

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-139
Proposal: Dwelling
Subject Site: 13 Coop Court, Kingston
Responsible Planning Officer: Cassinia Devries

Advertised Documents:

- Application Plans
- Bushfire Hazard Assessment
- Landslide Risk Assessment

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

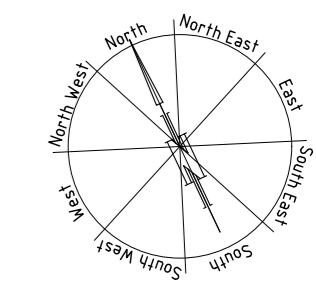
Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **15 June 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



CONTENTS:

- 1 Site Plan
- 2 Lower Level Plan
- 3 Upper Level Plan
- 4 Elevations
- 5 Elevations
- 6 Lower Level Reflected Ceiling Plan
- 7 Upper Level Reflected Ceiling Plan
- 8 Glazing Schedule
- 9 Door Schedule
- 10 Concept Plumbing Plan
- 11 Plumbing Notes
- 12 Plumbing Details



Code overlays:
 General residential zone
 Bushfire prone area
 Landslide hazard area
 Biodiversity protection area

BAL-19 see report by D Lyne
 HMA to entire site
 Landslide Risk Assessment by GES
 Natural Values Assessment by EcoTas

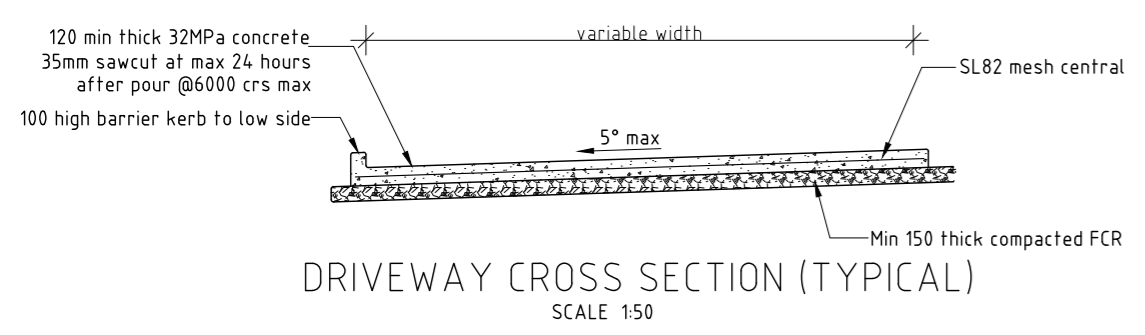
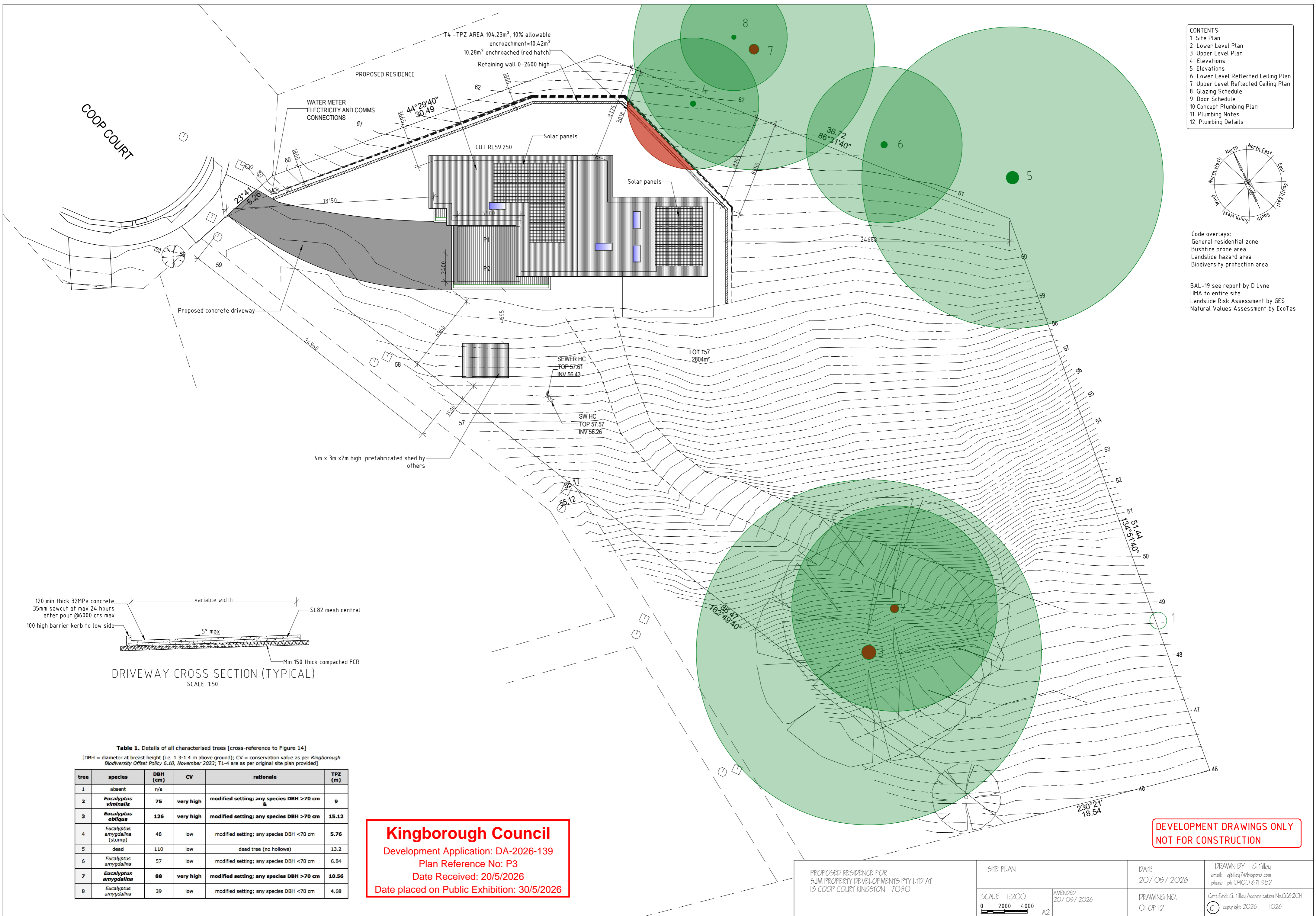


Table 1. Details of all characterised trees [cross-reference to Figure 14]
 [DBH = diameter at breast height (i.e. 1.3-1.4 m above ground); CV = conservation value as per Kingborough Biodiversity Offset Policy 6.10, November 2023; T1-4 are as per original site plan provided]

tree	species	DBH (cm)	CV	rationale	TPZ (m)
1	absent	n/a			
2	<i>Eucalyptus viminalis</i>	75	very high	modified setting; any species DBH >70 cm &	9
3	<i>Eucalyptus obliqua</i>	126	very high	modified setting; any species DBH >70 cm	15.12
4	<i>Eucalyptus amygdalina</i> (stump)	48	low	modified setting; any species DBH <70 cm	5.76
5	dead	110	low	dead tree (no hollows)	13.2
6	<i>Eucalyptus amygdalina</i>	57	low	modified setting; any species DBH <70 cm	6.84
7	<i>Eucalyptus amygdalina</i>	88	very high	modified setting; any species DBH >70 cm	10.56
8	<i>Eucalyptus amygdalina</i>	39	low	modified setting; any species DBH <70 cm	4.68

Kingborough Council
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 Plan Reference No: P3
 Date Received: 20/5/2026
 Date placed on Public Exhibition: 30/5/2026

**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE FOR
 SJM PROPERTY DEVELOPMENTS PTY LTD AT
 13 COOP COURT KINGSTON 7050

SITE PLAN

SCALE 1:200
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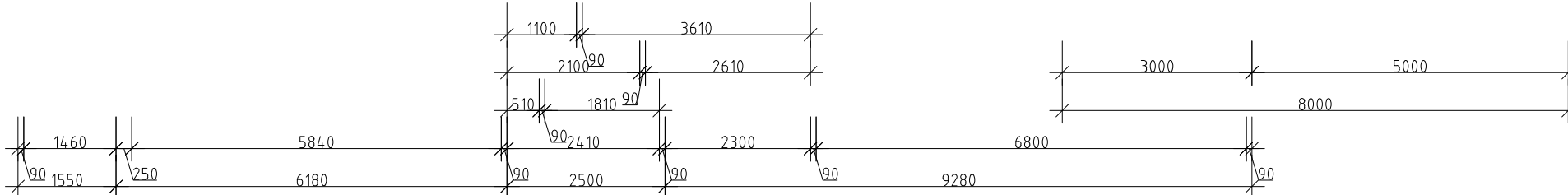
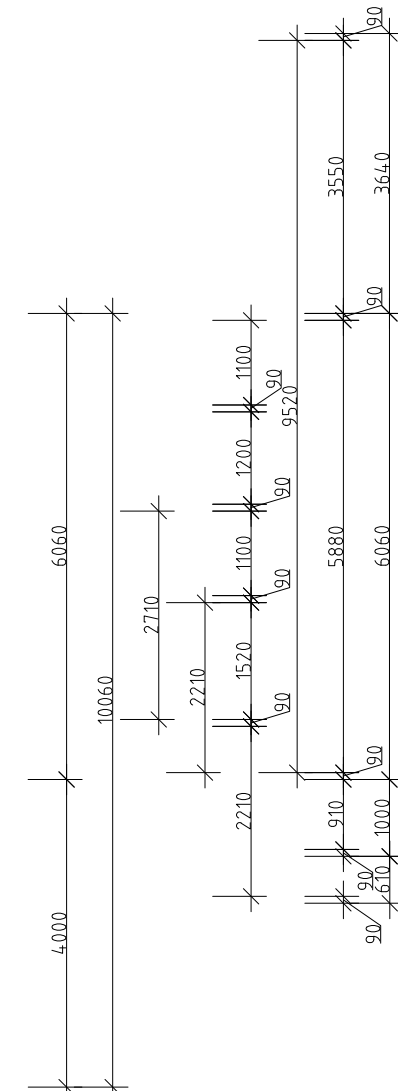
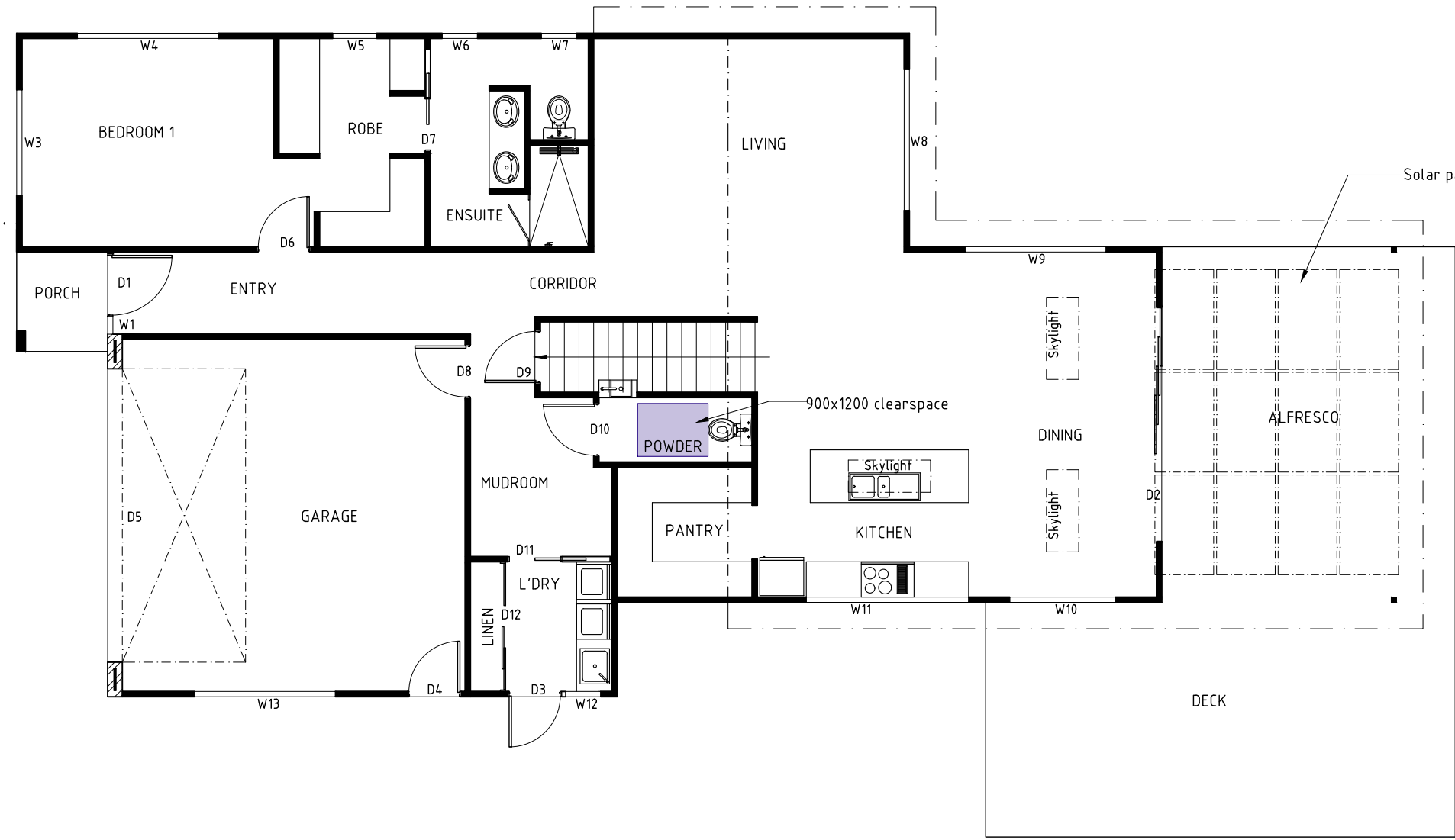
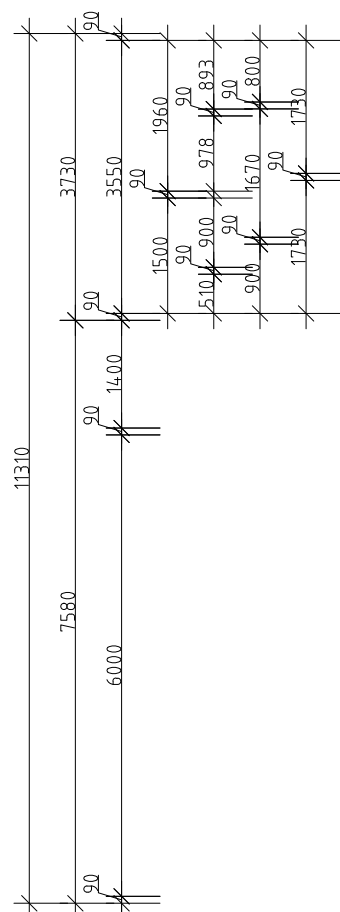
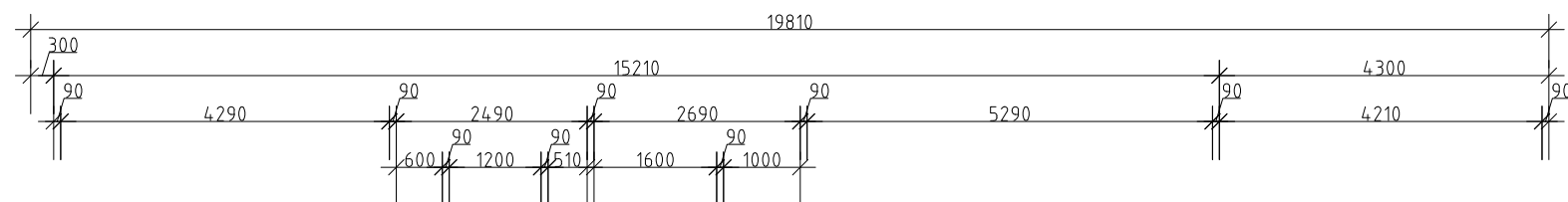
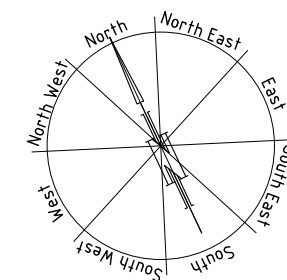
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 20/05/2026

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DRAWN BY G Tilley
 email: gtilley7@bigpond.com
 phone: ph 0400 671 982

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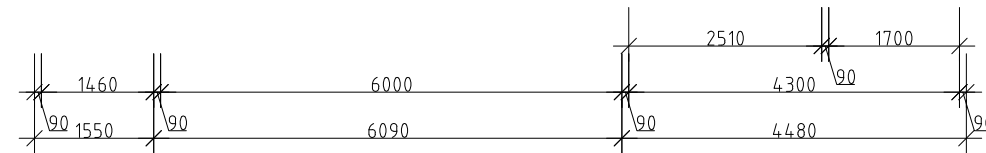
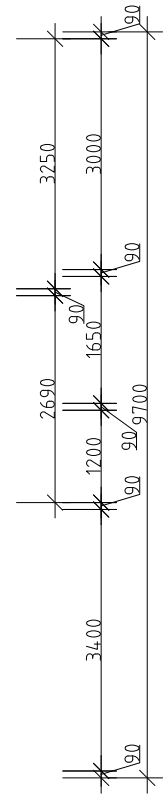
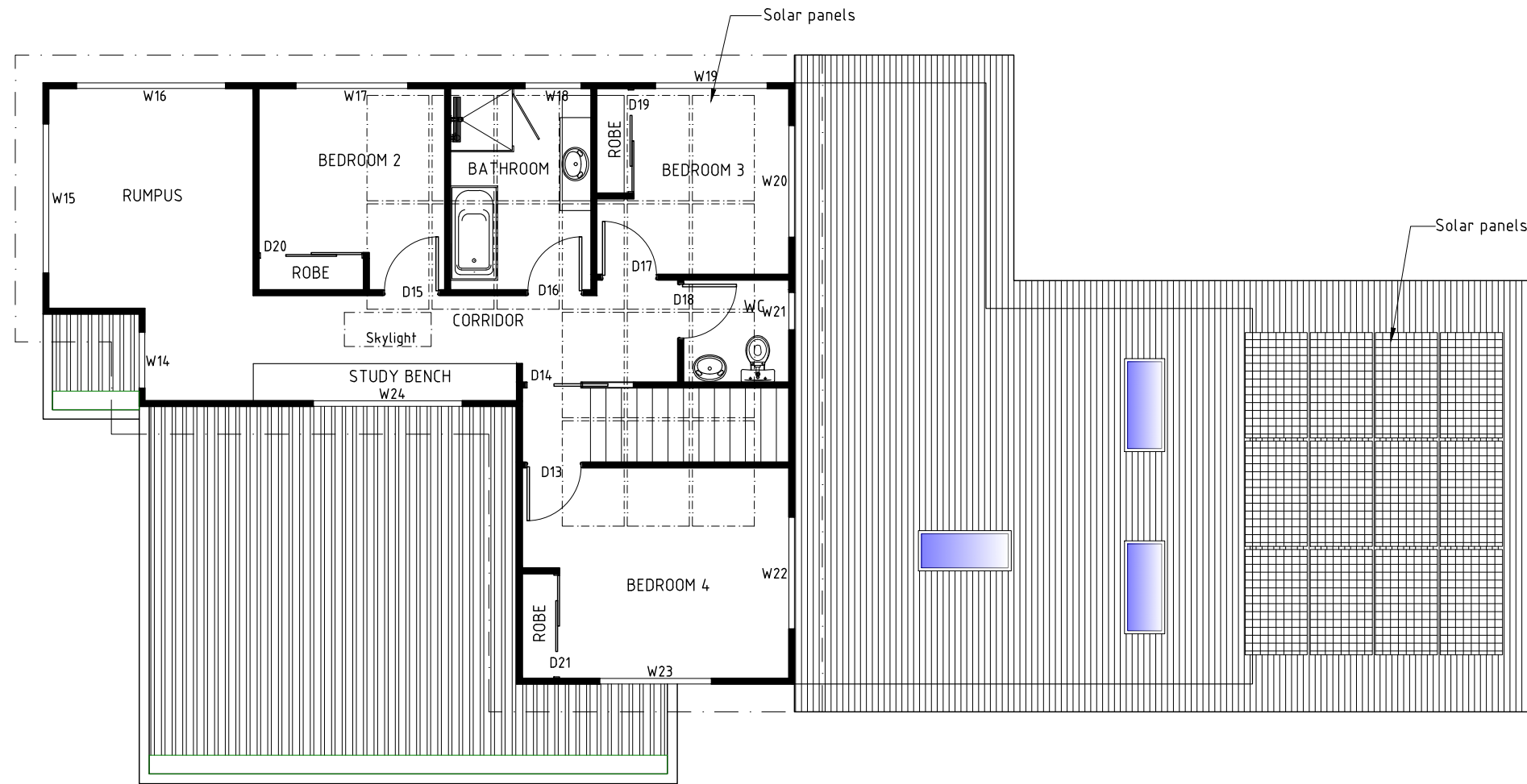
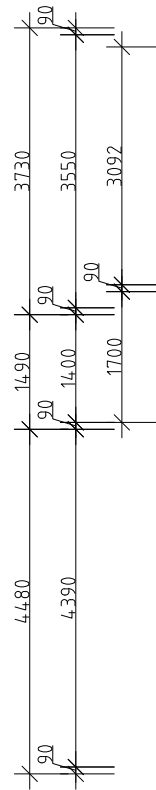
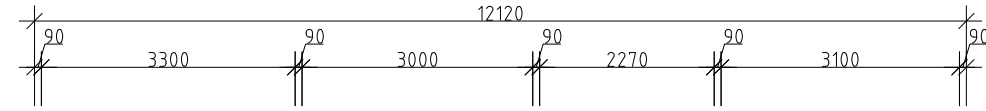
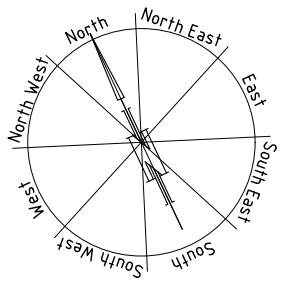


AREAS:	
Lower level	178.31m ²
Upper level	81.02m ²
Total	259.33m ²
Porch	3.05m ²
Deck/Alfresco	62.30m ²

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PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 13 COOP COURT KINGSTON 7050	LOWER LEVEL PLAN	DATE 20/05/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone: ph 0400 671 582
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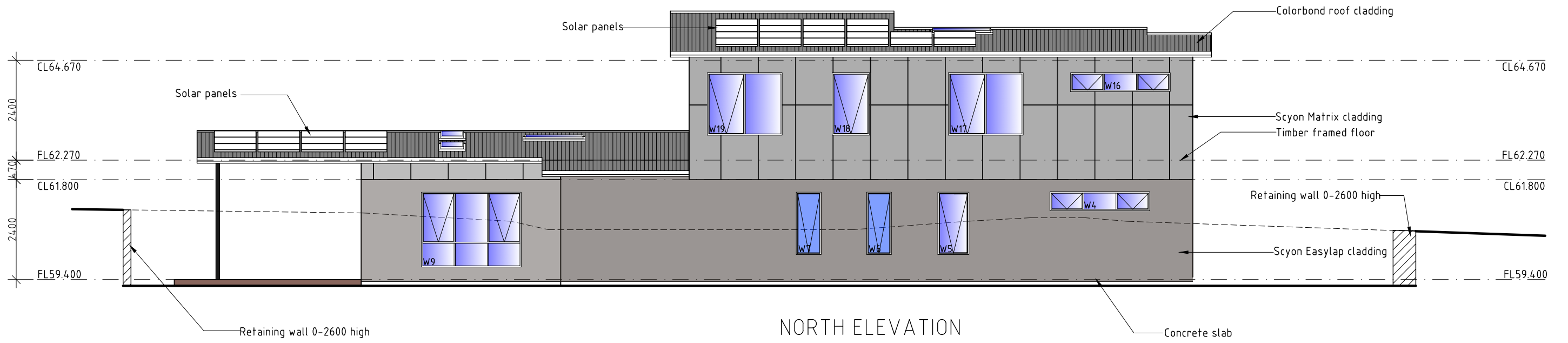


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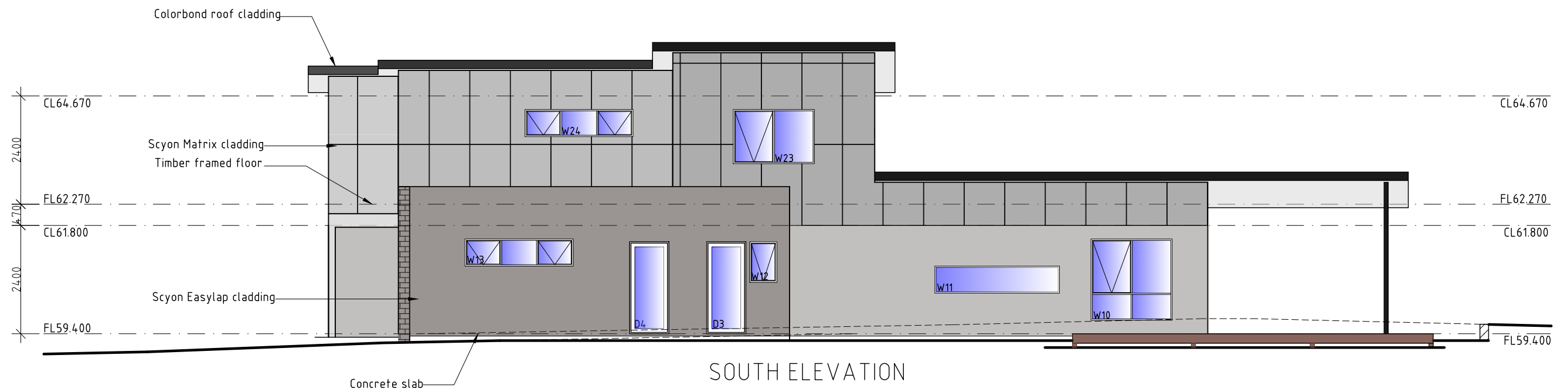
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NORTH ELEVATION



SOUTH ELEVATION

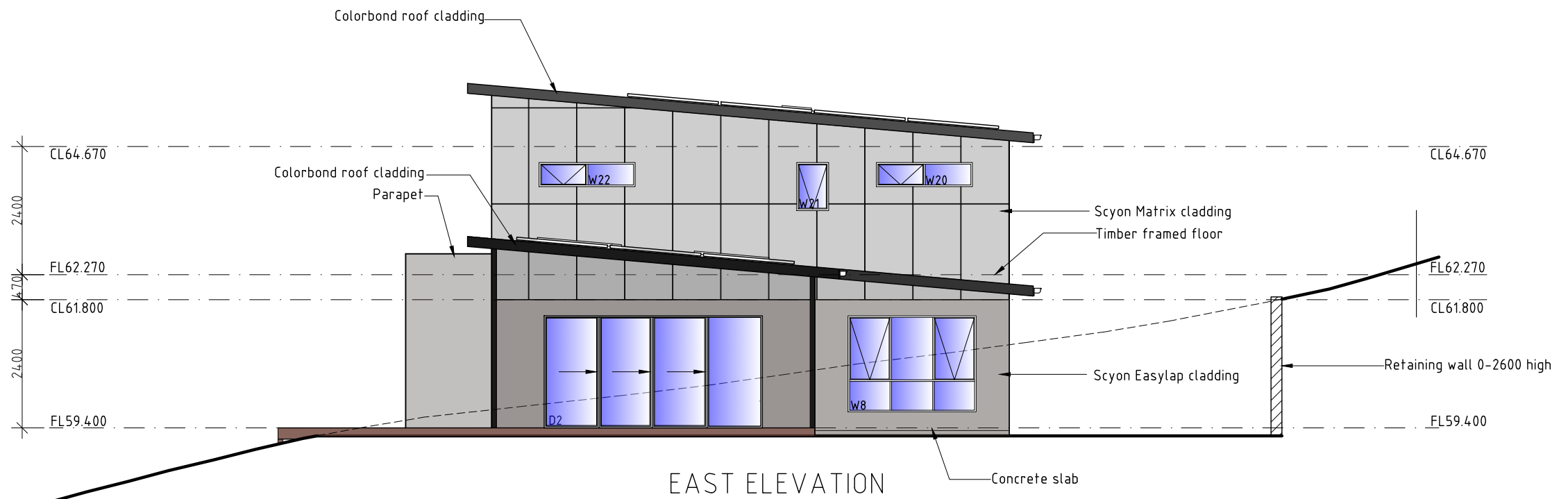
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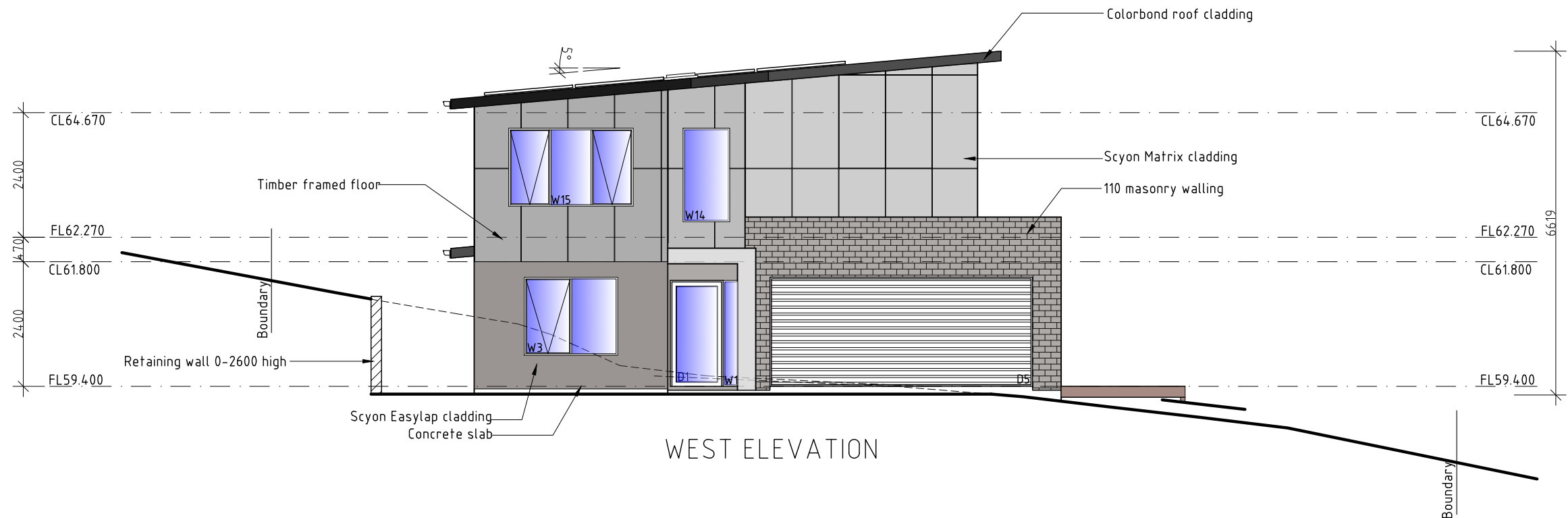
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ELEVATIONS		DATE 20/05/2026	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
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EAST ELEVATION



WEST ELEVATION

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ELEVATIONS

SCALE 1:100
0 1000 2000

AMENDED

DATE
20/05/2026

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05 OF 12

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NCC Vol. 2 2022

ABC Housing Provisions Part 11.3.7 Protection of openable windows - bedrooms

- (1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath.
- (2) Where the lowest level of the window opening covered by (1) is less than 1.7 m above the floor, the window opening must comply with the following:
 - (a) The openable portion of the window must be protected with -
 - (i) a device capable of restricting the window opening; or
 - (ii) a screen with secure fittings.
 - (b) A device or screen required by (a) must -
 - (i) not permit a 125mm sphere to pass through the window opening or screen; and
 - (ii) resist an outward horizontal action of 250N against the -
 - (A) window restrained by a device; or
 - (B) screen protecting the opening; and
 - (iii) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
- (3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865mm above the floor is required to an openable window in addition to window protection.
- (4) A barrier covered by (3) must not -
 - (a) permit a 125mm sphere to pass through it; and
 - (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

ABC Housing Provisions Part 11.3.8 Protection of openable windows - rooms other than bedrooms

- (1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
- (2) The openable part of the window covered by (1) must be protected with a barrier with a height of not less than 865mm above the floor.
- (3) A barrier required by (2) must not -
 - (a) permit a 125mm sphere to pass through it; and
 - (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

LEGENDS & NOTES

Flyscreens to be fitted to all openable windows and doors.

Glazing requirement as outlined in the attached Glazing Calculator.

Alternative options from glazing supplier may be presented to the Designer and Building Surveyor in the form of a new Glazing Calculator.

Glazing types available in Tasmania can be access at www.wers.net

Shower screens:

1800H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.2 & AS 1288:2021. Minimum 4mm thick Grade A toughened & toughened laminated safety glass, labelled to comply with industry standards.

Opaque bands:

Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible in accordance with ABCB Housing Provisions Part 8.4.7, as follows:

- Marking in the form of an opaque band not less than 20mm in height;
- The upper edge is not less than 700mm above the floor;
- The lower edge is not more than 1200mm above the floor.

Flashings to wall openings:

All openings must be adequately flashed using materials that comply with AS/NZS 2904.

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047:2014. ALL OTHER GLASS TO COMPLY WITH AS 1288:2021

PROVIDE WEATHER STRIPPING TO ALL EXTERNAL DOORS & WINDOWS.

NOTE: Glazier to verify all glass prior to manufacture of glazing Units

Glazing compliance certificate to be provided by glass supplier

WINDOW SCHEDULE

Window	Size (w)	Size (h)	Setout	Operation	Area (m ²)	Vent. (m ²)	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
W.1	300	2040	Sill @ 60 Head @ 2040	Fixed	0.612	00	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW	Sidelight		19
W.2	Redacted	Redacted	Redacted	Redacted	Redacted		Redacted	Redacted	Redacted	Redacted			Redacted
W.3	1800	1500	Sill @ 600 Head @ 2100	Awning	2.7		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			19
W.4	2400	450	Sill @ 1650 Head @ 2100	Awning	1.08		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			19
W.5	750	1500	Sill @ 600 Head @ 2100	Awning	1.125		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			19
W.6	600	1500	Sill @ 600 Head @ 2100	Awning	0.9		U-Value 4.3 or less SHGC = 0.55 or less	Frosted double glazing	Aluminium	NE			19
W.7	600	1500	Sill @ 600 Head @ 2100	Awning	0.9		U-Value 4.3 or less SHGC = 0.55 or less	Frosted double glazing	Aluminium	NE			19
W.8	2400	1800	Sill @ 300 Head @ 2100	Awning	4.32		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE			19
W.9	2400	1800	Sill @ 300 Head @ 2100	Awning	4.32		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			19
W.10	1800	1800	Sill @ 300 Head @ 2100	Awning	3.24		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			19
W.11	2700	600	Sill @ 900 Head @ 1500	Fixed	1.62		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW	Splashback		19
W.12	600	900	Sill @ 1200 Head @ 2100	Awning	0.54		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			19
W.13	2400	600	Sill @ 1500 Head @ 2100	Awning	1.44		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			19
W.14	900	1800	Sill @ 300 Head @ 2100	Fixed	1.62		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			19
W.15	2400	1500	Sill @ 600 Head @ 2100	Awning	3.6		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			19
W.16	2400	450	Sill @ 1650 Head @ 2100	Awning	1.08		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			19
W.17	1800	1500	Sill @ 600 Head @ 2100	Awning	2.7		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			19
W.18	900	1500	Sill @ 600 Head @ 2100	Awning	1.35		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			19
W.19	1800	1500	Sill @ 600 Head @ 2100	Awning	2.7		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			19
W.20	1800	450	Sill @ 1650 Head @ 2100	Awning	0.81		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE			19
W.21	600	900	Sill @ 1200 Head @ 2100	Awning	0.54		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE			19
W.22	1800	450	Sill @ 1650 Head @ 2100	Awning	0.81		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE			19
W.23	1800	1200	Sill @ 900 Head @ 2100	Awning	2.16		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			19
W.24	2400	600	Sill @ 1500 Head @ 2100	Awning	1.44		U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			19

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PROPOSED RESIDENCE FOR
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13 COOP COURT KINGSTON 7050

WINDOW SCHEDULE

SCALE N/A

AMENDED

DATE

20/05/2026

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08 OF 12

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- Marking in the form of an opaque band not less than 20mm in height;
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DOOR SCHEDULE

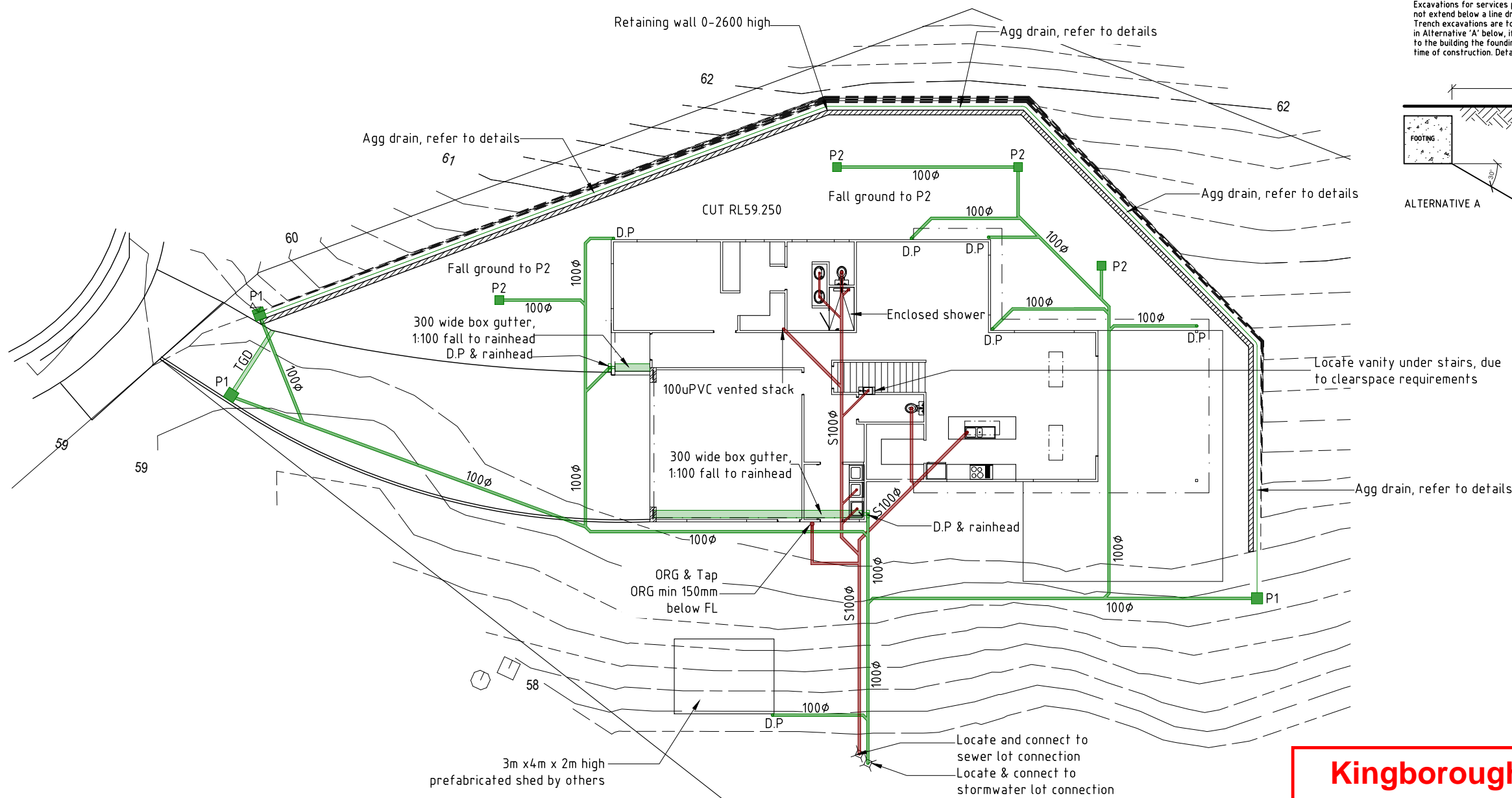
Door	Size	Setout	Operation	Area (m ²)	Vent.	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
D.1	1020x2040	Sill @ 00 Head @ 2040	Hinged	TBA	2.08	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW	External		19
D.2	4030x2100	Sill @ 00 Head @ 2100	Stacking Glass slider	8.46	6.02	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE	External		19
D.3	870x2040	Sill @ 00 Head @ 2040	Hinged	TBA	1.77	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW	External		19
D.4	870x2040	Sill @ 00 Head @ 2040	Hinged	TBA	1.77	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW	External		19
D.5	5000x2100	Sill @ 00 Head @ 2040	Panel lift					N/A		External		19
D.6	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.7	870x2040	Sill @ 00 Head @ 2040	Cavity slider					Timber				
D.8	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.9	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.10	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.11	870x2040	Sill @ 00 Head @ 2040	Cavity slider					Timber				
D.12	3/720x2040	Sill @ 00 Head @ 2040	Robe slider					Timber				
D.13	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.14	870x2040	Sill @ 00 Head @ 2040	Cavity slider					Timber				
D.15	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.16	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.17	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.18	870x2040	Sill @ 00 Head @ 2040	Hinged					Timber				
D.19	2/820x2040	Sill @ 00 Head @ 2040	Robe slider					Timber				
D.20	2/820x2040	Sill @ 00 Head @ 2040	Robe slider					Timber				

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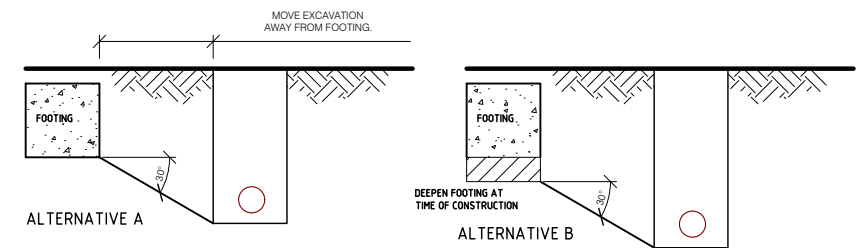
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DETAILS FOR EXCAVATION ADJACENT TO FOOTINGS
 Excavations for services parallel to edge of the footing shall not extend below a line drawn at 30° from the bottom edge of the footing. Trench excavations are to be kept away from the footing as detailed in Alternative 'A' below, if future deep excavations are required close to the building the founding depths of the footing shall be increased at the time of construction. Details are shown below.



SOIL TYPE	ANGLE OF SLOPE(H:L)	
	Compacted fill	Cut
Stable rock ¹	2:3	8:1
Sand 1	1:2	1:2
Silt 2	1:4	1:4
Firm Clay	1:2	1:1
Soft Clay	NS	2:3
Soft Soils 2	NS	NS

¹ Most sand & rock sites with little or no ground movement from moisture changes
² Sites include soft soils such as soft clay or loose sands landslip minesubsidence collapsing soils soils subject to erosion reactive sites subject to abnormal moisture conditions or sites which cannot be otherwise classified
 NOTE: Excavations over 1.5m may require benching & or shoring refer to risk assessment

- TGD Trafficable grate drain
- P1 450x450 Trafficable pit. Each grate pit to be fitted with water quality improvement device. Designed & installed in accordance with manufacturers instructions
- P2 350x350x450D grated pit

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 Plan Reference No: P3
 Date Received: 20/5/2026
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Agg drains to be installed prior to slab/footings preparation. Evidence of the agg drainage installation to be supplied to the Engineer.

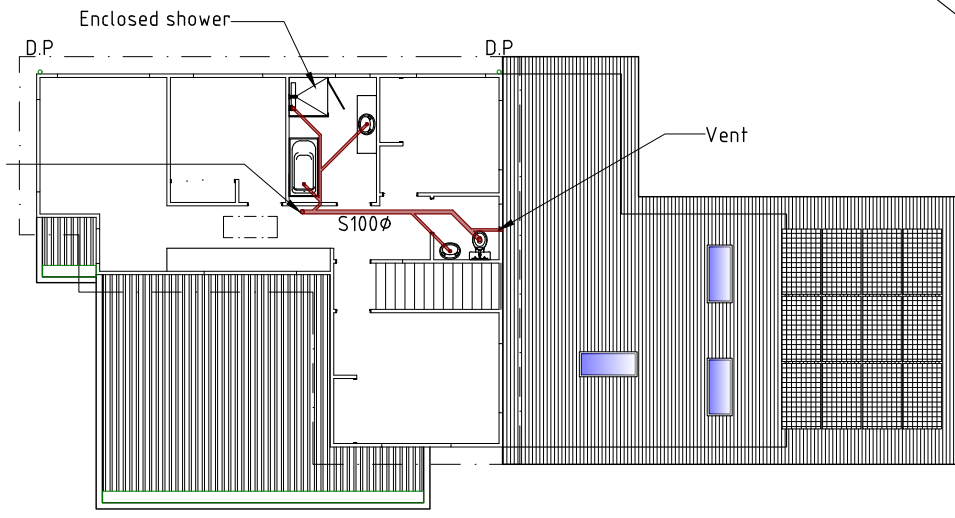
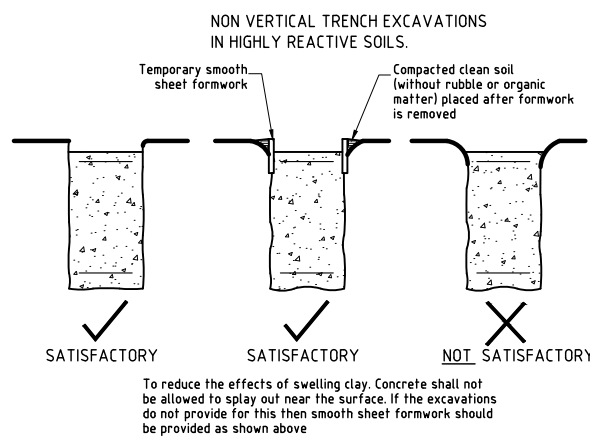
Plumber to confirm the location of existing on-site services prior to commencement of any excavations

S100φ 100uPVC sewerage
1.67% min. fall

100φ 100uPVC stormwater
1:100 min. fall

100x100 cast in kerb to downslope of driveway perimeter I.O. at each intersection & bend

LOWER LEVEL PLUMBING PLAN

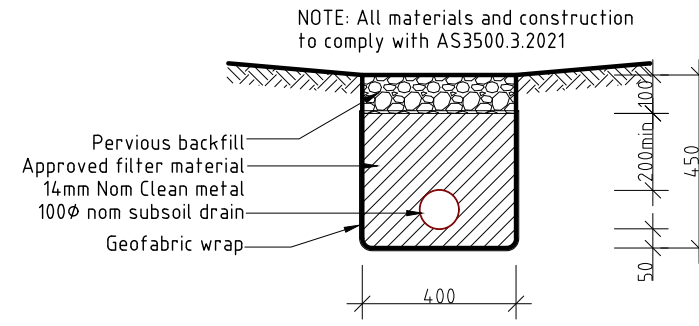
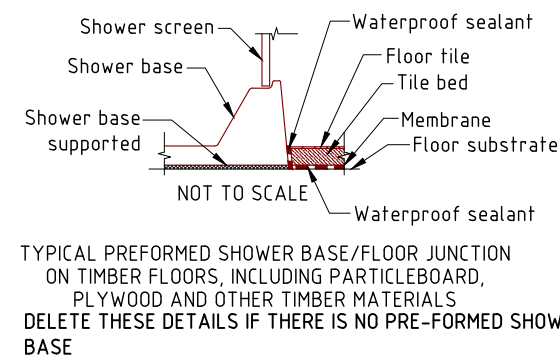
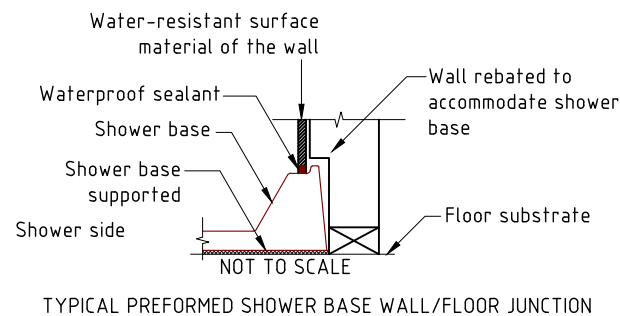
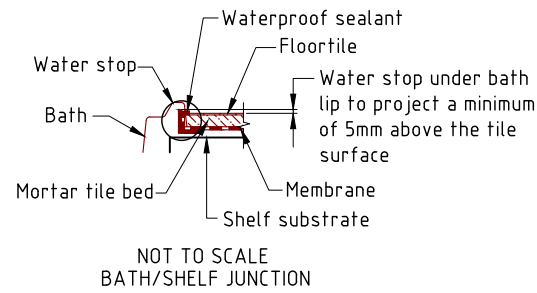
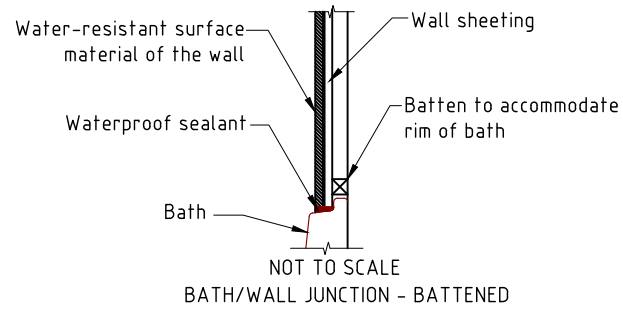
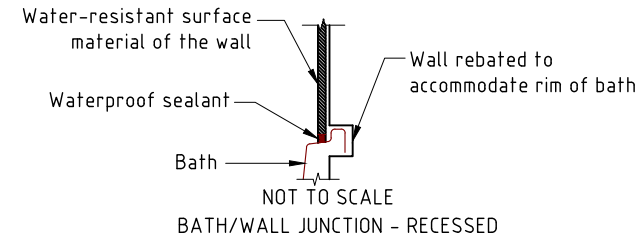


UPPER LEVEL PLUMBING PLAN

**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 13 COOP COURT KINGSTON 7050	CONCEPT PLUMBING PLAN		DATE 20/05/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED 20/05/2026	DRAWING NO. 10 OF 12	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 1026

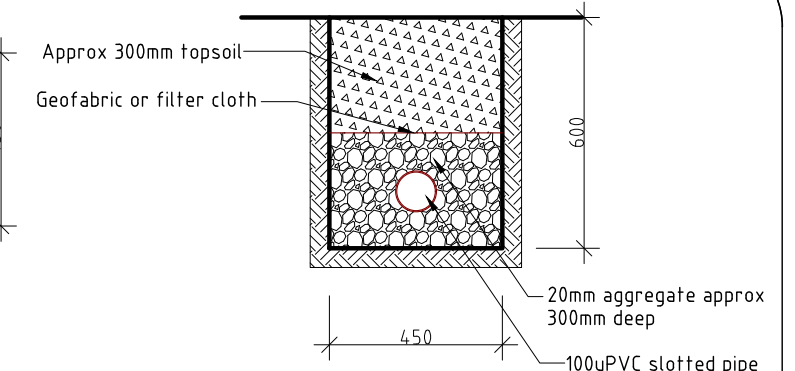
DELETE THESE DETAILS IF THERE IS NO BATHTUB



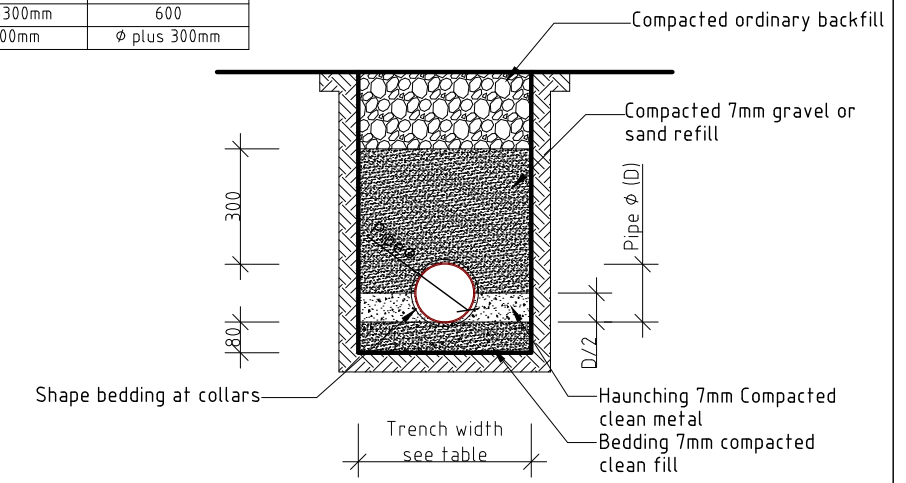
AGG DRAIN DETAIL (TYPICAL)
Scale 1:20

TRENCH WIDTHS

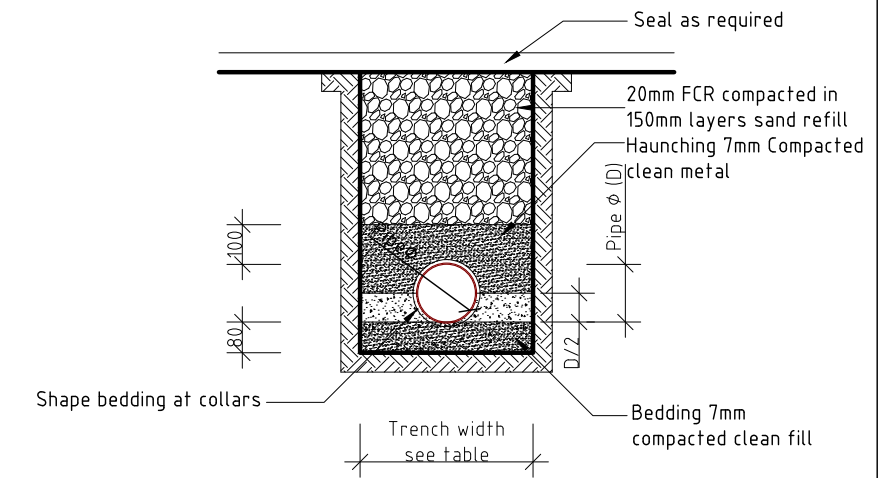
Pipe diameter	Min. trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	φ plus 300mm



ABSORPTION TRENCH (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO NON-TRAFFICABLE AREAS (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO TRAFFICABLE AREAS (TYPICAL)
Scale 1:20

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Surface drainage to conform with NCC Vol. 2 Part H2D2.
NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSRIO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

**DEVELOPMENT DRAWINGS ONLY
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PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 13 COOP COURT KINGSTON 7050	PLUMBING DETAILS		DATE 20/05/2026	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:20 0 200 400	AMENDED	DRAWING NO. 12 OF 12	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 1026