

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-81
Proposal: Extension to dwelling and outbuilding
Subject Site: 25 Cades Drive, Kingston
Responsible Planning Officer: Benjamin Allen

Advertised Documents:

- Application Plans
- Natural Values Assessment
- Bushfire Hazard Assessment

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **10 June 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE AND COMPLIANCE WITH THE NATIONAL CONSTRUCTION CODE, BUILDING ACT 2016, WORK HEALTH AND SAFETY ACT 2012, COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS, STATE BASED REGULATIONS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET-OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

SITE PLAN NOTES

HORIZONTAL DATUM (NORTH) IS APPROXIMATE TO GDA2020, VERTICAL DATUM (HEIGHT) IS TO AHD.

CONTOUR HEIGHTS ARE IN METRES.

SITE DATA AS PER DETAIL PLAN BY LEARY, COX & CRIPPS, FILE REF. 14618, DATED 05/09/2025.

SITE INFORMATION

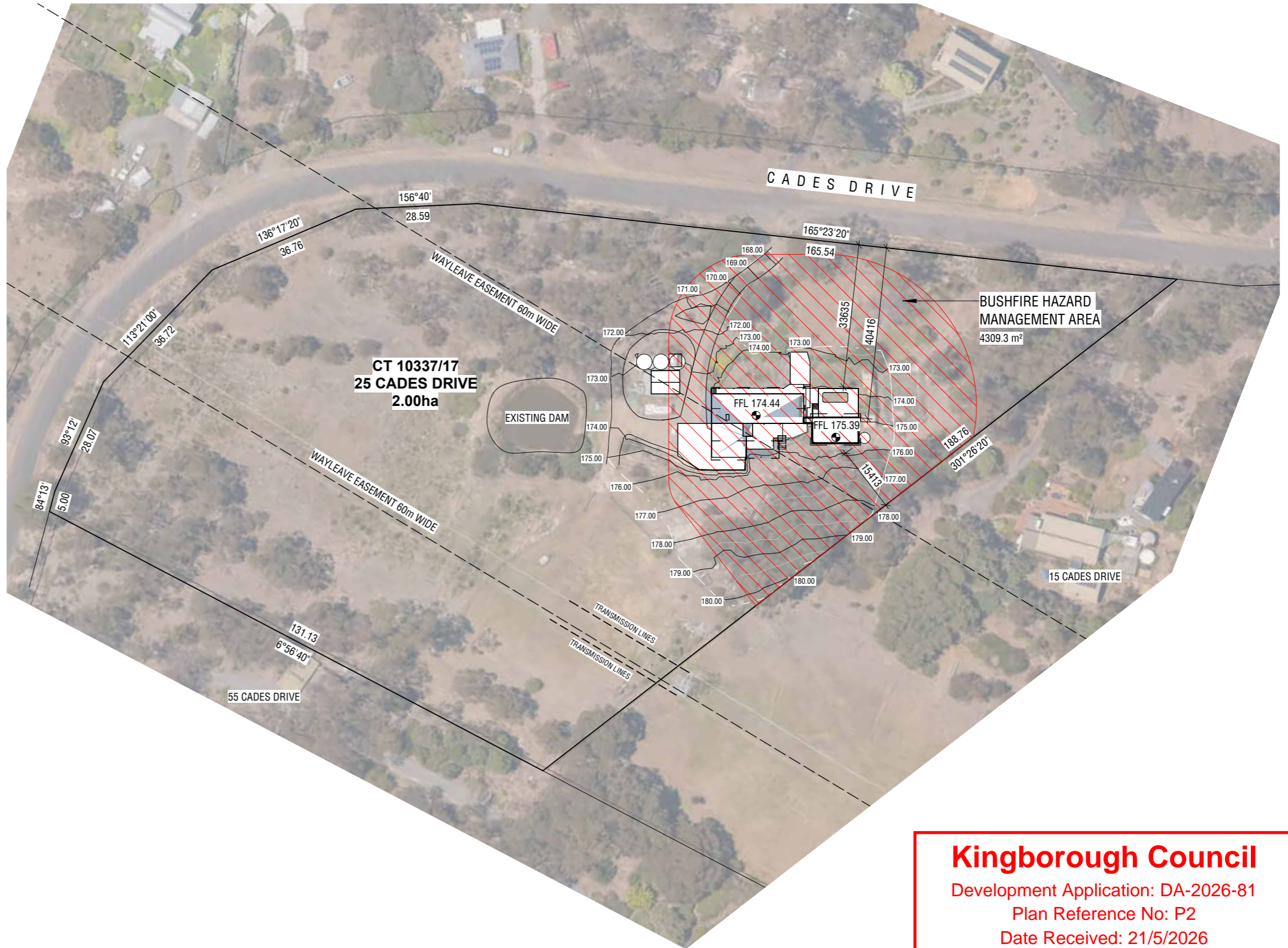
LAND TITLE REFERENCE	10337/17
PLANNING SCHEME ZONING	RURAL LIVING (AREA A) KINGBOROUGH INTERIM PLANNING SCHEME 2015
PLANNING SCHEME OVERLAY(S)	BUSHFIRE PRONE AREAS BIODIVERSITY PROTECTION AREA ELECTRICITY TRANSMISSION INFRASTRUCTURE PROTECTION LANDSLIDE HAZARD AREA SCENIC LANDSCAPE AREA
WIND CLASSIFICATION	N3
SOIL CLASSIFICATION	S
CLIMATE ZONE	7
BAL RATING	BAL-19
ALPINE AREA	NO
CORROSION ENVIRONMENT	LOW

BUILDING AREAS

EXISTING DWELLING FOOTPRINT	222 m ²
EXISTING OUTBUILDING	36 m ²
PROPOSED ADDITION	68.4 m ²
LAND AREA	2.0ha
GROSS FLOOR AREA	326.4 m ²

LEGEND

FFL	FINISHED FLOOR LEVEL
FSL	FINISHED SURFACE LEVEL



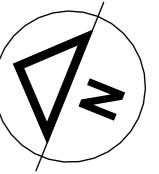
Kingborough Council
 Development Application: DA-2026-81
 Plan Reference No: P2
 Date Received: 21/5/2026
 Date placed on Public Exhibition: 27/5/2026

PERRI PITT BUILDING DESIGNER
 LICENCE No. CC6621
 0400 018 260
 perri@perripitt.com

PROJECT NO.: 25-015	SHEET NO.: DA01	STATUS: DEVELOPMENT APPROVAL
CLIENT: ANTHONY REID & KAREN MILLER		
PROJECT: PROPOSED ADDITION 25 CADES DRIVE, KINGSTON, TAS 7050		

SHEET TITLE: SITE PLAN	
DRAWING INDEX	
SITE PLAN	DA01
PART SITE PLAN	DA02
PROPOSED FLOOR PLAN	DA03
PROPOSED ELEVATIONS 1	DA04
PROPOSED ELEVATIONS 2	DA05
SCHEDULES	DA06
- SHEET REMOVED - SITE DRAINAGE PLAN	DA08
TREE PLAN	DA09

SCALE: 1 : 1000 AT A3		
REV.	DESCRIPTION	DATE
A	ISSUED TO CLIENT FOR REVIEW	10/03/2026
B	OUTBUILDING REMOVED, SHEET DA09 ADDED (TREE PLAN)	20/05/2026



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FSL	FINISHED SURFACE LEVEL

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DEMOLITION NOTES

DEMOLITION WORK MUST BE UNDERTAKEN IN ACCORDANCE WITH THE DEMOLITION WORK CODE OF PRACTICE AND BUILDING REGULATIONS 2016 (TASMANIA)

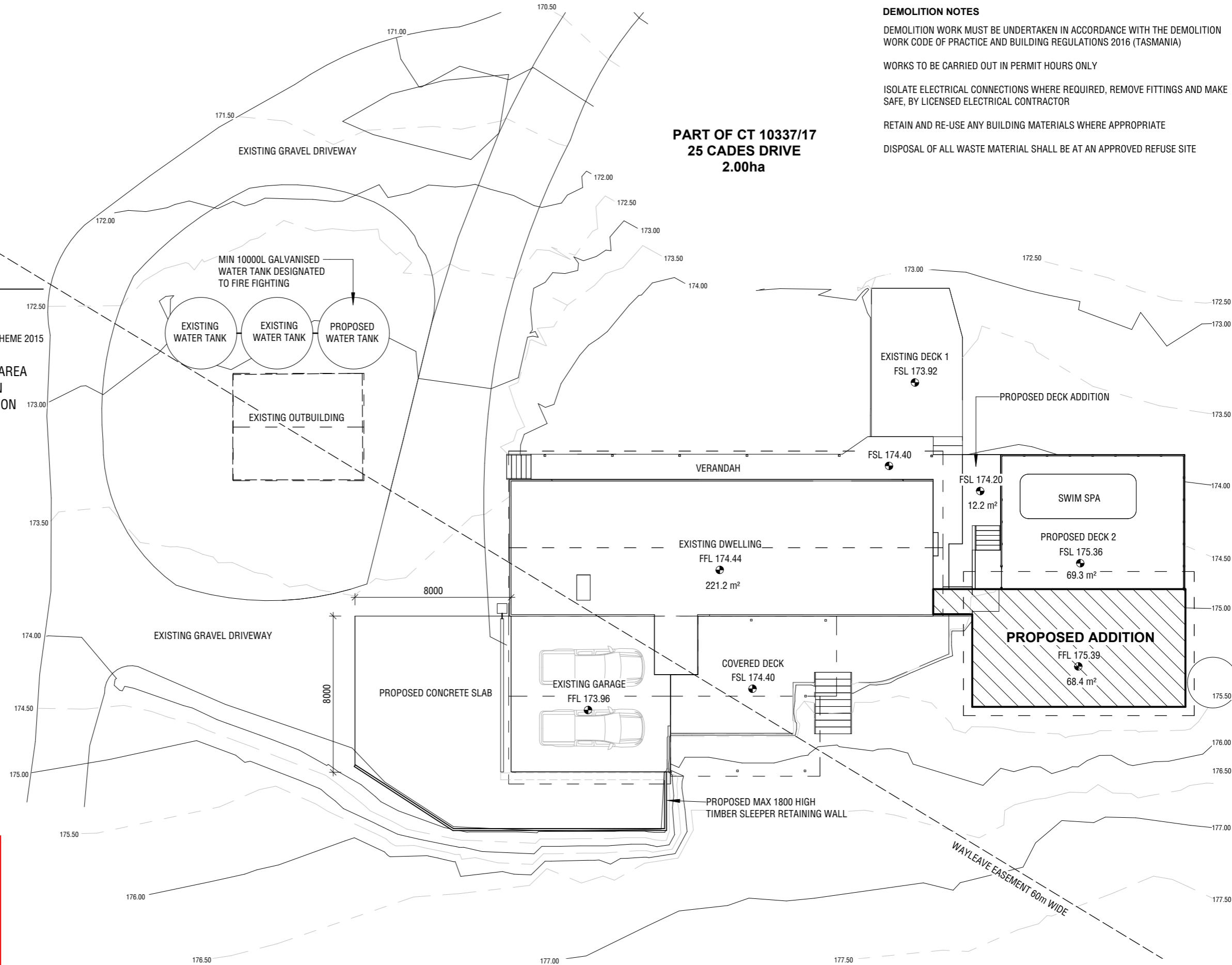
WORKS TO BE CARRIED OUT IN PERMIT HOURS ONLY

ISOLATE ELECTRICAL CONNECTIONS WHERE REQUIRED, REMOVE FITTINGS AND MAKE SAFE, BY LICENSED ELECTRICAL CONTRACTOR

RETAIN AND RE-USE ANY BUILDING MATERIALS WHERE APPROPRIATE

DISPOSAL OF ALL WASTE MATERIAL SHALL BE AT AN APPROVED REFUSE SITE

**PART OF CT 10337/17
25 CADES DRIVE
2.00ha**

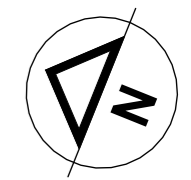


PERRI PITT BUILDING DESIGNER
 LICENCE No. CC6621
 0400 018 260
 perri@perripitt.com

PROJECT NO.:	25-015	SHEET NO.:	DA02	STATUS:	DEVELOPMENT APPROVAL
CLIENT:	ANTHONY REID & KAREN MILLER				
PROJECT:	PROPOSED ADDITION 25 CADES DRIVE, KINGSTON, TAS 7050				

SHEET TITLE: PART SITE PLAN			
DRAWING INDEX			
SITE PLAN	DA01	TREE PLAN	DA09
PART SITE PLAN	DA02		
PROPOSED FLOOR PLAN	DA03		
PROPOSED ELEVATIONS 1	DA04		
PROPOSED ELEVATIONS 2	DA05		
SCHEDULES	DA06		
- SHEET REMOVED -			
SITE DRAINAGE PLAN	DA08		

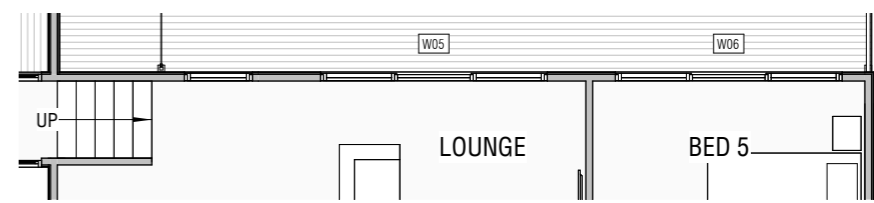
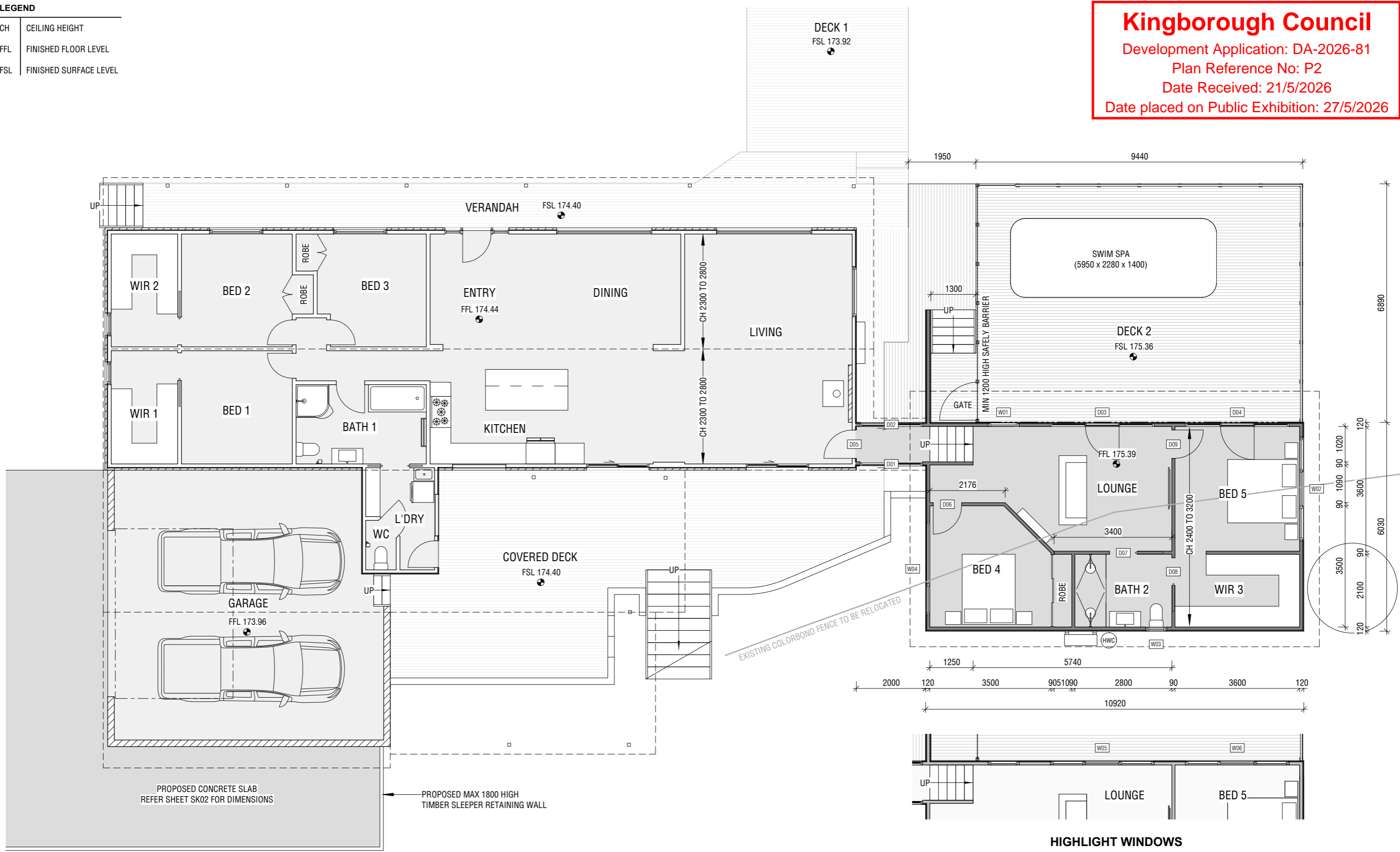
SCALE:	1 : 200 AT A3	
REV.	DESCRIPTION	DATE
A	ISSUED TO CLIENT FOR REVIEW	10/03/2026
B	OUTBUILDING REMOVED, SHEET DA09 ADDED (TREE PLAN)	20/05/2026



LEGEND

CH	CEILING HEIGHT
FFL	FINISHED FLOOR LEVEL
FSL	FINISHED SURFACE LEVEL

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HIGHLIGHT WINDOWS
 SCALE 1 : 100 AT A3



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 perri@perripitt.com

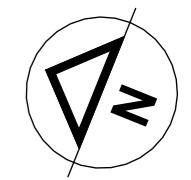
PROJECT NO.: 25-015
 SHEET NO.: DA03
 STATUS: DEVELOPMENT APPROVAL
 CLIENT: ANTHONY REID & KAREN MILLER
 PROJECT: PROPOSED ADDITION
 25 CADES DRIVE, KINGSTON, TAS 7050

SHEET TITLE: PROPOSED FLOOR PLAN

DRAWING INDEX	
SITE PLAN	DA01
PART SITE PLAN	DA02
PROPOSED FLOOR PLAN	DA03
PROPOSED ELEVATIONS 1	DA04
PROPOSED ELEVATIONS 2	DA05
SCHEDULES	DA06
- SHEET REMOVED -	
SITE DRAINAGE PLAN	DA08
TREE PLAN	DA09

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LEGEND

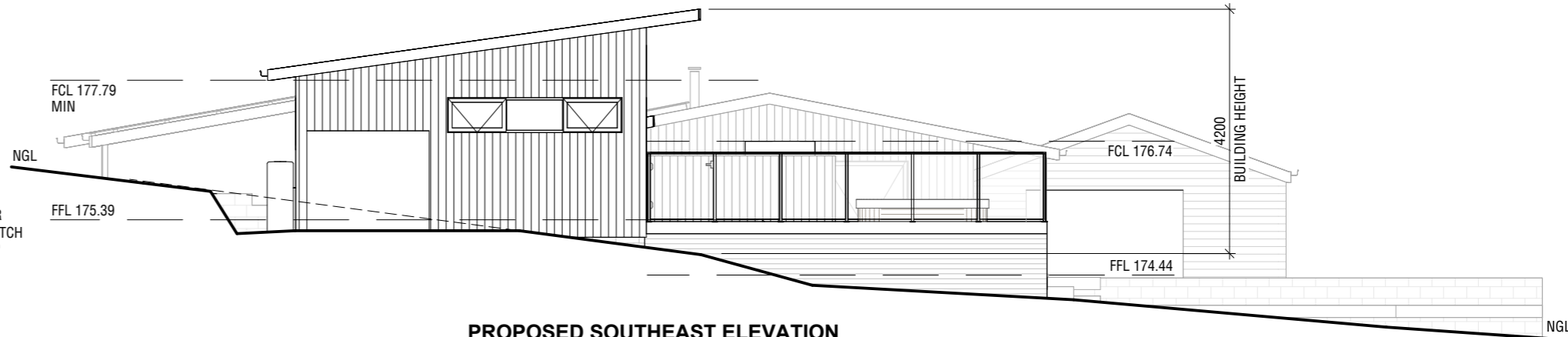
- FFL FINISHED FLOOR LEVEL
- FCL FINISHED CEILING LEVEL
- NGL NATURAL GROUND LEVEL

COLORBOND STEEL FASCIA AND GUTTER SYSTEM, COLOUR TO MATCH EXISTING, NOMINALLY COLORBOND 'DEEP OCEAN', PROFILE TO OWNER'S CHOICE

CUSTOM ORB STEEL ROOF CLADDING, COLOUR TO MATCH EXISTING, NOMINALLY COLORBOND 'DEEP OCEAN' (LRV 9%)

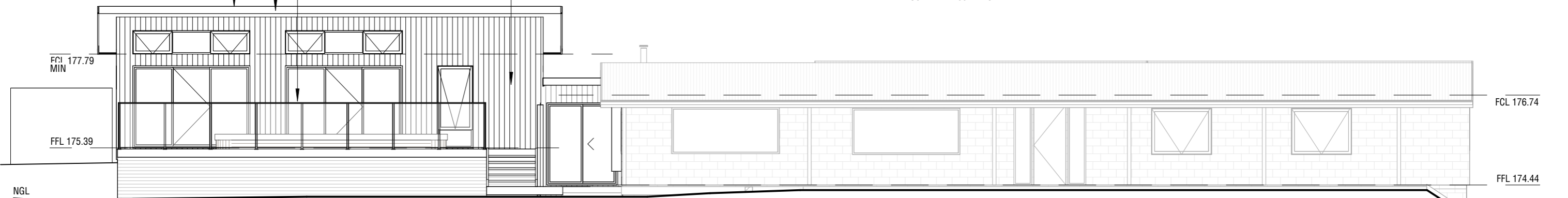
DOUBLE GLAZED WINDOWS AND DOORS, POWDER COATED ALUMINIUM FRAME, TYP. COLOUR TO MATCH EXISTING, NOMINALLY COLORBOND 'DEEP OCEAN'

JAMES HARDIE 'OBLIQUE' FIBRE CEMENT SHEET EXTERNAL WALL CLADDING, COLOUR - COLORBOND 'RIVERSAND' (LRV 32%)



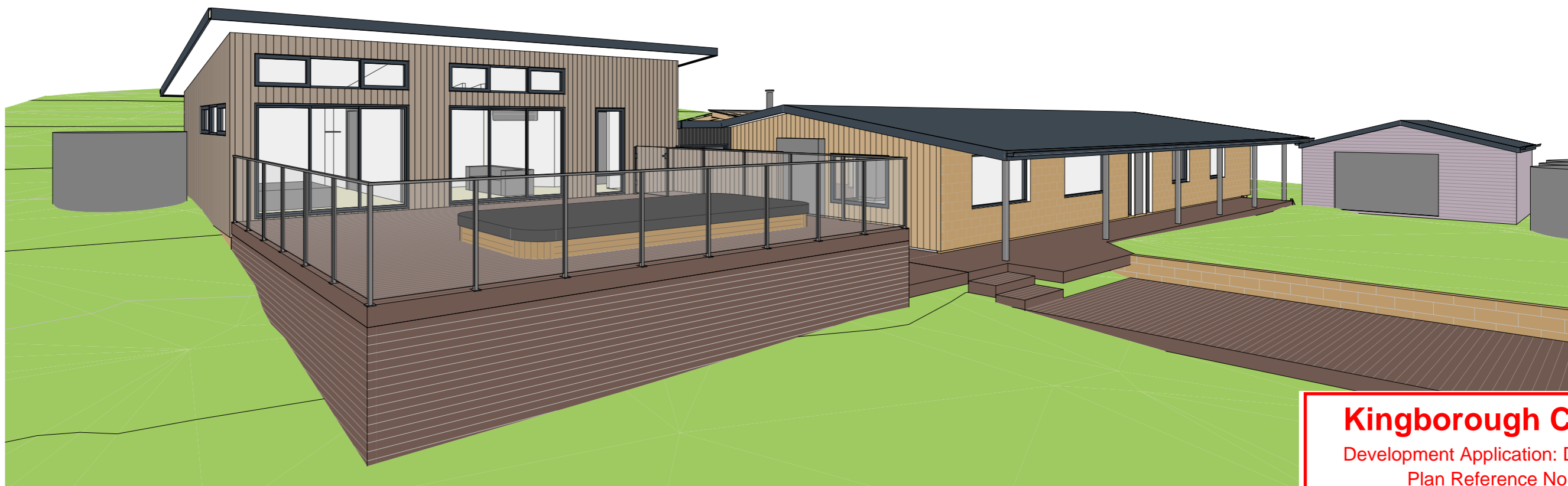
PROPOSED SOUTHEAST ELEVATION

SCALE 1 : 100 AT A3



PROPOSED NORTHEAST ELEVATION

SCALE 1 : 100 AT A3



PROPOSED EAST 3D VIEW

NOT TO SCALE

Kingborough Council

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PITT

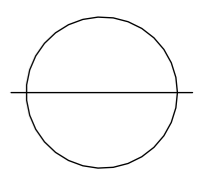
BUILDING
DESIGNER

LICENCE No. CC6621
0400 018 260
perri@perripitt.com

PROJECT NO.: 25-015	SHEET NO.: DA04	STATUS: DEVELOPMENT APPROVAL
CLIENT: ANTHONY REID & KAREN MILLER		
PROJECT: PROPOSED ADDITION 25 CADES DRIVE, KINGSTON, TAS 7050		

SHEET TITLE: PROPOSED ELEVATIONS 1			
DRAWING INDEX			
SITE PLAN	DA01	TREE PLAN	DA09
PART SITE PLAN	DA02		
PROPOSED FLOOR PLAN	DA03		
PROPOSED ELEVATIONS 1	DA04		
PROPOSED ELEVATIONS 2	DA05		
SCHEDULES	DA06		
- SHEET REMOVED -			
SITE DRAINAGE PLAN	DA08		

SCALE: 1 : 100 AT A3		
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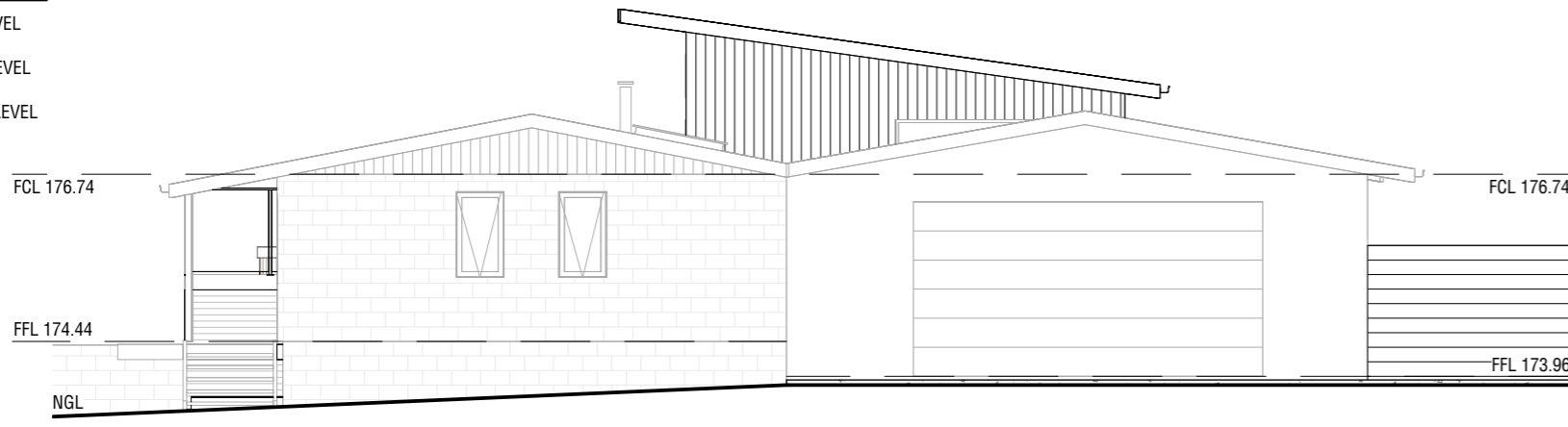


LEGEND

- FFL FINISHED FLOOR LEVEL
- FCL FINISHED CEILING LEVEL
- NGL NATURAL GROUND LEVEL

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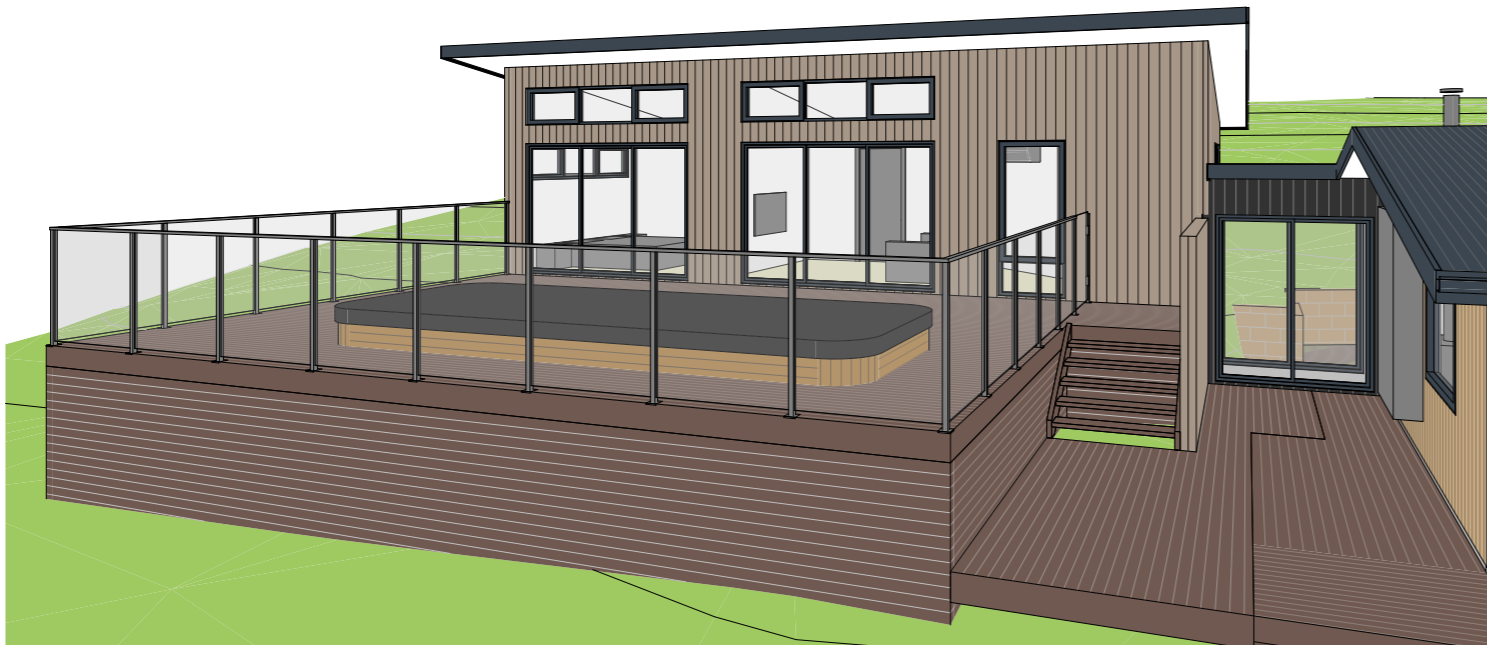


PROPOSED NORTHWEST ELEVATION
SCALE 1 : 100 AT A3

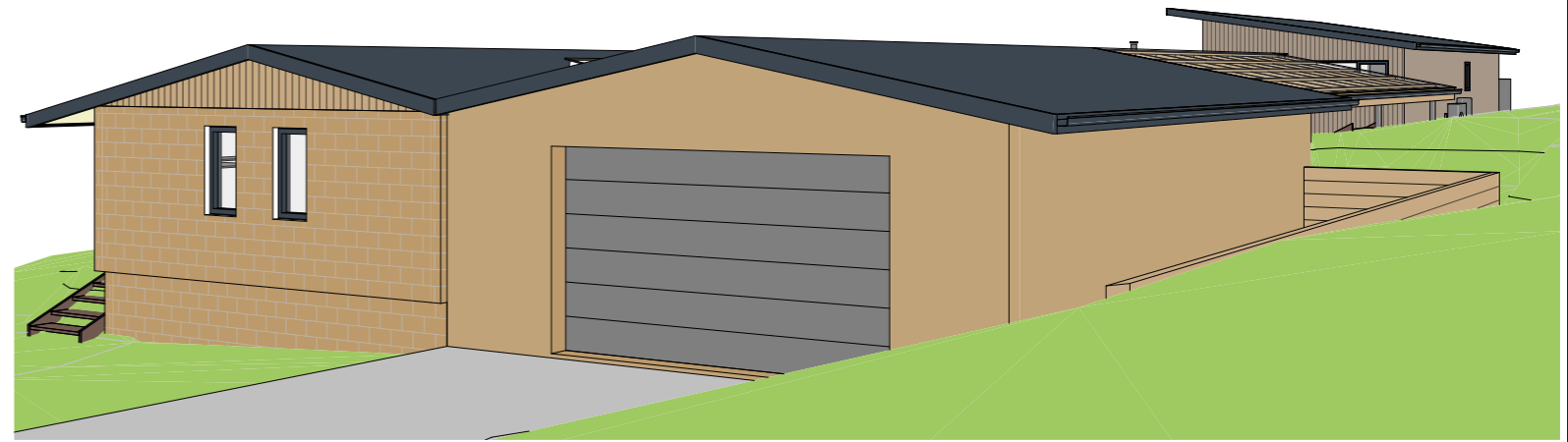
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- COLORBOND STEEL FASCIA AND GUTTER SYSTEM, COLOUR TO MATCH EXISTING, NOMINALLY COLORBOND 'DEEP OCEAN', PROFILE TO OWNER'S CHOICE
- CUSTOM ORB STEEL ROOF CLADDING, COLOUR TO MATCH EXISTING, NOMINALLY COLORBOND 'DEEP OCEAN' (LRV 9%)



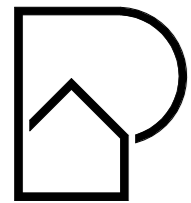
PROPOSED SOUTHWEST ELEVATION
SCALE 1 : 100 AT A3



PROPOSED NORTHEAST 3D VIEW
NOT TO SCALE



PROPOSED NORTHWEST 3D VIEW
NOT TO SCALE

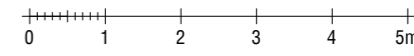


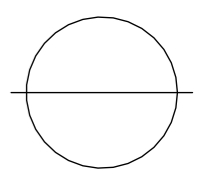
**PERRI
PITT** BUILDING DESIGNER

LICENCE No. CC6621
0400 018 260
perri@perripitt.com

PROJECT NO.: 25-015	SHEET NO.: DA05	STATUS: DEVELOPMENT APPROVAL
CLIENT: ANTHONY REID & KAREN MILLER		
PROJECT: PROPOSED ADDITION 25 CADES DRIVE, KINGSTON, TAS 7050		

SHEET TITLE: PROPOSED ELEVATIONS 2			
DRAWING INDEX			
SITE PLAN	DA01	TREE PLAN	DA09
PART SITE PLAN	DA02		
PROPOSED FLOOR PLAN	DA03		
PROPOSED ELEVATIONS 1	DA04		
PROPOSED ELEVATIONS 2	DA05		
SCHEDULES	DA06		
- SHEET REMOVED -			
SITE DRAINAGE PLAN	DA08		

SCALE: 1 : 100 AT A3		
		
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ENERGY EFFICIENCY NOTES

ALL ENERGY EFFICIENCY PROVISIONS AS PER
 • BCA 2019 PART 3.12

INSULATION, WHERE REQUIRED, MUST BE INSTALLED SO THAT:

- a. IT ABUTS OR OVERLAPS ADJOINING INSULATION OTHER THAN AT SUPPORTING MEMBERS
- b. IT FORMS A CONTINUOUS BARRIER WITH CEILINGS, WALLS, BULKHEADS, FLOORS, AND
- c. IT DOES NOT AFFECT THE SAFE OR EFFECTIVE OPERATION OF A DOMESTIC SERVICE OR FITTING.

BULK INSULATION, WHERE REQUIRED, MUST BE INSTALLED SO THAT:

- a. IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES ROOF BATTENS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE; AND
- b. IN A CEILING, WHERE THERE IS NO BULK INSULATION OR REFLECTIVE INSULATION IN THE EXTERNAL WALL BENEATH, IT OVERLAPS THE EXTERNAL WALL BY GREATER THAN OR EQUAL TO 50 mm.

EXTERNAL WINDOWS AND DOORS

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL DOOR AND OPENABLE WINDOW (INCLUDING INTERNAL GARAGE DOORS). MUST BE A DRAFT PROTECTION DEVICE (RAVEN BRAND OR EQUIVALENT). OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

EXHAUST FANS

AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER, FILTER OR THE LIKE WHEN SERVING A CONDITIONED SPACE.

CONSTRUCTION OF CEILINGS, WALLS AND FLOORS

ROOF, EXTERNAL WALLS, EXTERNAL FLOORS AND OPENINGS SUCH AS DOOR OR WINDOW FRAMES MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE:

- ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT THE CEILING, WALL AND FLOOR JUNCTIONS, OR
- SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE

SERVICES

A HEATED WATER SUPPLY SYSTEM MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA.

SARKING

CLASS 4 VAPOUR PERMEABLE WALL WRAP INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.

VAPOUR PERMEABLE ROOF SARKING INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS

CONDENSATION:

REFERENCE SHOULD MUST BE MADE TO THE ABCB CONDENSATION IN BUILDING HANDBOOK 2014, AND CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS' GUIDE (BY BUILDING STANDARDS AND OCCUPATIONAL LICENSING)

WINDOW AND DOOR NOTES

OPAQUE BANDS

WHERE GLAZED DOORS OR SIDE PANELS ARE CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, THE GLASS MUST BE MARKED TO MAKE IT READILY VISIBLE AS FOLLOWS:

- MARKING IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT
- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR
- THE LOWER EDGE IS NOT MORE THAN 1200mm ABOVE THE FLOOR

FLASHINGS TO WALL OPENINGS

- ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS/NZS 2904

ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER CLASS TO COMPLY WITH AS 1288.

WINDOW SCHEDULE							
NO.	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	LOCATION	DESCRIPTION	COMMENTS
W01	2100	900	0	2100	LOUNGE	ALUMINIUM FRAME, AWNING/FIXED, CLEAR DOUBLE GLAZING	
W02	600	3000	1500	2100	BED 5	ALUMINIUM FRAME, AWNING/FIXED, CLEAR DOUBLE GLAZING	
W03	900	600	1200	2100	BATH	ALUMINIUM FRAME, AWNING, CLEAR DOUBLE GLAZING	
W04	900	2700	1200	2100	BED 4	ALUMINIUM FRAME, AWNING/FIXED, CLEAR DOUBLE GLAZING	
W05	600	3000	2400	3000	LOUNGE	ALUMINIUM FRAME, AWNING/FIXED, CLEAR DOUBLE GLAZING	
W06	600	3000	2400	3000	BED 5	ALUMINIUM FRAME, AWNING/FIXED, CLEAR DOUBLE GLAZING	

EXTERIOR DOOR SCHEDULE					
NO.	HEIGHT	WIDTH	LOCATION	DESCRIPTION	COMMENTS
D01	2100	1800	CORRIDOR	ALUMINIUM FRAME, SLIDING DOOR, CLEAR DOUBLE GLAZING	
D02	2100	1800	CORRIDOR	ALUMINIUM FRAME, SLIDING DOOR, CLEAR DOUBLE GLAZING	
D03	2100	3000	LOUNGE	ALUMINIUM FRAME, HINGED DOOR, CLEAR DOUBLE GLAZING	
D04	2100	3000	BED 5	ALUMINIUM FRAME, HINGED DOOR, CLEAR DOUBLE GLAZING	

INTERIOR DOOR SCHEDULE					
NO.	HEIGHT	WIDTH	LOCATION	DESCRIPTION	COMMENTS
D05	2040	820	CORRIDOR	TIMBER, HOLLOW CORE, INTERIOR GRADE	
D06	2040	820	BED 4	TIMBER, HOLLOW CORE, INTERIOR GRADE	
D07	2040	800	BATH 2	TIMBER, HOLLOW CORE, INTERIOR GRADE	CAVITY SLIDING DOOR
D08	2040	800	BATH 2	TIMBER, HOLLOW CORE, INTERIOR GRADE	CAVITY SLIDING DOOR
D09	2040	820	BED 5	TIMBER, HOLLOW CORE, INTERIOR GRADE	


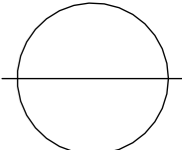
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 <p>LICENCE No. CC6621 0400 018 260 perri@perripitt.com</p>	PROJECT NO.: 25-015	SHEET NO.: DA06	STATUS: DEVELOPMENT APPROVAL	SHEET TITLE: SCHEDULES	SCALE: NOT TO SCALE															
	CLIENT: ANTHONY REID & KAREN MILLER				DRAWING INDEX															
	PROJECT: PROPOSED ADDITION 25 CADES DRIVE, KINGSTON, TAS 7050				SITE PLAN DA01 TREE PLAN DA09 PART SITE PLAN DA02 PROPOSED FLOOR PLAN DA03 PROPOSED ELEVATIONS 1 DA04 PROPOSED ELEVATIONS 2 DA05 SCHEDULES DA06 - SHEET REMOVED - SITE DRAINAGE PLAN DA08		<table border="1"> <thead> <tr> <th>REV.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUED TO CLIENT FOR REVIEW</td> <td>10/03/2026</td> </tr> <tr> <td>B</td> <td>OUTBUILDING REMOVED, SHEET DA09 ADDED (TREE PLAN)</td> <td>20/05/2026</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV.	DESCRIPTION	DATE	A	ISSUED TO CLIENT FOR REVIEW	10/03/2026	B	OUTBUILDING REMOVED, SHEET DA09 ADDED (TREE PLAN)	20/05/2026				
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SITE PREPARATION NOTES

ALL PREPARATION TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND THE NATIONAL CONSTRUCTION CODE INCLUDING HOWEVER NOT LIMITED TO:

- NCC 2022 BUILDING CODE OF AUSTRALIA - VOLUME TWO PART 4.2.3 EXCAVATION FOR FOOTINGS, NOTING THE FOLLOWING:

TOPSOIL CONTAINING GRASS ROOTS MUST BE REMOVED FROM THE SITE OF THE FOUNDATIONS. FOOTING EXCAVATIONS MUST BE FREE OF LOOSE EARTH, TREE ROOTS, MUD AND DEBRIS.

EXCAVATION DEPTHS AND SOIL CUTS MUST COMPLY WITH PART 3.2 EARTHWORKS.

PLUMBING AND DRAINAGE NOTES

ALL PLUMBING AND DRAINAGE MUST BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, THE NATIONAL CONSTRUCTION CODE AND LOCAL COUNCIL REQUIREMENTS.

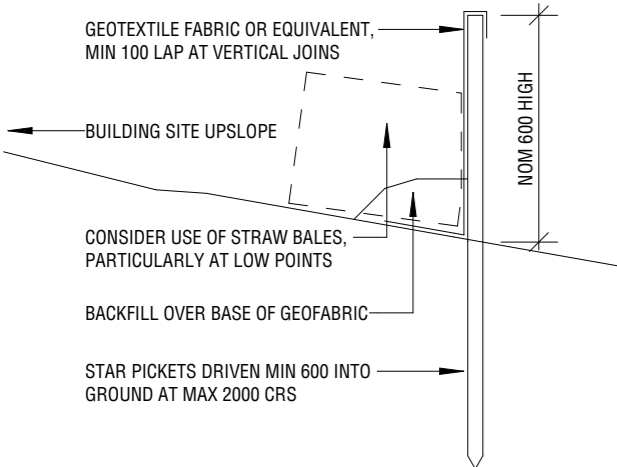
INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES

SOIL & WATER MANAGEMENT STRATEGIES

INSTALL SEDIMENT FENCE ON DOWNSLOPE OF ALL EXCAVATION AND MATERIAL STOCKPILES. SEDIMENT FENCE TO BE INSPECTED REGULARLY AND MAINTAINED DURING CONSTRUCTION. REMOVE UPON COMPLETION OF CONSTRUCTION, LANDSCAPING AND SITE REHABILITATION.

DOWNPIPES TO BE CONNECTED TO STORMWATER COLLECTION/DISCHARGE POINT AS SOON AS ROOF IS INSTALLED.

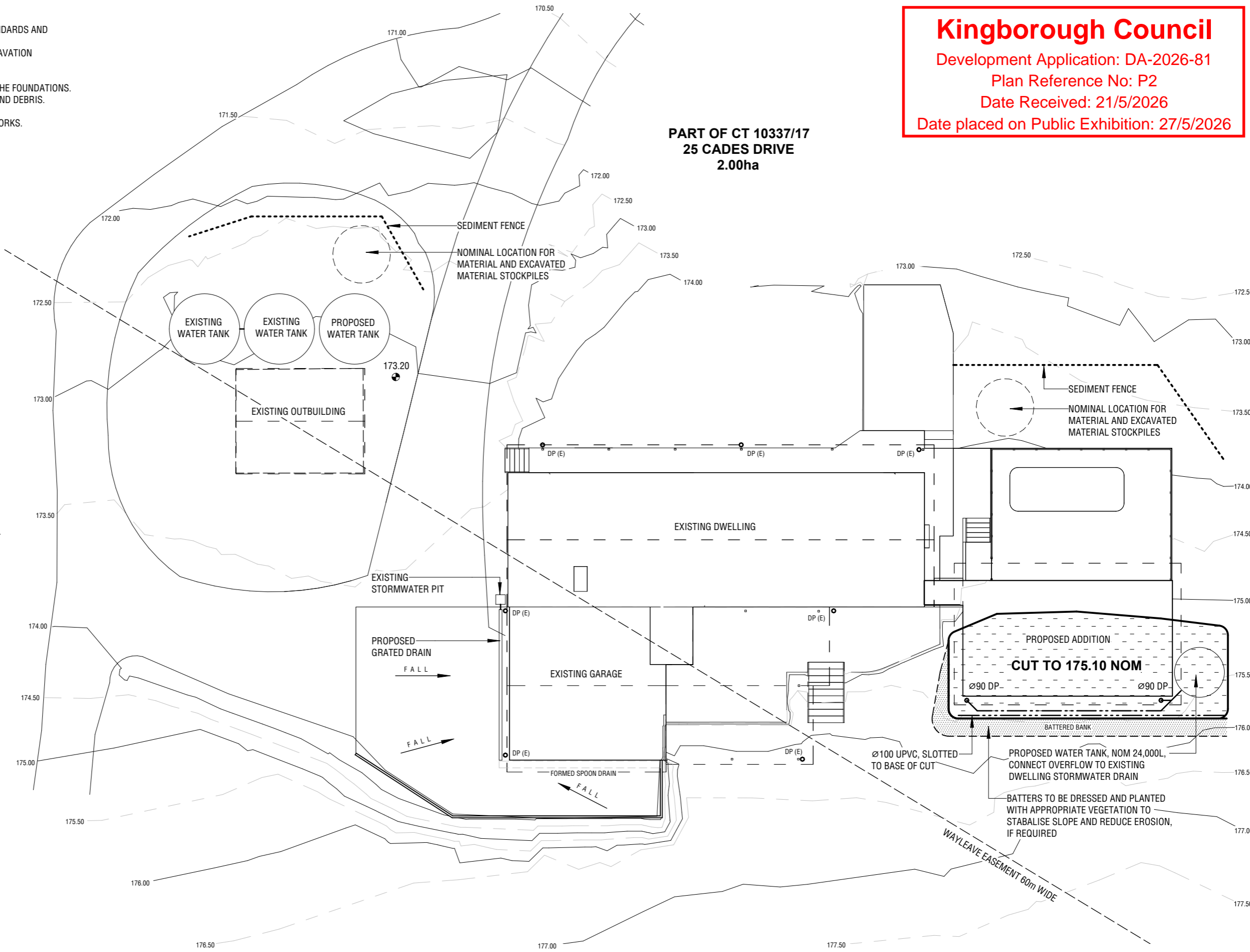
PERFORM SITE REHABILITATION (LANDSCAPING AND REVEGETATION) AS SOON AS POSSIBLE FOLLOWING CONSTRUCTION.



TYPICAL SEDIMENT FENCE DETAIL
NOT TO SCALE

LEGEND

DP	DOWNPIPE
---	STORMWATER LINE



Kingborough Council
Development Application: DA-2026-81
Plan Reference No: P2
Date Received: 21/5/2026
Date placed on Public Exhibition: 27/5/2026

PERRI PITT BUILDING DESIGNER
LICENCE No. CC6621
0400 018 260
perri@perripitt.com

PROJECT NO.: **25-015** SHEET NO.: **DA08** STATUS: **DEVELOPMENT APPROVAL**

CLIENT: **ANTHONY REID & KAREN MILLER**

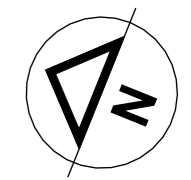
PROJECT: **PROPOSED ADDITION**
25 CADES DRIVE, KINGSTON, TAS 7050

SHEET TITLE: **SITE DRAINAGE PLAN**

DRAWING INDEX		
SITE PLAN	DA01	TREE PLAN
PART SITE PLAN	DA02	DA09
PROPOSED FLOOR PLAN	DA03	
PROPOSED ELEVATIONS 1	DA04	
PROPOSED ELEVATIONS 2	DA05	
SCHEDULES	DA06	
- SHEET REMOVED -		
SITE DRAINAGE PLAN	DA08	

SCALE: **1 : 200 AT A3**

REV.	DESCRIPTION	DATE
A	ISSUED TO COUNCIL FOR PLANNING PERMIT	10/03/2026
B	OUTBUILDING REMOVED, SHEET DA09 ADDED (TREE PLAN)	20/05/2026

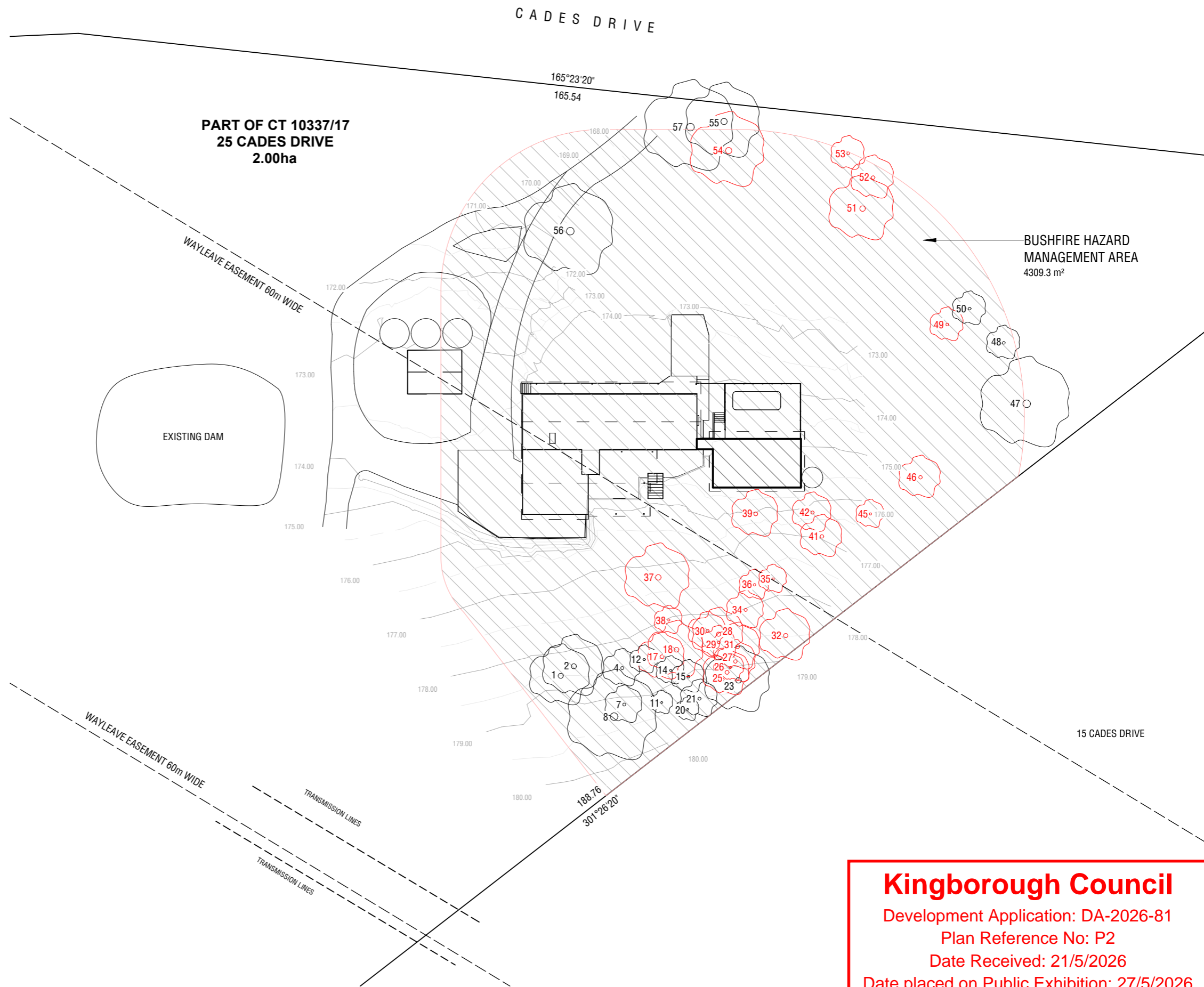


TREE PLAN NOTES

TREE PLAN AND TREE TABLE TO BE READ IN CONJUNCTION WITH '25 CADES DRIVE, KINGSTON: NATURAL VALUES DETERMINATION' PREPARED BY ENVIRONMENTAL CONSULTING OPTIONS TASMANIA, DATED 26 APRIL 2026

TREE TABLE

IDENTIFIER	SPECIES	CONSERVATION VALUE	SIZE (DBH)	ROOT ZONE	RETAIN OR REMOVE	JUSTIFICATION FOR REMOVAL
1	E. DAL-VIM	LOW	67cm	8.04m	RETAIN	N/A
2	E. DAL-VIM	LOW	63cm	7.56m	RETAIN	N/A
4	E. DAL-VIM	LOW	40cm	4.80m	RETAIN	N/A
7	E. DAL-VIM	LOW	42cm	5.04m	RETAIN	N/A
8	E. DAL-VIM	VERY HIGH	81cm	9.72m	RETAIN	N/A
11	E. DAL-VIM	LOW	26cm	3.12m	RETAIN	N/A
12	E. DAL-VIM	LOW	27cm	3.24m	RETAIN	N/A
14	E. OBL	LOW	32cm	4.08m	RETAIN	N/A
15	E. OBL	LOW	33cm	3.96m	RETAIN	N/A
17	E. OBL	LOW	48cm	5.76m	REMOVE	BHMA
18	E. OBL	LOW	63cm	7.56m	REMOVE	BHMA
20	E. DAL-VIM	LOW	26cm	3.12m	RETAIN	N/A
21	E. OBL	LOW	38cm	4.56m	RETAIN	N/A
23	E. DAL-VIM	LOW	65cm	7.80m	RETAIN	N/A
25	E. OBL	LOW	52cm	6.24m	REMOVE	BHMA
26	E. DAL-VIM	LOW	30cm	3.60m	REMOVE	BHMA
27	E. DAL-VIM	LOW	43cm	5.16m	REMOVE	BHMA
28	E. OBL	LOW	56cm	6.72m	REMOVE	BHMA
29	E. OBL	LOW	32cm	3.84m	REMOVE	BHMA
30	E. DAL-VIM	LOW	38cm	4.56m	REMOVE	BHMA
31	E. DAL-VIM	LOW	51cm	6.12m	REMOVE	BHMA
32	E. DAL-VIM	LOW	56cm	6.72m	REMOVE	BHMA
34	E. DAL-VIM	LOW	38cm	4.56m	REMOVE	BHMA
35	E. DAL-VIM	LOW	31cm	3.72m	REMOVE	BHMA
36	DEAD	LOW	32cm	3.84m	REMOVE	BHMA
37	E. DAL-VIM	LOW	69cm	8.28m	REMOVE	BHMA
38	E. DAL-VIM	LOW	30cm	3.60m	REMOVE	BHMA
39	E. PUL	LOW	52cm	6.24m	REMOVE	BHMA
41	E. OBL	LOW	44cm	5.28m	REMOVE	BHMA
42	E. DAL-VIM	LOW	42cm	5.04m	REMOVE	BHMA
45	E. CUP	LOW	30cm	3.60m	REMOVE	BHMA
46	E. DAL-VIM	LOW	43cm	5.16m	RETAIN	N/A
47	E. DAL-VIM	VERY HIGH	82cm	9.84m	RETAIN	N/A
48	E. DAL-VIM	LOW	36cm	4.32m	RETAIN	N/A
49	E. OBL	LOW	33cm	3.96m	REMOVE	BHMA
50	E. OBL	LOW	31cm	3.72m	RETAIN	N/A
51	DEAD	LOW	76cm	9.12m	REMOVE	BHMA
52	E. OBL	LOW	46cm	5.52m	REMOVE	BHMA
53	E. DAL-VIM	LOW	31cm	3.72m	REMOVE	BHMA
54	E. DAL-VIM	VERY HIGH	79cm	9.48m	REMOVE	SAFETY
55	E. DAL-VIM	VERY HIGH	78cm	9.36m	RETAIN	N/A
56	E. DAL-VIM	VERY HIGH	93cm	11.16m	RETAIN	N/A
57	E. DAL-VIM	VERY HIGH	95cm	11.40m	RETAIN	N/A



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 LICENCE No. CC6621
 0400 018 260
 perri@perripitt.com

PROJECT NO.: **25-015** SHEET NO.: **DA09** STATUS: **DEVELOPMENT APPROVAL**
 CLIENT: **ANTHONY REID & KAREN MILLER**
 PROJECT: **PROPOSED ADDITION 25 CADES DRIVE, KINGSTON, TAS 7050**

SHEET TITLE: **TREE PLAN**

DRAWING INDEX	
SITE PLAN	DA01
PART SITE PLAN	DA02
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PROPOSED ELEVATIONS 2	DA05
SCHEDULES	DA06
- SHEET REMOVED -	
SITE DRAINAGE PLAN	DA08

SCALE: **1 : 500 AT A3**

REV.	DESCRIPTION	DATE
A	ISSUED TO CLIENT FOR REVIEW	20/05/2026

