

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2026-114
Proposal: Dwelling
Subject Site: 78 Nautilus Grove, Huntingfield
Responsible Planning Officer: Tayla Beagley

Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **10 June 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



PROJECT 'HUON'

DATE

17/05/2026

SITE INFORMATION

ADDRESS **103 NAUTILUS GROVE, HUNTINGFIELD**
 OWNER/CLIENT BUILDWISE HOMES
 TITLE REF 189717/103
 MUNICIPALITY KINGBOROUGH
 ZONING GENERAL RESIDENTIAL

DESIGNER Sarah Wimmer
 LICENCE NO 875803611
 CONTACT sarah@thresholddesigns.com.au

LAND SIZE 329 sqmm²
 BUILDING CLASSIFICATION 1a
 WIND CLASSIFICATION N3
 SOIL CLASSIFICATION TBC
 CLIMATE ZONE 7
 CORROSION ENVIRONMENT MODERATE
 ALPINE AREA N/A
 OTHER HAZARDS BUSHFIRE PRONE AREA
 BUSHFIRE ATTACK LEVEL (BAL) LOW

GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE AND COMPLY WITH THE RELEVANT AND CURRENT BUILDING CODE OF AUSTRALIA, COUNCIL BY-LAWS, AUSTRALIAN STANDARDS, CURRENT WORKPLACE STANDARDS AND CODES OF PRACTICE AND ALL APPROVAL CONDITIONS SPECIFIC TO THIS PROJECT.

ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING.

THE CONTRACTOR IS TO CONFIRM ON SITE ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH WORKS

ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.

ALL DISCREPANCIES TO BE REPORTED TO THE DESIGNER FOR INSTRUCTION

THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.

ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.

THE STRUCTURAL ENGINEER SHALL ENSURE THAT, AS FAR AS REASONABLY PRACTICABLE, THE BUILDING WORKS ARE STRUCTURALLY SOUND AND FIT-FOR-PURPOSE.

BUILDING WORK SHALL:

- a) NOT CAUSE A NUISANCE TO BECOME A RISK OR THREAT TO PUBLIC HEALTH, AND
- b) NOT ADVERSELY AFFECT AN OWNER, OCCUPIER, OR USER OF AN ADJOINING PREMISES.

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

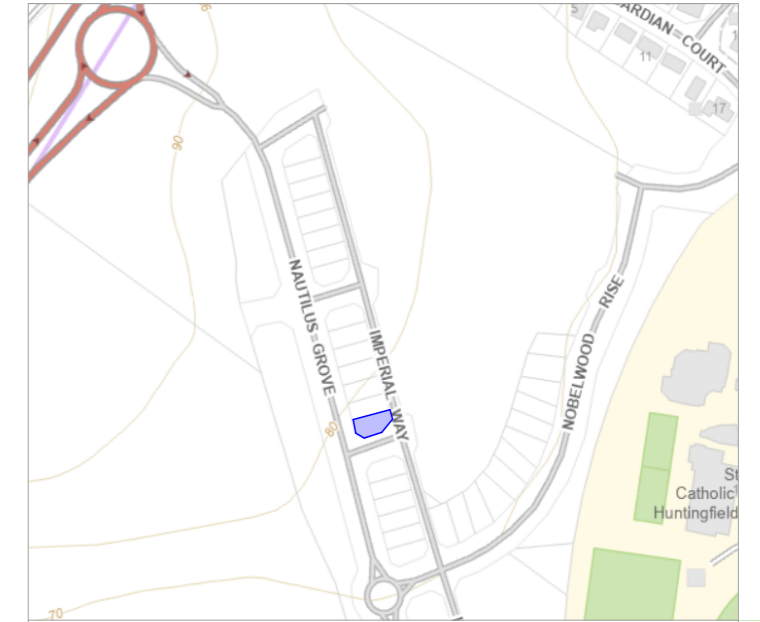
Kingborough Council

Development Application: DA-2026-114

Plan Reference No: P2

Date Received: 18/5/2026

Date placed on Public Exhibition: 27/5/2026



INDEX OF DRAWINGS

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DA.03	ROOF PLAN	

Buildwise.
HOBART



ARTIST IMPRESSION

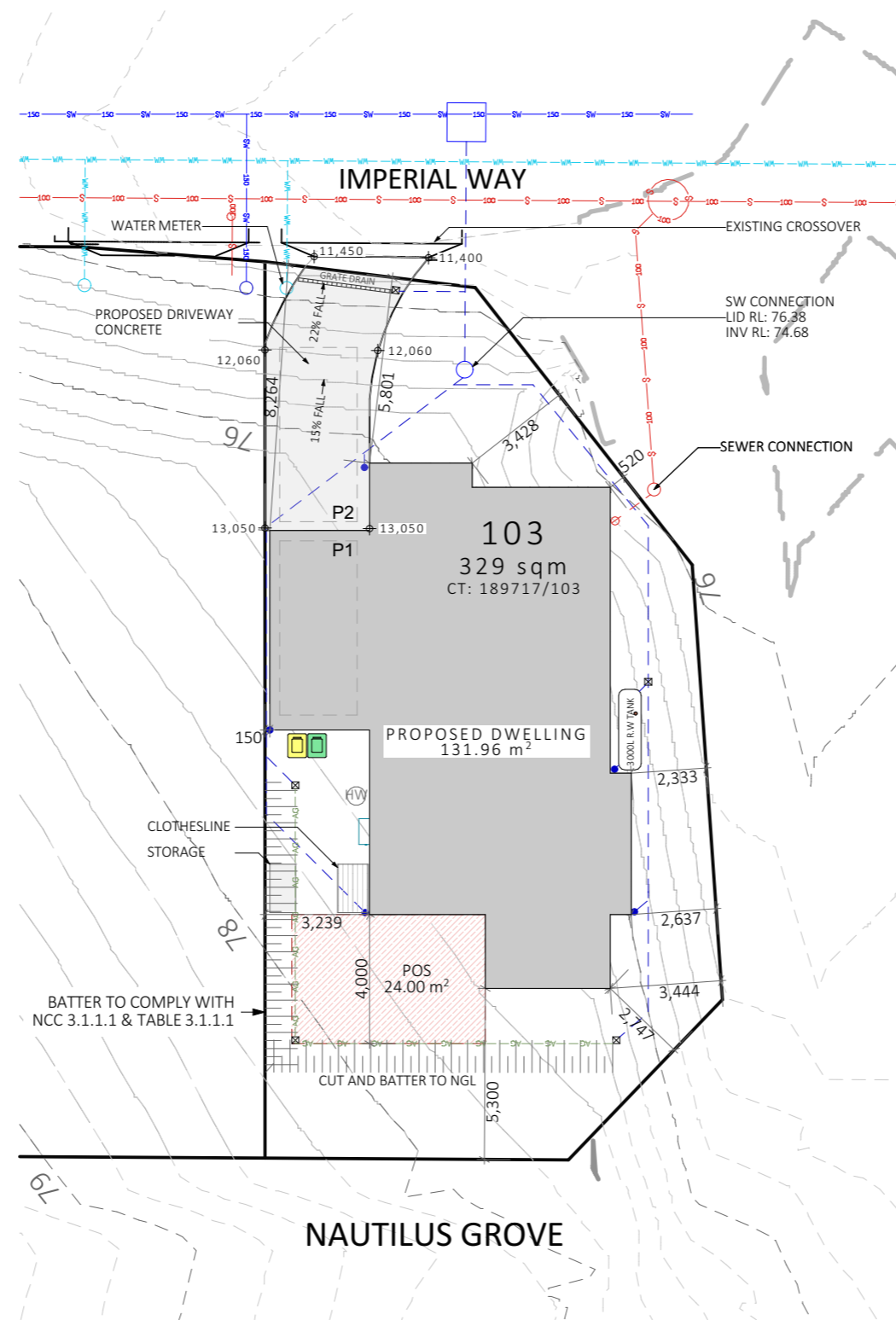
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KEY

- STORMWATER
- SEWER MAIN
- WATER MAIN
- A 450m² STORMWATER PIT

SITE NOTES

CONTOUR INTERVALS @ 0.25m.
SITE LEVELS ARE APPROX ONLY.
PLANS TO BE READ IN CONJUNCTION WITH THE CONTOUR AND DETAIL SURVEY UNDERTAKEN BY GHD ON 22/12/2022.

ALL SITE LEVELS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION. EXTENT OF SITE CUT & RETAINING TO BE DETERMINED ON SITE. RL'S PROVIDED FOR FFL'S OF PROPOSED DWELLING & ASSOCIATED STRUCTURES ARE INDICATIVE ONLY & SHOULD BE DETERMINED ONSITE PRIOR TO CONSTRUCTION.

ALL WORKS TO COMPLY WITH THE NCC & AUSTRALIAN STANDARDS.

MIN SET DOWN FROM FFL 150MM. GROUND TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS.

ALL ELEMENTS OF CONSTRUCTION INCLUDING FOOTINGS, DRAINAGE PROVISIONS, GUTTERS & DOWNPIPES ARE TO REMAIN ENTIRELY WITHIN THE PROPERTY BOUNDARIES.

SW PITS ARE INDICATIVE. LOCATION MAY VARY DEPENDING ON SITE CONDITIONS.

DOWNPIPES TO BE CONNECTED INTO COUNCIL STORMWATER/WATER TANK AS SOON AS ROOF IS INSTALLED.

SITE PREPARATION
SITE PREPARATION TO COMPLY WITH 3.1.1 OF THE NCC AND AS3798.

EARTHWORKS
ALL SITE EARTHWORKS TO BE IN ACCORDANCE WITH 3.1.1 OF THE NCC AND AS3798.
EXCAVATE THE SITE TO REQUIRED LEVELS. EXTENT OF SITE CUT, FILL & RETAINING TO BE DETERMINED ON SITE, NOT TO EXCEED MORE THAN 1m AS PER PLANNING SCHEME REQUIREMENTS.
SLOPE GROUND AWAY FROM THE HOUSE/SLAB AT A SLOPE OF NOT LESS THAN 50mm OVER 1000mm.
DRAINAGE TO COMPLY WITH NCC PART 3.1.2.

DRIVEWAY & PARKING
DRIVE TO BE SUITABLY DRAINED AWAY FROM DWELLING TO SW PITS.
CAR PARKING TO AS 2890.1:2004, USER CLASS 1A.

FENCING
FOR FENCING WITHIN 4.5M OF EITHER FRONTAGE, THE HEIGHT IS LIMITED TO 1.2 M IF SOLID, OR UP TO 1.8 M WHERE A MINIMUM OF 30% TRANSPARENCY IS PROVIDED ABOVE 1.2 M.

ALL GLAZING GREATER THAN 2M² TO INCORPORATE BIRD-SAFE TREATMENT IN ACCORDANCE WITH 'MINIMISING THE SWIFT PARROT COLLISION THREAT- GUIDELINES AND RECOMMENDATIONS FOR PARROT SAFE BUILDING DESIGN', INCLUDING LOW-REFLECTIVITY GLASS (≤10%) AND/OR COMPLIANT VISUAL MARKERS OR FRITTING.

PLUMBING NOTES

SITE DRAINAGE AS SHOWN IS INDICATIVE ONLY. LOCATION MAY VARY DEPENDING ON SITE CONDITIONS. PLUMBER TO CONFIRM ALL REGULATIONS PRIOR TO INSTALLATION.

ALL STORMWATER PITS TO BE MIN 350x 350x 450D AND DESIGNED IN ACCORDANCE WITH AS3500 SECTION 8.6.

ALL DRIVEWAY PITS AND GRATE DRAINS TO BE CLASS B.

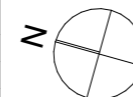
PROVIDE SURFACE DRAIN BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

BUILDING AREAS:

SITE AREA	329 sqm m ²
PROPOSED DWELLING	132 m ²

SITE COVERAGE 40%

REV	ISSUE	DATE
01	DA	26/03/2026
02	COUNCIL RFI	17/05/2026



DESCRIPTION: **DA.01**
PROJECT ADDRESS: **103 NAUTILUS GROVE, HUNTINGFIELD**
CLIENT: **BUILDWISE HOMES**




SITE PLAN

DATE: 17/05/2026
SCALE: 1:200 @ A3

LEGEND:

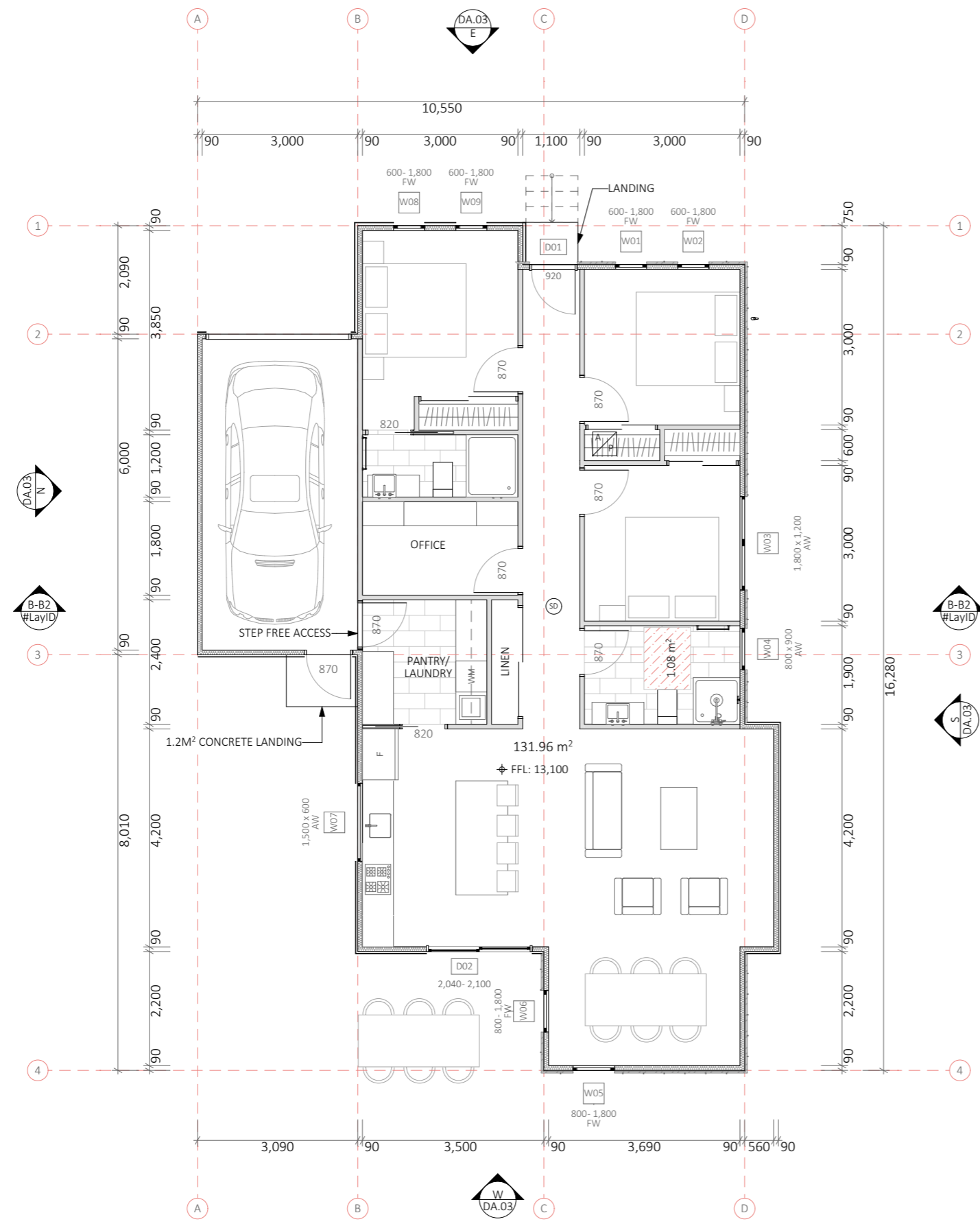
- AW AWNING WINDOW
- FW FIXED WINDOW
- SD SLIDING DOOR
- CH CEILING HEIGHT
- FFL FINISHED FLOOR LEVEL
- HW HOT WATER CYLINDER
- MB METER BOX
- NBN NBN HUB
- WH WOOD HEATER
- DP DOWNPIPE

- HP HEAT PUMP - INTERNAL UNIT
- AC HEAT PUMP UNIT - EXTERNAL UNIT

-  TILED FLOOR
-  SMOKE ALARM
-  ACCESS PANEL

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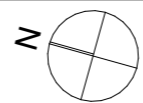
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BUILDING AREAS:

SITE AREA	329 sqm m ²
PROPOSED DWELLING	132 m ²
SITE COVERAGE	40%

REV	ISSUE	DATE
01	DA	26/03/2026
02	COUNCIL RFI	17/05/2026



DESCRIPTION:	DA.02
PROJECT ADDRESS:	103 NAUTILUS GROVE, HUNTINGFIELD
CLIENT:	BUILDWISE HOMES

FLOOR PLAN		
DATE	SCALE	
17/05/2026	1:100	@ A3

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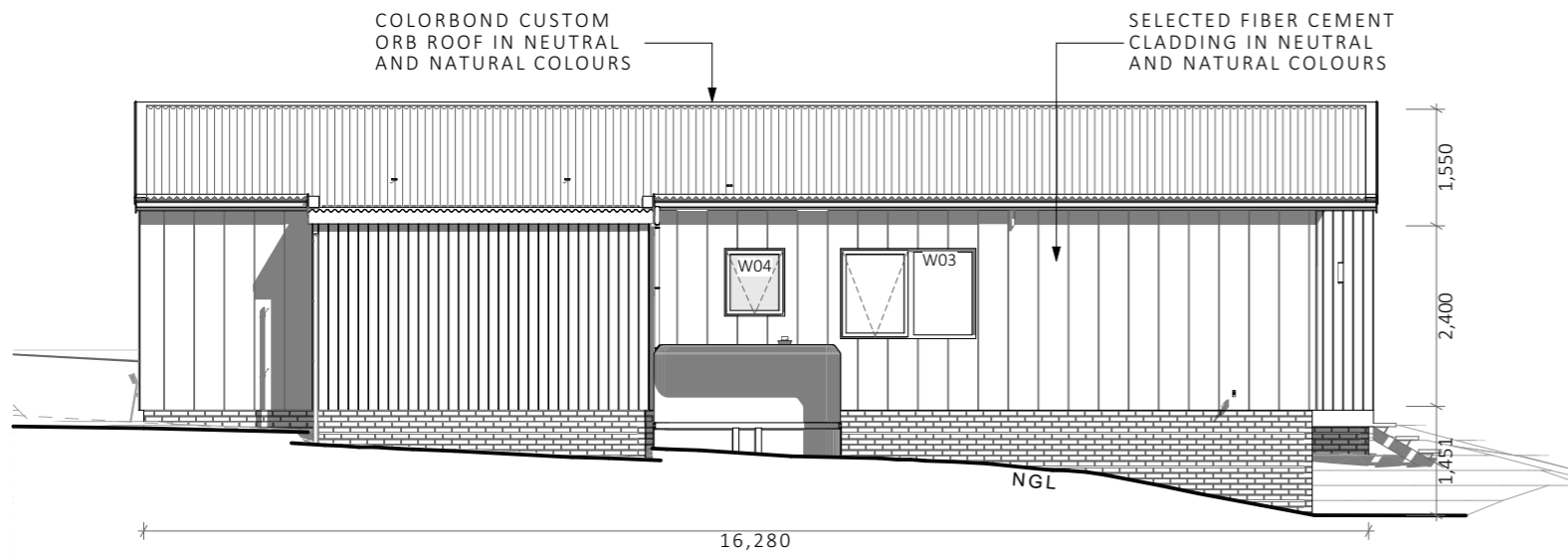
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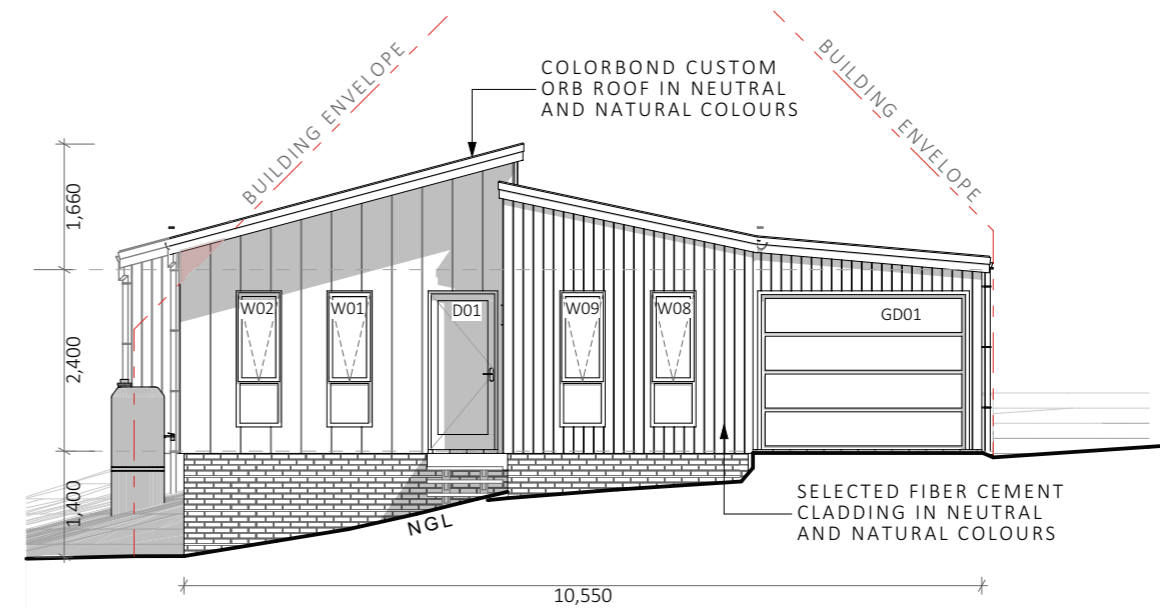
NOTE

CLEARANCES BETWEEN CLADDING AND GROUND SHALL COMPLY WITH 3.5.4.7 OF THE CURRENT N.C.C AND SHALL BE A MINIMUM CLEARANCE OF:
- 100MM IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS;



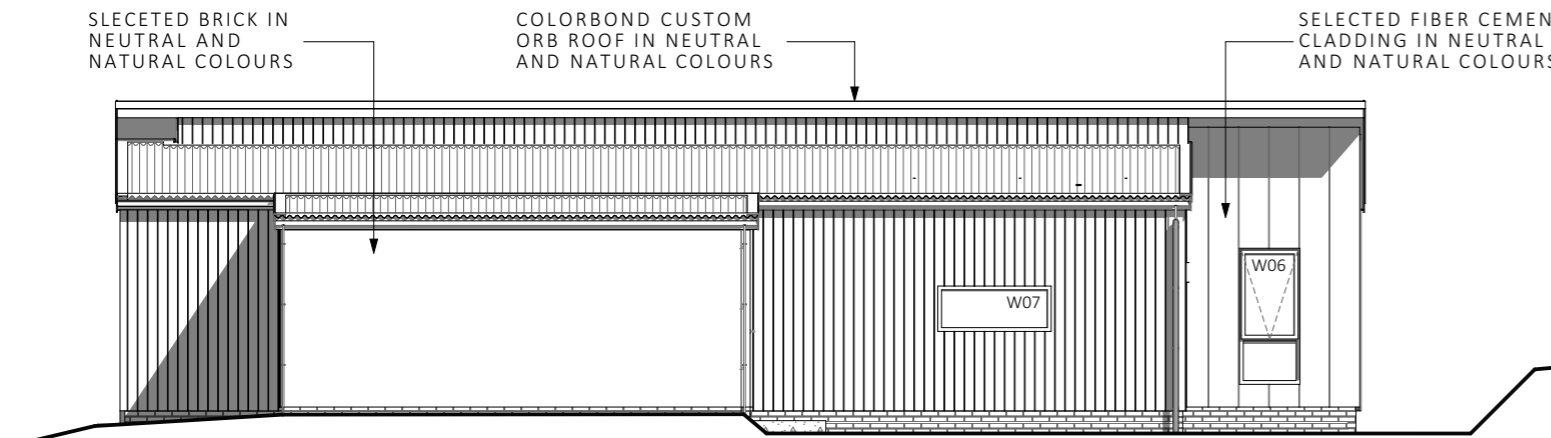
SOUTH ELEVATION

1:100



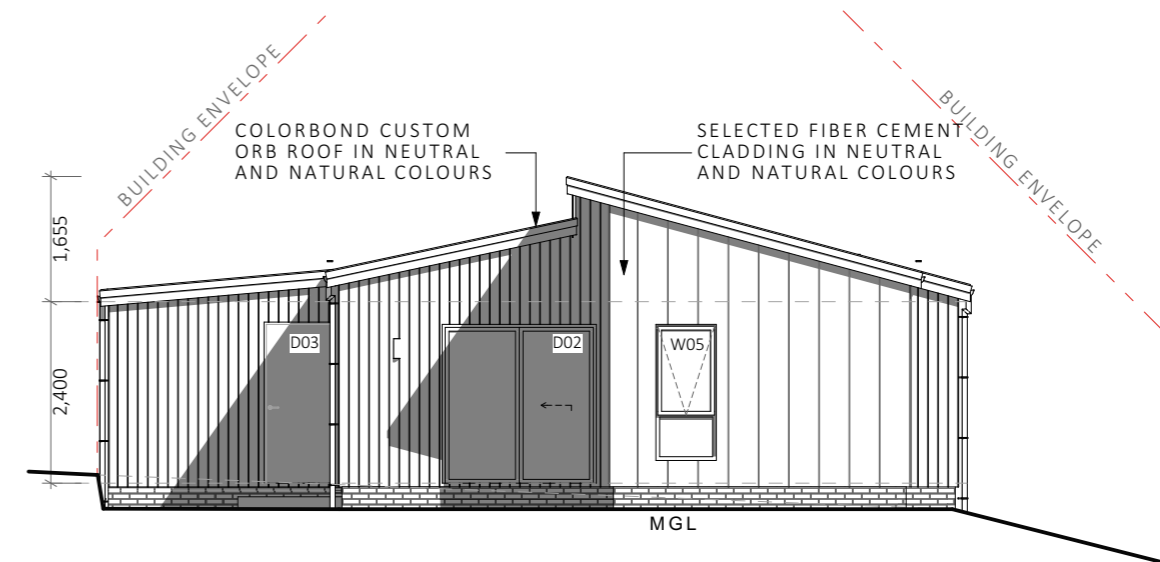
EAST ELEVATION

1:100



NORTH ELEVATION

1:100



WEST ELEVATION

1:100

REV	ISSUE	DATE	DESCRIPTION:	DA.03	ELEVATIONS
01	DA	26/03/2026	PROJECT ADDRESS:	103 NAUTILUS GROVE, HUNTINGFIELD	DATE
02	COUNCIL RFI	17/05/2026	CLIENT:	BUILDWISE HOMES	SCALE
					17/05/2026 1:100 @ A3