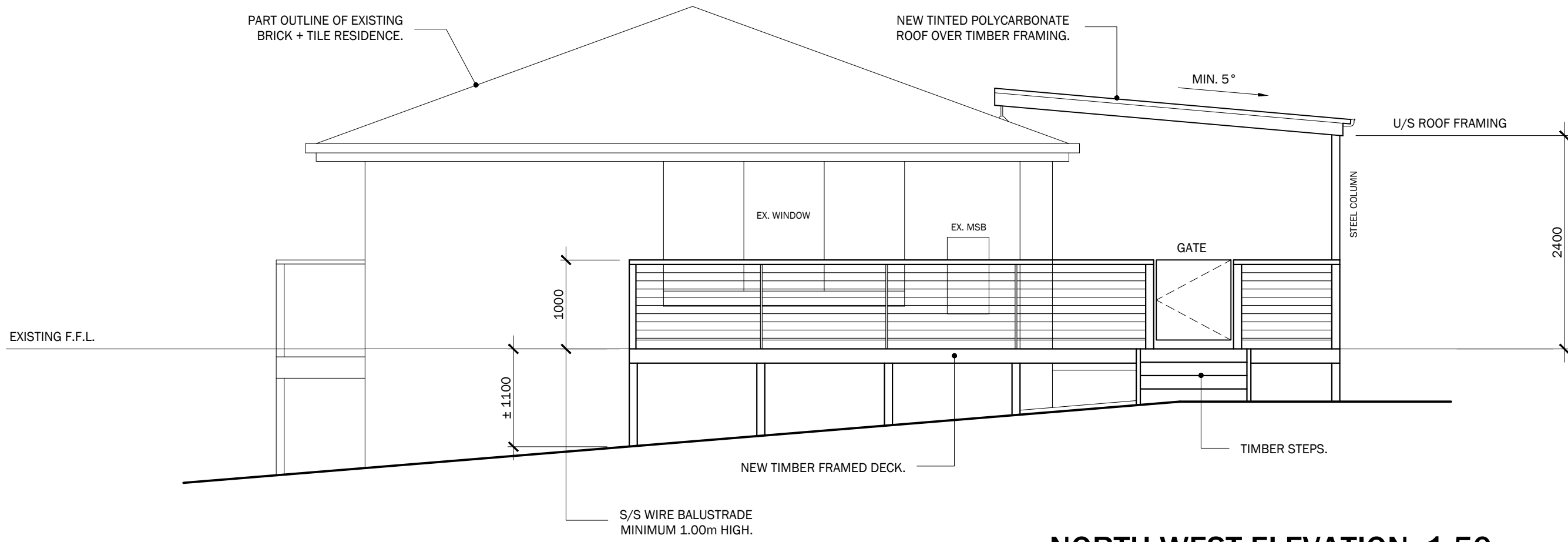
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NORTH WEST ELEVATION 1:50
EXISTING



NORTH WEST ELEVATION 1:50
PROPOSED