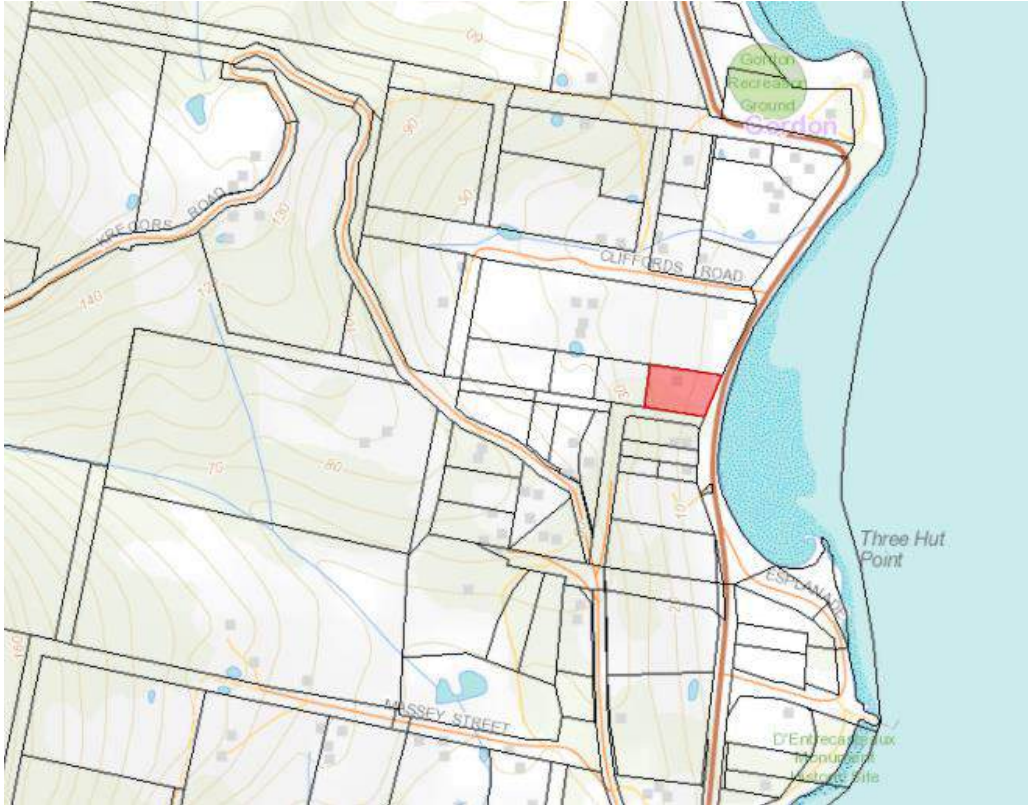


BUSHFIRE ASSESSMENT REPORT

For
T.L. Wilkie
Proposed Dwelling
4850 Channel Highway
Gordon 7150



Prepared by Gary Williams
Accreditation No BFP-109 (Category 2)
Scope of Work 1, 2 & 3A
7th January 2026 Our Ref 791A

G J WILLIAMS DRAFTING SERVICE

ABN 87 756 789 831

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VERSION CONTROL			
VERSION	DATE	AUTHOR	DESCRIPTION
1.0	7/1/2026	GJW	For issue

1.Executive Summary

This report has been prepared to assess any Bushfire risks associated with a proposed Dwelling (refer Appendix A) and to provide measures to achieve an acceptable residual risk for that building.

The proposed works are on a 4,183m² allotment in a low density residential area fronting onto Channel Highway at Gordon. (Refer Appendix B & D) The lot has an easterly aspect of around 10 degrees.

The site is assessed as being in a Bushfire-Prone Area as defined by the Director's Determination – Application of Requirements for Building in Bushfire-Prone Areas (transitional) version 1.4 and the Building Regulations.

The assessment is:

BAL-19 for all elevations.

This assessment is based on creating & maintaining a Hazard Management Area to at least the dimensions shown on the Bushfire Hazard Management Plan (BHMP). (Refer Appendix C)

The building works are to be compliant with the construction requirements of AS 3959, Building Regulations & the Director's Determination- Requirements for Building in Bushfire-prone Areas (transitional) Version 2.3 (Director's Determination).

A water supply for firefighting purposes is to be provided to comply with the Director's Determination including compliant fittings and signage. (Refer Appendix C)

Vehicular Access is to comply with the Director's Determination including a compliant hardstand and vehicle turning. (Refer Appendix C)

2.Introduction

Owner: T.L. Wilkie. (as per Certificate of Title)

This report has been prepared to provide an assessment of any bushfire risk issues associated with a proposed dwelling at **4850 Channel Highway, Gordon**. Review of LIST shows the proposal as being within a Bushfire-prone Area on the Kingborough Interim Planning Scheme 2015 (the Scheme) overlay. Therefore, as defined by Code E1.3 of the Scheme, the Building Regulations, and the Director of Building Control's Determination – "Application of Requirements for Buildings in Bushfire-Prone Areas", the proposed building works are within a Bushfire-prone Area. A site inspection was conducted on the 17th of December 2025.

3.Proposal

The proposal is for a three bedroom dwelling with a deck on the eastern side, a double Carport and a double Garage. There is an existing shed on site. (Refer Appendix A)

As the existing shed and proposed Garage are not within 6m of the proposed habitable building they have been excluded from this assessment.

4.Site Description

The property is the land contained within **Certificate of Title Volume 222240 Folio 1** which describes the land as being **Lot 1 (4,183m²) on Plan 222240** in the **Town of Gordon** and is zoned **Low Density Residential** under the **Kingborough Interim Planning Scheme 2015**. (Refer to Appendix D).

The lot fronts onto & sits up to the west of Channel Highway, being a fully constructed sealed road. The highway runs along the foreshore of D'Entrecasteaux Channel. The land has an easterly aspect of around 10 degrees but has been terraced with a large, levelled pad for the house site.

There is an existing gravel driveway to the levelled pad. The driveway is generally compliant with the Director's Determination but has two short sections that exceed the specified 10 degree gradient for gravel formation.

There is no TasWater reticulated water available for the site.

5. Bushfire Attack Level Assessment. (Refer to Appendix B & Appendix E for Photographs)

The BAL has been determined by using the simplified procedure described in Clause 2.2 (Method 1) of AS 3959:2018.

As per Table 2.1 AS 3959:2018 the relevant Fire Danger Index (FDI) for Tasmania is noted as 50 & thus Table 2.6 AS 3959:2018 applies for determining the Bushfire Attack Levels (BALs).

The vegetation has been classified as per AS 3959:2018 Table 2.3 and Figures 2.4 (A)-(H) The assessed vegetation is that out to the 100m offset.

Slopes of the ground beneath the bushfire-prone vegetation are measured perpendicular to the walls of the building.

Across to the **North** on LEVEL ground are sparse grasses to the boundary at 10m. From here on the adjoining property is Grassland vegetation to the 100m offset and then urban development.

To the **South** the land runs LEVEL with nil vegetation to the boundary at 28m. From here is some urban development but is not considered to be maintained in a minimal fuel condition.

There is an intrusion of bushfire-prone vegetation into the southwest quadrant on an up slope. To the **Southwest** the land is clear of vegetation to the 25m offset & then

shrubland to around the 50m offset. There is then a strip of forest consisting of tall eucalypts to 35m high with an understorey of native cherries and some bracken. This strip of forest is about 20m wide and then cleared land beyond. The bushfire-prone vegetation in this direction has been assessed as SHRUBLAND.

DOWN to the **East** the land has been terraced, including the non-vegetated area of the existing gravel driveway, with embankments of 18 degrees with sparse grasses. The non-vegetated area of Channel Highway sits at the 50m offset and then the large expanse of the waters of D’Entrecasteaux Channel. There are a few isolated poplar trees and a single row of tall eucalypts, with minimal lower branches, along the west side of the highway.

To the **West** is Grassland on an upslope. With consideration of the intrusion of the bushfire-prone vegetation into the southwest quadrant the classification of SHRUBLAND has been used for the assessment in this direction.

TABLE OF ASSESSMENT					
		NORTH	SOUTH	EAST	WEST
SLOPE		LEVEL	LEVEL	DN 18°	UP
VEGETATION CLASSIFICATION		GRASSLAND	SHRUBLAND	GRASSLAND	SHRUBLAND
HAZARD MANAGEMENT AREA REQUIRED (m)	BAL 19	10-<14	13-<19	17-<25	13-<19
	BAL 12.5	14-<50	19-<100	25-<50	19-<100
HAZARD MANAGEMENT AREA ACHIEVED (m)		10	15	20	15

From Table 2.6 AS 3959:2018, the BAL for the building work is **BAL-19 for all Elevations**

This assessment is based on a “hazard management area”, as defined by the Director’s Determination, being created & maintained to at least the dimensions shown on the Bushfire Hazard Management Plan (BHMP). (Refer Appendix C).

6. Required Bushfire Protection Measures.

All works are to comply with the Director’s Determination-Requirements for Building in Bushfire-Prone Areas (transitional) v2.3 available at www.cbos.tas.gov.au (Resources and tools>Building and trades forms, publications and reports>Building in Hazardous Areas Determinations)

6.1 Construction Requirements

AS 3959:2018 Construction of buildings in bushfire-prone areas provides for construction requirements for buildings.

Sections 3 and 6 provide for BAL-19

The building works are to be compliant with the construction requirements of AS 3959:2018 for BAL-19 and the Director's Determination, or higher.

The design plans must be verified as compliant by the Building Surveyor prior to the issue of the Certificate of Likely Compliance.

6.2 Property Access.

(Director's Determination- cl.4.2 & Table 4.2)

Vehicular Access to a water supply for firefighting is to be compliant with the Director's Determination including vehicle turning and a compliant hardstand. (Refer Appendix C - BHMP)

6.3 Firefighting Water Supply

(Director's Determination- cl.4.3 & Table 4.3B)

A water supply for firefighting purposes is to be provided to comply with the Director's Determination. (Refer BHMP Appendix C).

A clear pathway for a hose lay from the water access point to all parts of the buildings to be protected should be maintained at all times.

6.4 Hazard Management Area

A Hazard Management Area (HMA) is to be created & maintained all year round, for the life of the buildings to at least the dimensions shown on the Bushfire Hazard Management Plan. (Appendix C)

Also refer to Guide to Hazard Management Areas attached. (Refer Appendix C)

Some common maintenance includes:

- remove selected small trees to create clumps separated by open areas, rather than continuous strips of vegetation,
- prune shrubs & lower branches of trees to a height of at least 2m to separate the ground from any tree canopy
- minimize fine fuels at ground level (mow, slash & rake). Lawns should be maintained to a height of less than 100mm.
- remove any trees likely to fall or drop debris on the building (NB permits may be required)
- regular cleaning of roof gutters.

The creation of the HMA and maintenance is the responsibility of the developer and the owner at the time.

At the time of inspection there were no trees identified as needing to be removed or modified to achieve the assessed BAL-19.

All works (construction requirements, property access, firefighting water supply and the hazard management area) must be verified as compliant by the Building Surveyor prior to occupancy.

7. Additional recommendations.

It is highly recommended that consideration is given to preparing a “My Bushfire Plan” in accordance with Tasmania Fire Service guidelines available at www.fire.tas.gov.au (Publications>Bushfire safety>TFS Bushfire Safety Guide) or ph 1800 000 699.

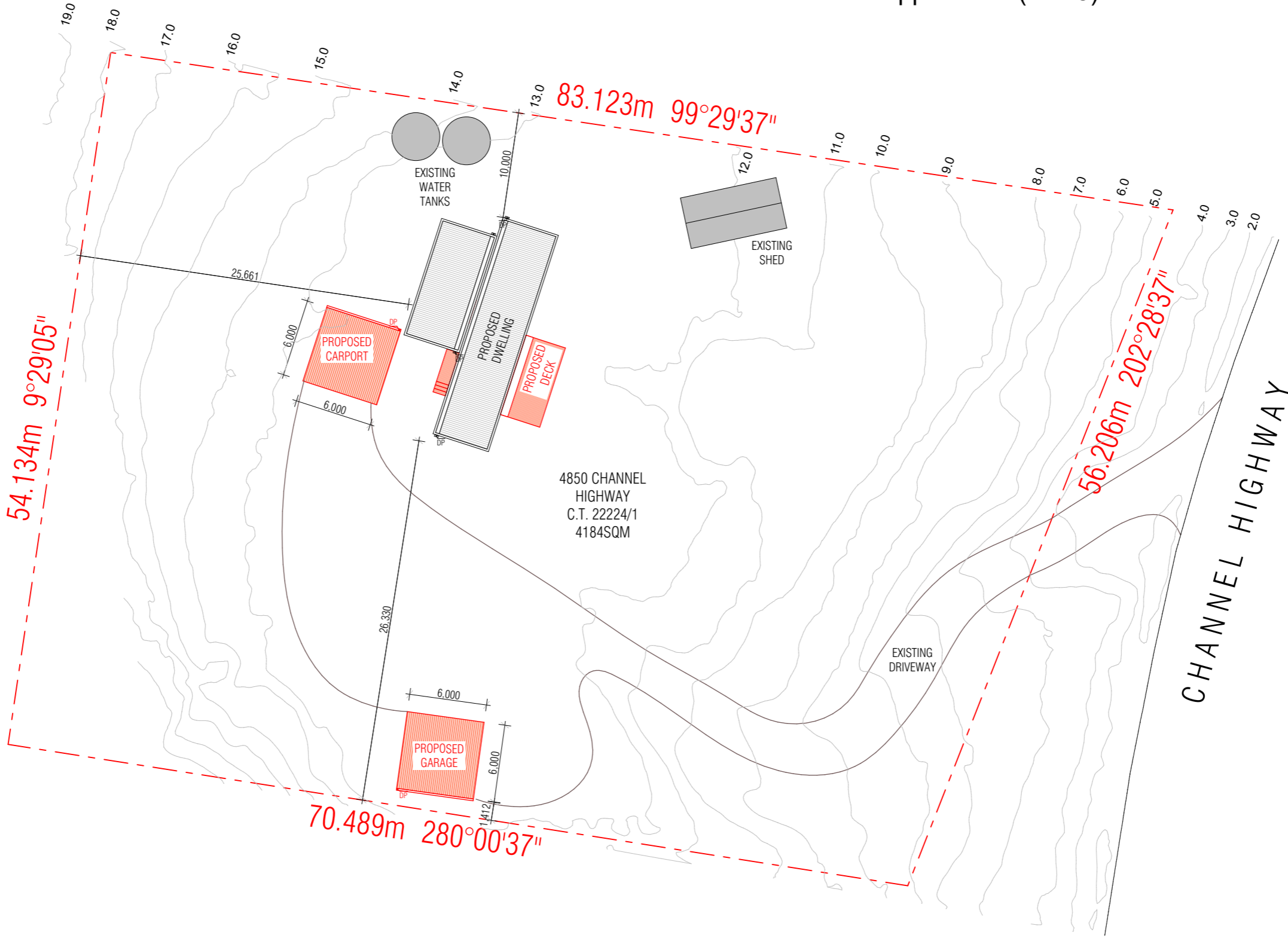
8.Disclaimer

This report deals solely with the potential bushfire risk. All other assessments, statutory or otherwise, are outside the scope of this report. All commentary within this report is to be interpreted in relation to the bushfire risk/mitigation only.

This report is based on the status of the vegetation and other criteria at the time the site inspection was undertaken and cannot be relied upon for any future or altered development. The impact of future development and vegetation growth has not been considered.

This report and recommendations are an attempt to reduce the potential damage or loss caused by a bushfire as per legislation and regulations current at this time. No responsibility can be accepted for any such damage or loss.

As per AS 3959, it should be noted that the acceptable standards against which this has been assessed cannot guarantee to prevent damage or loss from a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature & behavior of fire & extreme weather conditions.



SITE PLAN
1:350

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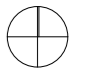
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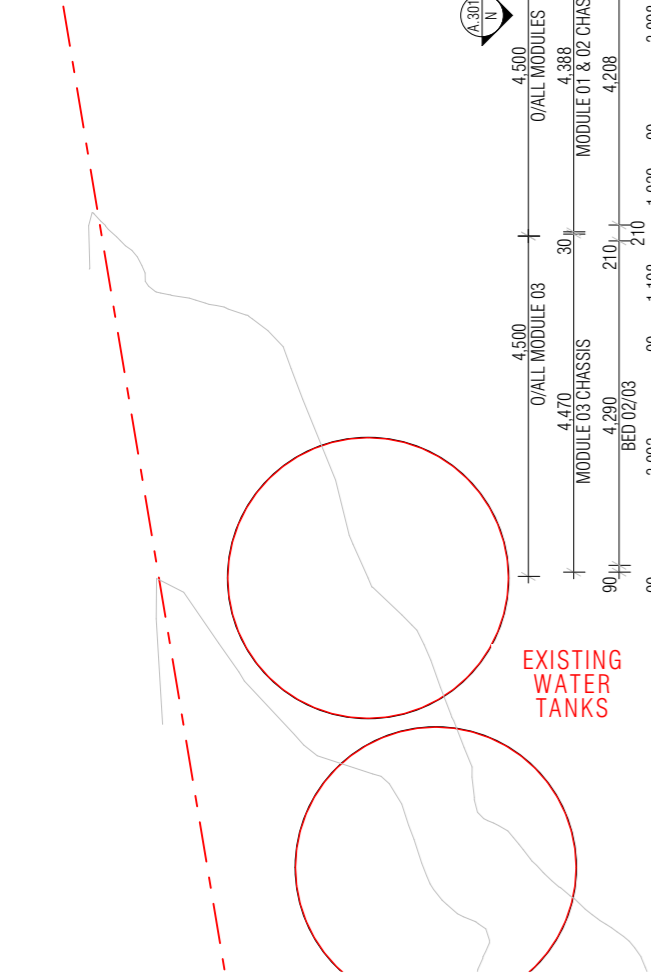
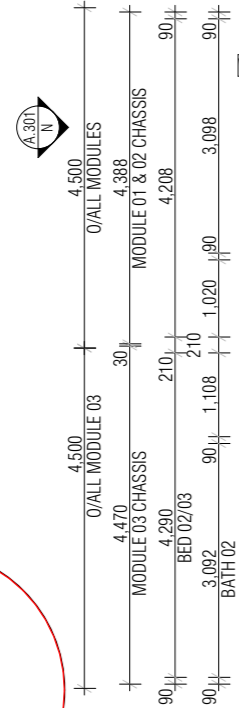
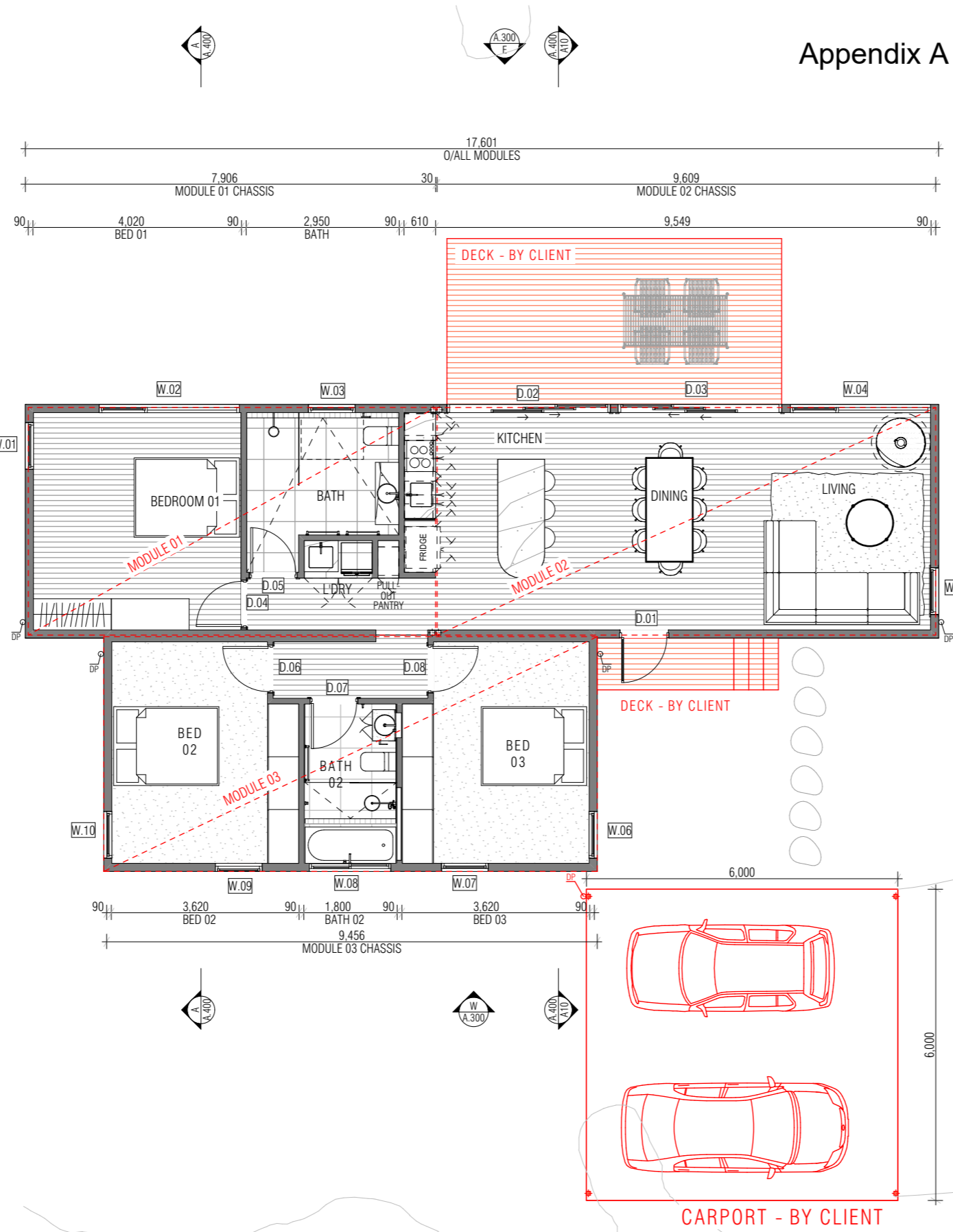
10 YORK STREET, RICHMOND, 3121, AUSTRALIA P. 0477 143 711
E. HELLO@ARKULAR.COM WWW.ARKULAR.COM

PROJECT
MCRAE WILKIE - GORDON
ADDRESS
4850 CHANNEL HIGHWAY GORDON 7150
FOR
GEORGIE MCRAE & TOM WILKIE

STAGE 4	
TITLE	PROPOSED SITE PLAN
SCALE	1:350@A3
DRAWN	GM
ORIGINAL ISSUE	6/01/2026
REVISION No.	P01



JOB No.
2535
DRAWING No.
A.100



FLOOR PLAN
1:100

AREAS	
SPACE	AREA (m ²)
DECK FRONT	26.46
DECK REAR	2.92
	29.38 m ²
MODULE 01	35.64
MODULE 02	43.56
MODULE 03	42.80
	122.00 m ²
	151.38 m ²

REVISION	ISSUE NAME	DATE	CHANGE ID	CHANGE NAME

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PROJECT
MCRAE WILKIE - GORDON

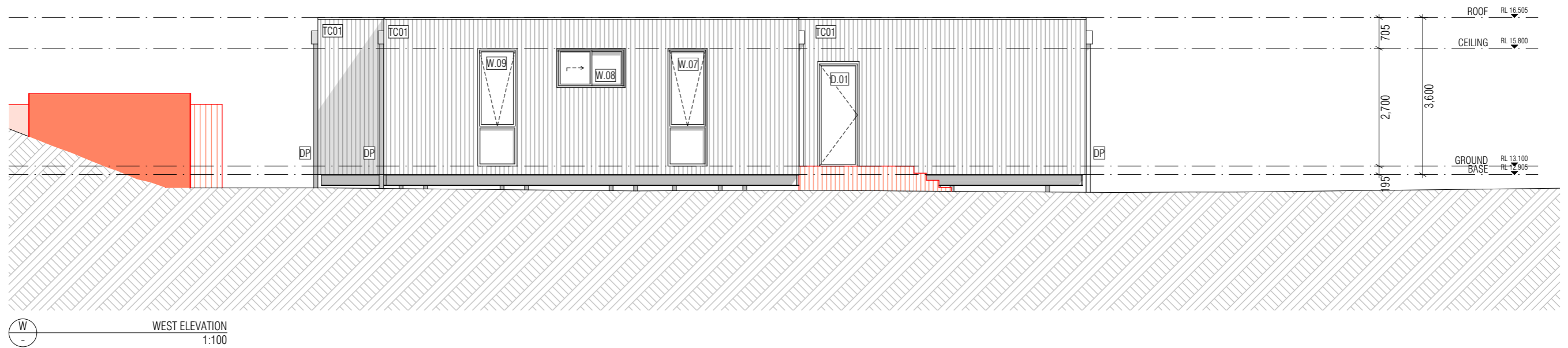
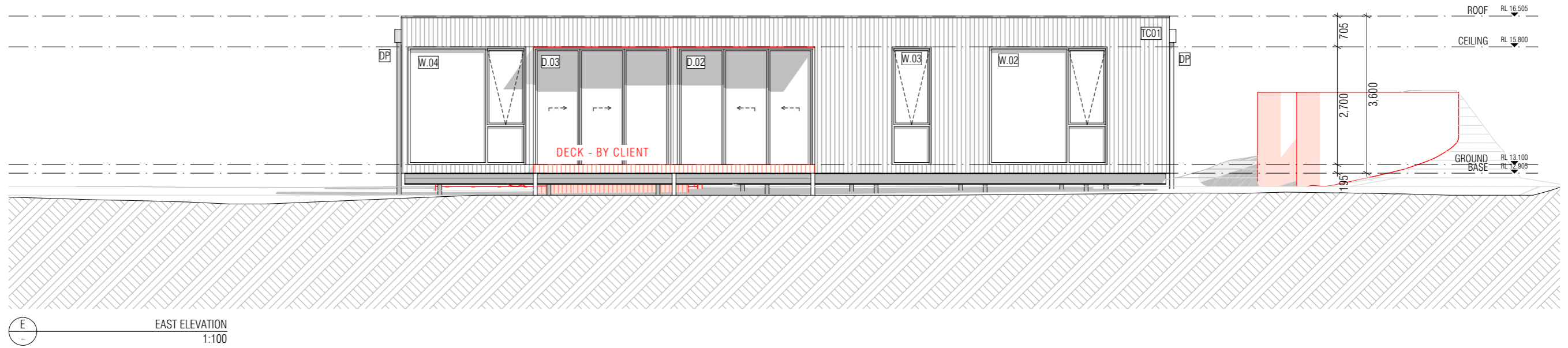
ADDRESS
4850 CHANNEL HIGHWAY GORDON 7150

FOR
GEORGIE MCRAE & TOM WILKIE

STAGE 4	
TITLE	PROPOSED GROUND FLOOR
SCALE	1:1, 1:100@A3
DRAWN	GM
ORIGINAL ISSUE	6/01/2026
REVISION No.	P01

JOB No.
2535
DRAWING No.
A.201

Appendix A (3 of 5)



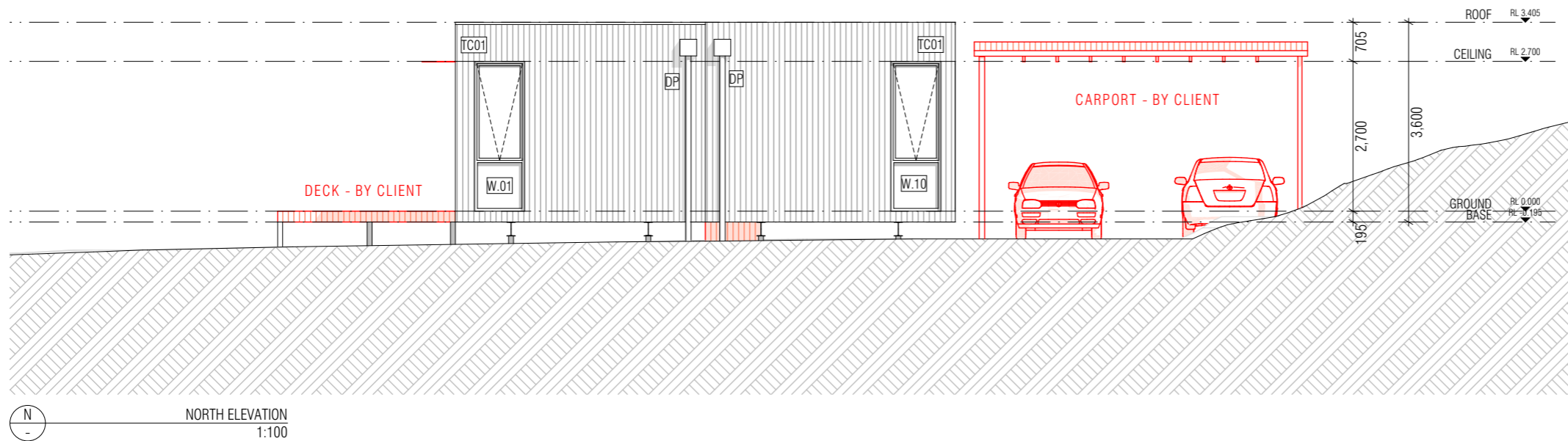
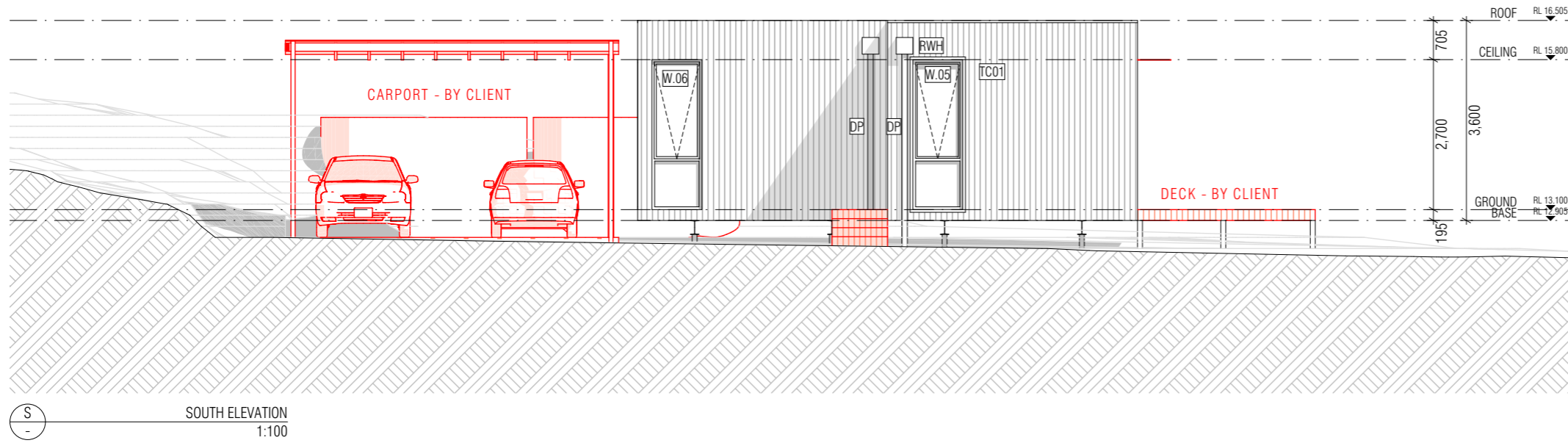
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PROJECT
MCRAE WILKIE - GORDON
ADDRESS
4850 CHANNEL HIGHWAY GORDON 7150
FOR
GEORGIE MCRAE & TOM WILKIE

STAGE 4		JOB No.
TITLE PROPOSED ELEVATIONS		2535
SCALE	1:100@A3	DRAWING No.
DRAWN	GM	A.300
ORIGINAL ISSUE	6/01/2026	
REVISION No.	P01	



REVISION	ISSUE NAME	DATE	CHANGE ID	CHANGE NAME

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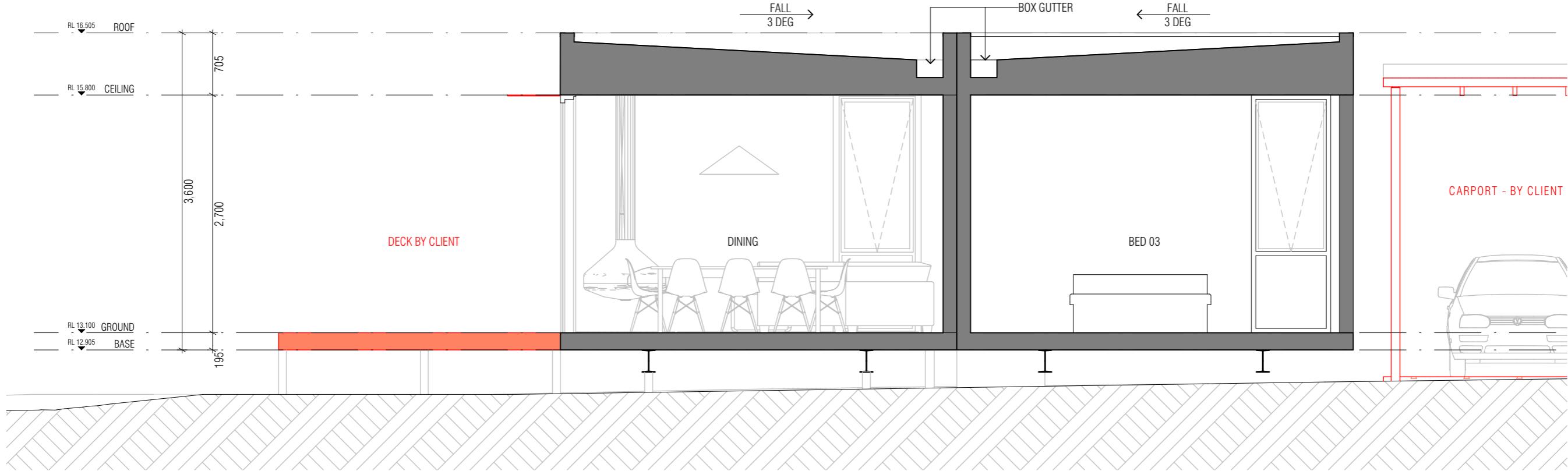
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PROJECT
MCRAE WILKIE - GORDON
ADDRESS
4850 CHANNEL HIGHWAY GORDON 7150
FOR
GEORGIE MCRAE & TOM WILKIE

STAGE 4		JOB No.
TITLE PROPOSED ELEVATIONS		2535
SCALE	1:100@A3	DRAWING No.
DRAWN	GM	A.301
ORIGINAL ISSUE	6/01/2026	
REVISION No.	P01	



SECTION AA
1:50



SECTION BB
1:50

REVISION	ISSUE NAME	DATE	CHANGE ID	CHANGE NAME

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PROJECT
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ADDRESS
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FOR
GEORGIE MCRAE & TOM WILKIE

STAGE 4	
TITLE	PROPOSED SECTIONS
SCALE	1:50@A3
DRAWN	GM
ORIGINAL ISSUE	6/01/2026
REVISION No.	P01

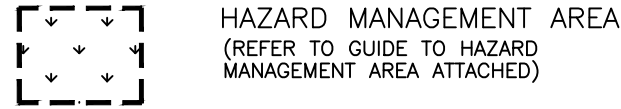
JOB No.
2535
DRAWING No.
A.400



SCHEDULE OF REQUIREMENTS FOR BAL-19

ALL WORKS ARE TO COMPLY WITH THE DIRECTOR'S DETERMINATION
 -"REQUIREMENTS FOR BUILDING IN BUSHFIRE-PRONE AREAS (TRANSITIONAL)"v2.3
 (DIRECTOR'S DETERMINATION)

AVAILABLE AT www.cbos.tas.gov.au (Resources and tools>Building and trade forms, publications and reports>Building in Hazardous Areas Determinations)



HAZARD MANAGEMENT AREA
 (REFER TO GUIDE TO HAZARD MANAGEMENT AREA ATTACHED)

THIS AREA TO BE CREATED & MAINTAINED TO, AT LEAST, THE DIMENSIONS SHOWN SO THAT IT IS KEPT IN A MINIMAL FUEL CONDITION.

CONSTRUCTION

TO COMPLY WITH THE PROVISIONS OF THE DIRECTOR'S DETERMINATION. HABITABLE BUILDINGS AND ASSOCIATED OUTBUILDINGS MUST BE DESIGNED & CONSTRUCTED TO COMPLY WITH AS 3959:2018 SECn 3 & SECn 6 FOR BAL-19 REQUIREMENTS. HOWEVER, NO SPECIFIC CONSTRUCTION REQUIREMENTS FOR OUTBUILDINGS MORE THAN 6m FROM A HABITABLE BUILDING OR IF FIRE SEPARATED PER AS 3959 cl. 3.2. HIGHER LEVELS OF CONSTRUCTION ARE ENCOURAGED.

VEHICULAR ACCESS

DIRECTOR'S DETERMINATION (cl.4.2 & TABLE 4.2)

TO BE TO WITHIN 90m FROM THE FURTHEST PART OF THE BUILDING AS A HOSE LAY.

THERE ARE NO SPECIFIC ACCESS REQUIREMENTS WHERE ACCESS LENGTH IS <30m or ACCESS IS NOT REQUIRED FOR A FIRE APPLIANCE TO ACCESS A FIREFIGHTING WATER POINT.

WHERE ≥30m, IN LENGTH or ACCESS IS FOR A FIRE APPLIANCE TO A FIREFIGHTING WATER POINT, ACCESS TO BE:

- ALL WEATHER CONSTRUCTION
- LOAD CAPACITY OF MIN. 20 TONNES, INCL BRIDGES & CULVERTS
- MIN. CARRIAGEWAY WIDTH OF 4m (TRAFFIC LANE WIDTH OF 3m + SHOULDER WIDTH OF 0.5m EA. SIDE)
- MIN. VERTICAL CLEARANCE OF 4m.
- MIN. HORIZONTAL CLEARANCE OF 0.5m FROM THE EDGE OF CARRIAGEWAY.
- MAX. CROSSFALL OF 5%
- DIPS MAX. OF 12.5% ENTRY & EXIT ANGLES.
- MIN. CURVE INNER RADIUS OF 10m.
- MAX. GRADIENT OF 15'/28% FOR SEALED & 10'/18% FOR UNSEALED &
- END WITH A TURNING AREA FOR FIRE APPLIANCES OF A MIN. 10m OUTER RADIUS TURNING CIRCLE, ACCESS ENCIRCLING THE BUILDING OR A "T" or "Y" TURNING HEAD 4m WIDE & 8m LONG.

WATER SUPPLY (for FIREFIGHTING)

DIRECTOR'S DETERMINATION. (cl. 4.3 & TABLE 4.3B)

THE FURTHEST PART OF THE BUILDING AREA TO BE PROTECTED MUST BE WITHIN 90m (HOSE LAY) OF A CONNECTION

TO A STORED WATER SUPPLY IN A TANK, SWIMMING POOL, DAM OR LAKE AVAILABLE FOR FIREFIGHTING PURPOSES AT ALL TIMES WHICH HAS A CAPACITY OF AT LEAST 10,000L FOR EACH HABITABLE BUILDING.

THIS 10,000L IS NOT TO BE USED FOR FIREFIGHTING SPRINKLER SYSTEMS. TANKS ARE TO BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTIBLE MATERIAL IF ABOVE GROUND UNLESS SHIELDED IN ALL DIRECTIONS PER SECn.3.5 AS 3959 WITH THE LOWEST 400mm EXTERIOR OF THE TANK PROTECTED BY METAL, NON-COMBUSTIBLE MATERIAL OR MIN. 6mm FIBRE-CEMENT.

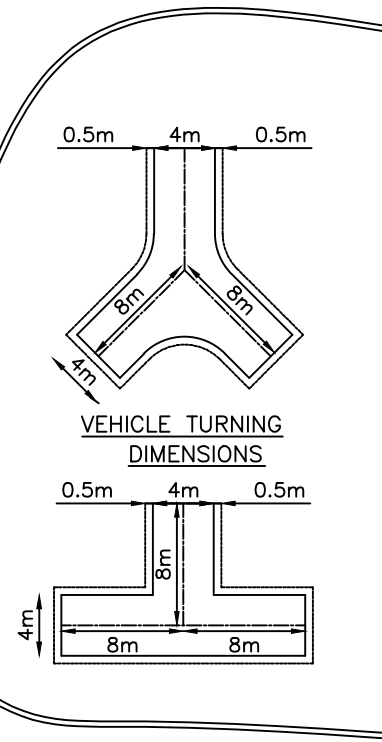
FITTINGS, PIPEWORK & ACCESSORIES, INC. STAND & SUPPORTS:

FITTINGS & PIPEWORK MUST BE BURIED TO A MIN. DEPTH OF 300mm PER 5.23 AS/NZS 3500.1 2003 OR BE METAL OR LAGGED WITH A NON-COMBUSTIBLE MATERIAL IF ABOVE GROUND, HAVE A MIN NOMINAL INTERNAL DIA. OF 50mm, BE FITTED WITH A VALVE OF MIN. INTERNAL DIA. OF 50mm & BE PROVIDED WITH A DIN or STANDARD FORGED STORZ 65 COUPLING WITH A SUCTION WASHER. THE COUPLING MUST BE ACCESSIBLE AT ALL TIMES & BE FITTED WITH A BLANK CAP & SECURING CHAIN OF MIN. 220mm LONG. ALTERNATIVELY, UNDERGROUND TANKS MAY HAVE AN OPENING IN THE TOP OF MIN 250mm DIA.

REMOTE OFFTAKES ARE TO BE VISIBLE, ACCESSIBLE, AT A HEIGHT OF 450-600mm ABOVE GROUND & BE PROTECTED FROM POSSIBLE DAMAGE. SIGNAGE FOR STATIC WATER CONNECTIONS ARE TO BE PERMANENTLY FIXED IN A VISIBLE LOCATION & COMPLIANT WITH: AS 2304-2011 Water storage tanks for fire protection systems; OR BE MARKED WITH THE LETTER "W", MIN 100mm HIGH IN UPPER CASE WITHIN A CIRCLE, BE OF FADE RESISTANT MATERIAL WITH WHITE REFLECTIVE "W" & CIRCLE ON A RED BACKGROUND. THE SIGN IS TO BE MIN. 400mm HIGH, WITHIN 1m OF THE CONNECTION & NOT IMPEDE ACCESS OR OPERATION. IT IS PREFERABLE THAT REMOTE OFFTAKES BE FROM A CHARGED LINE.

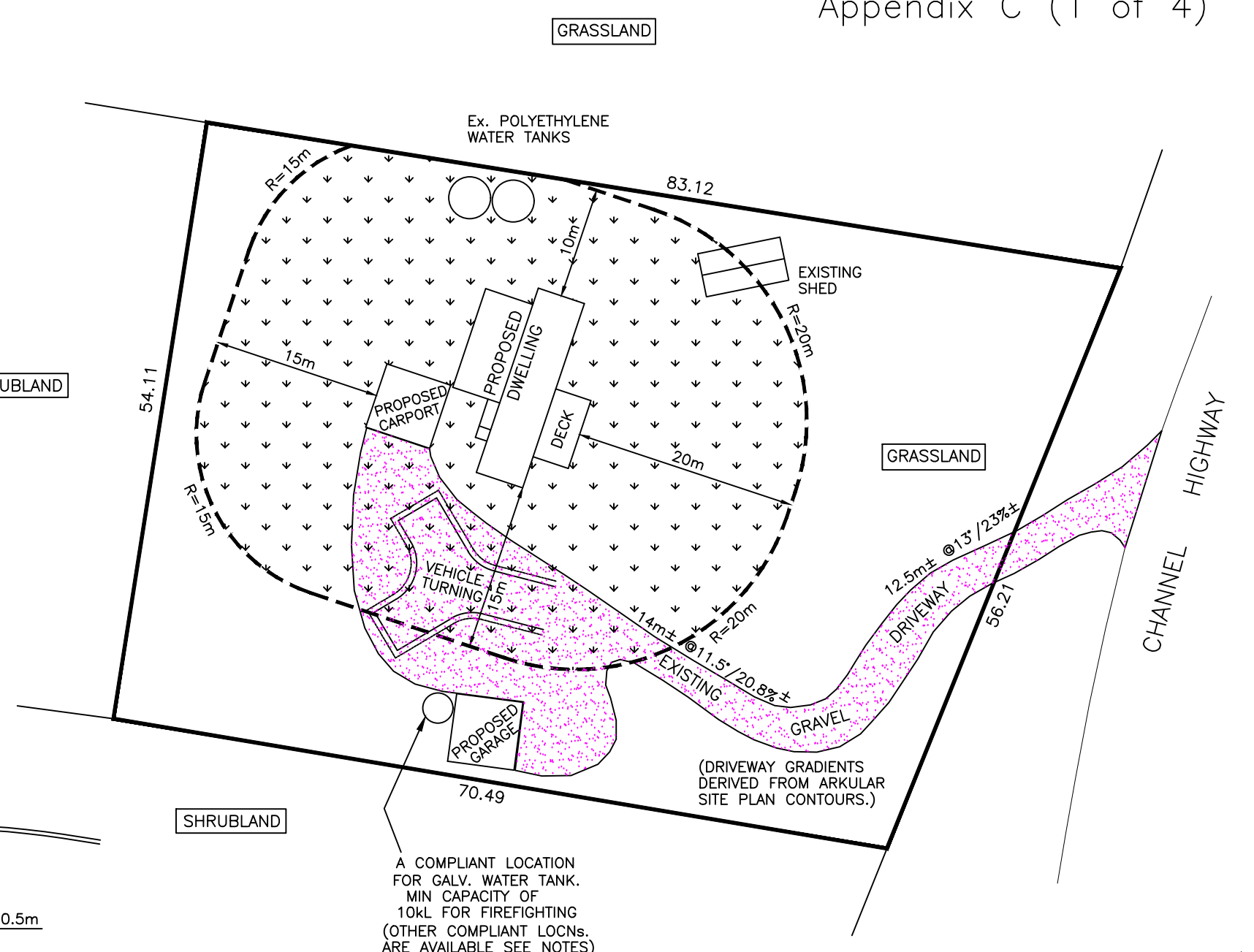
A CLEAR PATHWAY FOR THE HOSE LAY FROM THE WATER CONNECTION POINT TO ALL PARTS OF THE BUILDING TO BE PROTECTED IS TO BE MAINTAINED AT ALL TIMES.

A HARDSTAND AREA FOR FIRE APPLIANCES OF MIN 3m WIDE, 6m LONG OF THE STANDARD OF, & CONNECTED TO THE ACCESS CARRIAGEWAY IS TO BE PROVIDED. IT IS TO BE MAX. 3m HOSE LAY FROM THE WATER CONNECTION, INCLUDING THE MINIMUM LEVEL OF DAMS, SWIMMING POOLS ETC. & MIN. 6m FROM THE BUILDING AREA TO BE PROTECTED.



TO BE READ IN CONJUNCTION WITH
 BUSHFIRE ASSESSMENT REPORT
 BY G J WILLIAMS DRAFTING SERVICE
 DATED 7th JANUARY 2026 REF. No 791A

THIS FORMS AN INTEGRAL PART OF THE BUILDING APPROVAL DOCUMENTATION. ENSURE ALL RELEVANT CONSULTANTS & CONTRACTORS ARE PROVIDED WITH A COPY OF THIS PLAN & SUPPORTING REPORT.



A COMPLIANT LOCATION FOR GALV. WATER TANK. MIN CAPACITY OF 10KL FOR FIREFIGHTING (OTHER COMPLIANT LOCNs. ARE AVAILABLE SEE NOTES)

(DRIVEWAY GRADIENTS DERIVED FROM ARKULAR SITE PLAN CONTOURS.)

LOT 1
 P222240
 4183m²
 CT 222240-1
 PID 5779009
BAL-19

BUSHFIRE HAZARD MANAGEMENT PLAN

G. J. WILLIAMS DRAFTING SERVICE	
ARCHITECTURAL, SURVEY & GENERAL DRAFTING BUILDING DESIGNER & BUSHFIRE HAZARD PRACTITIONER Gary Williams - Accreditation No.1110E & BFP-109	
995 PELVERATA RD. PELVERATA. 7150 MOBILE 0428 396 159	gjwdrafting@outlook.com.au ABN: 87 756 789 831
PROPOSED DWELLING FOR T.L. WILKIE 4850 CHANNEL HIGHWAY GORDON	DRAWING No: 791A-1 DATE: 7 JANUARY 2026 SCALE: @A3 1:500

ALTHOUGH A COMPLIANT WATER SUPPLY FOR FIREFIGHTING, VEHICLE HARDSTAND AREA AND VEHICLE TURNING LOCATIONS HAVE BEEN SHOWN, OTHER LOCATIONS & CONFIGURATIONS MAY BE AVAILABLE FOR COMPLIANCE. (REFER TO SCHEDULE OF REQUIREMENTS) ANY ALTERNATIVE ARRANGEMENT MUST BE CHECKED WITH THE BUILDING SURVEYOR BEFORE PROCEEDING.

GUIDE TO HAZARD MANAGEMENT AREA (HMA)

(THIS IS AN INTEGRAL PART OF THE BUILDING PERMIT DOCUMENTATION)

As per the Directors determination titled "Determination – Requirements for Building in Bushfire-Prone Areas", the HMA

"means the area, between a habitable building or building area and bushfire-prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire."

It is to provide a defensible space for the building from bushfires.

The potential outcome is to reduce the amount of sparks and embers reaching the building, reduce radiant heat and protect from direct flame attack.

The creation and maintenance of a HMA does not necessarily require the total removal of or lack of vegetation.

The HMA may be considered as two zones, being a Building Protection Zone (BPZ) and a Fuel Modified Buffer Zone (FMBZ).

The BPZ is that adjacent to the building that has little or no material available to burn. This can be achieved by non-flammable areas such as paths, driveways and low cropped lawns. It may include dams, vegetable gardens, wastewater treatment system (eg septic tank) effluent disposal areas plus radiant heat shields, ember traps and windbreaks such as masonry/stone walls or non-combustible fences.

Fire hazards such as wood/rubbish heaps and stored fuel should be removed from this area. Regular cleaning of roof gutters is required (installation of no-combustible leaf gutter guards should be considered).

A non-combustible perimeter path around the building should be considered. Avoid planting shrubs against the building walls and decks or near windows and glass doors. Avoid high flammability plants and consider low-flammability plants (refer Tasmania Fire Service www.fire.tas.gov.au or phone 1800 000 699).

The FMBZ, still being part of the HMA, is an area further out from the building than the BPZ and is such that fine fuels are removed and larger fuels are strategically modified to reduce the intensity of an approaching bushfire.

This can potentially be achieved by separation of vegetation, both vertically and horizontally. Clumps of vegetation should be separated by open areas with minimal ground litter and fine fuels, rather than a continuous wall.

Appendix 'C' (3 of 4)

Trees should be such that there are areas of separation between the crowns. Retaining established trees can trap embers and reduce wind speed. Also create vertical separation by removing fine fuels between the ground and the tree canopy to at least 2 metres by pruning lower branches and shrubs and minimise ground litter.

Trees with smooth bark are less likely to catch fire and allow the fire to travel up the trunk to the canopy.

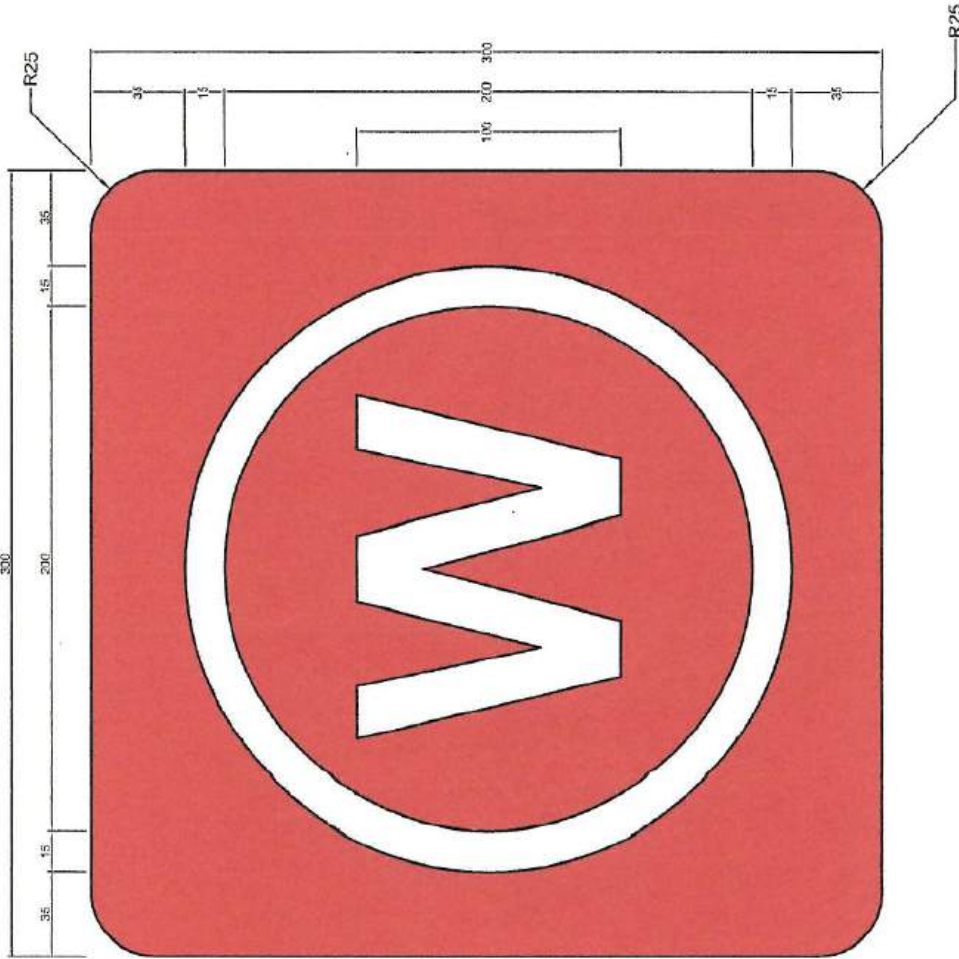
Consideration should be given to the removal of trees that are likely to fall or drop debris on the building. (Permits may be required. Check with the local authority before proceeding). The FMBZ can include low cropped grass and cultivated areas such as orchard, vineyards etc. Lawns should be maintained to a height less than 100mm.

The slope of the land of the HMA (being the BPZ and FMBZ) has a bearing on its design and layout as fire tends to travel faster up slopes.

Consideration should also be given to the location of Class 10 buildings (non-habitable buildings such as sheds, detached garages and carports etc). These need to be positioned at an absolute minimum of 6 m from the habitable building unless built to the same assessed Bushfire Attack Level (BAL) construction requirements as that of the habitable building as prescribed in AS 3959. The HMA/BPZ may need to be extended accordingly.

The HMA should be created and maintained all year round for the life of the development. This is the responsibility of the developer/owner at the time.

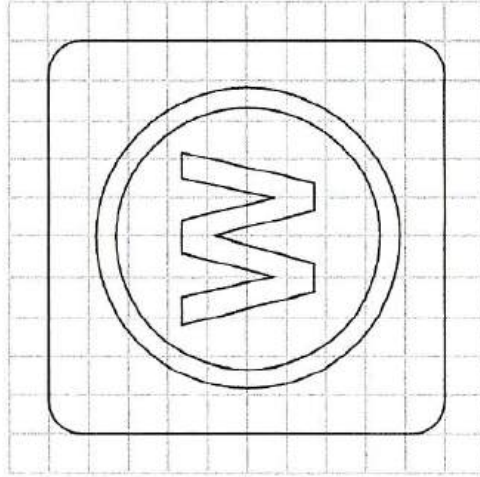
Further information may be obtained from Tasmania Fire Service (TFS) at www.fire.tas.gov.au or ph 1800 000 699.



OVERALL SIGN DIMENSIONS (mm): 300 x 300, +/- 5
SURFACE AREA OF SIGN (sq m) : 0.0895

LEGEND COLOUR: WHITE (N14) IN ACCORDANCE WITH AS2700,
WITH A RETROREFLECTIVE SURFACE FINISH
BACKGROUND COLOUR: SIGNAL RED (R13) IN ACCORDANCE WITH AS2700

FOR SIGN FIXING AND LOCATION REQUIREMENTS, REFER TO
TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES
FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL
REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



GRID MODULE X = 30mm Y = 30mm

ISSUE	APPRD	DATE	AMENDMENT	NOTES	FILE	BPP	DWG NO.	TFS-WS01	SCALE
A				NOTES - all dimensions are in mm - written dimensions take precedence over scaled measurements	TITLE				1/2
B					TASMANIA FIRE SERVICE				
C					WATER SUPPLY SIGN				
D									
				DRWN	WH	APPRD	CC	DATE	2/2/2017



Tasmania Fire Service

Appendix D (1 of 2)

SEARCH OF TORRENS TITLE

VOLUME 222240	FOLIO 1
EDITION 7	DATE OF ISSUE 31-May-2025

SEARCH DATE : 19-Dec-2025

SEARCH TIME : 12.54 pm

DESCRIPTION OF LAND

Town of GORDON

Lot 1 on Plan [222240](#)

Derivation : Whole of Lot 1 Sec. C. - Gtd. to H. Douglas.

Prior CT [2762/74](#)

SCHEDULE 1

[N234566](#) TRANSFER to THOMAS LOUIS WILKIE Registered
31-May-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[E403819](#) MORTGAGE to Bendigo and Adelaide Bank Limited
Registered 31-May-2025 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book
Vol. Fol.

2762 74

Cert. of Title Vol. 448 Fol. 37.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

M. J. ...

Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF GORDON
ONE ACRE FIVE PERCHES AND FOUR TENTHS OF A PERCH on the Plan
hereon

FIRST SCHEDULE (continued overleaf)

REX DOUGLAS NICHOLS of Howrah, Public Servant

SECOND SCHEDULE (continued overleaf)
NIL

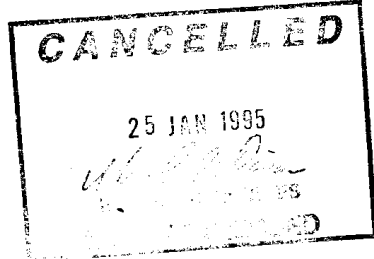
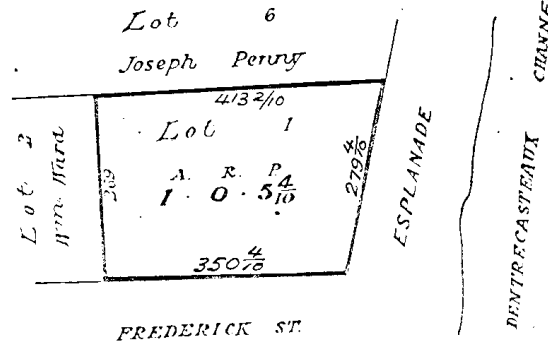
W. Ayle

RECORDED OF TITLES ARE NO LONGER SUBSISTING.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

REGISTERED NUMBER

222240



Whole of Lot 1 Sec. C. Gtd. to H. Douglas Meas. in Links.

FIRST EDITION Registered 18 AUG 1970

Derived from C.T. Vol. 448 Fol. 37. Transfer A200150-N.L. Catchorn

Looking North



Property to the South



Property to the South



Property to the South



Looking East



Driveway and view to the East



Looking West



Vegetation to the West



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: (description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

Bushfire Hazard Management Plan by G.J. Williams Drafting Service dated 7th January 2026

Relevant calculations:

AS 3959:2018 – Method 1 BAL Assessment

References:

Building Regulations 2014/2016,
AS 3959:2018 Construction of Buildings in Bushfire-prone Areas
Director's Determination – Requirements for Building In Bushfire-Prone Areas (transitional) v2.3 & National Construction Code H7D4.

Substance of Certificate: (what it is that is being certified)

The proposed building work – if designed & constructed in accordance with the Bushfire Hazard Management Plan referred to in this certificate, will comply with the acceptable Deemed-to-Satisfy requirements of the Director's Determination – Requirements for Building in Bushfire-Prone Areas (transitional) v2.3.
The applicable Bushfire Attack Level (BAL) determined using AS 3959:2018 for design & construction is – BAL-19

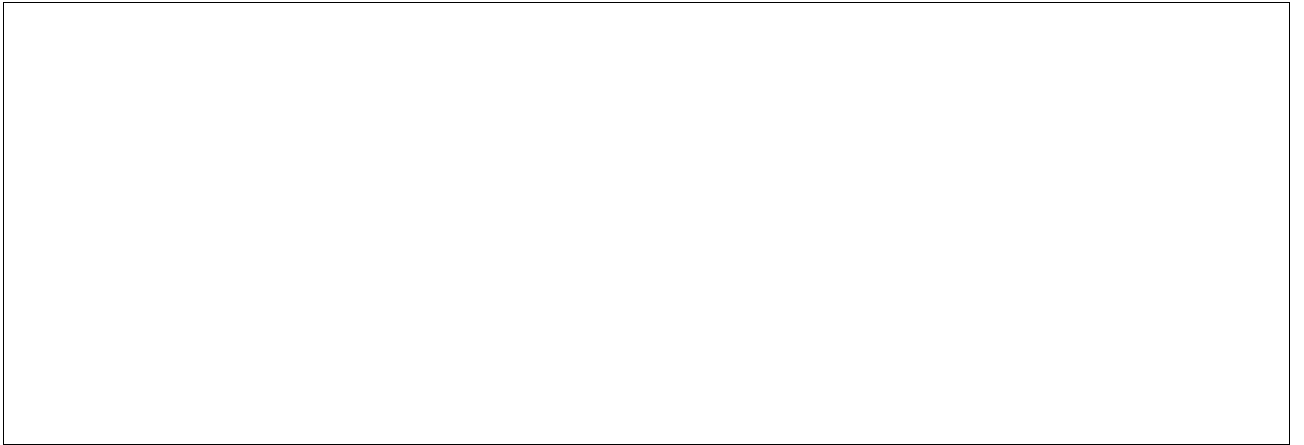
Scope and/or Limitations

1. The scope of this certification is limited to compliance with the requirements of the Director's Determination- Requirements for Building in Bushfire-Prone Areas (transitional) v2.3.
2. The effectiveness of the measures prescribed in the bushfire hazard management plan and supporting report are dependant of their correct implementation and maintenance for the life of the development.
3. No guarantee can be provided that the building work will survive every bushfire event.

The assessment only deals with the potential bushfire risk. All other assessments, statutory or otherwise are outside the scope of this evaluation.

The assessment is relevant at the time it was undertaken and cannot be relied upon for future development.

Impacts of land rezoning, future development & vegetation growth have not been considered.



I certify the matters described in this certificate.

Qualified person: *Signed:* *791A* *Date:* *7/1/2026*