

# APPLICATION FOR PLANNING APPROVAL

**Application Number:** DA-2025-373  
**Proposal:** Change of use to Food Services and signage  
**Subject Site:** Shop 11/20 Channel Highway, Kingston  
**Responsible Planning Officer:** Cassinia Devries

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## Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

## Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **1 May 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au).



# PROPOSED SHOP FITOUT

SHOP 11, 20 CHANNEL HIGHWAY, KINGSTON, TAS 7050

DRAWING LIST		
DRAWING NO.	DRAWING NAME	SCALE [@A3]
A00	COVER SHEET	NTS
A01	GENERAL NOTES	NTS
A02	LOCATION PLAN	NTS
A03	TENANCY PLAN	1:50
A04	PROPOSED FLOOR PLAN	1:50
A05	REFLECTED CEILING PLAN	1:50
A06	FLOOR FINISHES PLAN	1:50
A07	SERVICES PLAN	1:50
A08	ELEVATIONS	1:50
A09	ELEVATIONS	1:50
A10	ELEVATIONS	1:50
A11	FINISHES SCHEDULE	NTS
A12	FINISHES SCHEDULE	NTS
A13	FINISHES SCHEDULE	NTS
A14	FINISHES SCHEDULE	NTS
A15	FINISHES SCHEDULE	NTS
A16	FINISHES SCHEDULE	NTS

**Kingborough Council**  
 Development Application: DA-2025-373  
 Plan Reference No: P5  
 Date Received: 08/4/2026  
 Date placed on Public Exhibition: 18/4/2026

**TNNT DESIGN**

60 ELGIN STREET, CARLTON, VICTORIA 3053  
 PHONE : 0435384938  
 WWW.TNNTDESIGN.COM.AU

Document Set ID: 4757246  
 Version: 1, Version Date: 16/04/2026

**BUILDING PERMIT ISSUE**  
**PIZZA SHOP FIT OUT- SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050

DRAWING:  
**COVER SHEET**

SCALE 1:50 @A3



JOB NO: **2539**  
 DWG NO: **A00**  
 REV: **D**  
 CLIENT: **Amalfi PASTA**

CHECKED BY: HN DRAWN BY: LC

**ISSUED FOR CONSTRUCTION 02/03/2026**



REV.	DATE	DESCRIPTION	INITIAL
D	02/03/26	ISSUED FOR CONSTRUCTION	LC

BUILDER /CONTRACTOR SHALL VERIFY JOB DIMENSIONS BEFORE ANY JOB COMMENCES. FIGURED DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT /CONSULTANT, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO RETURN OF INSPECTED SHOP DRAWINGS BY THE ARCHITECTURAL BUILDING DESIGN /CONSULTANT

## GENERAL NOTES:

These drawings to be read in conjunction with all other relevant documentation associated with this project, in particular engineers drawings and specifications.  
Do not scale. use written dimension only

All dimensions, setbacks, levels, specifications and conditions shall be verified prior to commencement of work or ordering of materials.

Builder to carry out and maintain all necessary protection works to adjoining properties at all times.  
Should site conditions vary from documents the builder shall immediately notify the project manager and await instruction.

All work shall comply with current relevant Australian Standard and BCA regulation, in particular:

- AS 1288 - Glass in buildings: Selection and installation
- AS 1562 - Design and installation of sheet roof and wall cladding
- AS 1684 - National Timber Framing Code
- AS 3500 - Plumbing and drainage
- AS 3786 - Smoke alarms
- AS 1680.0 - Artificial lighting

### 1. MATERIALS AND TRADE PRACTICES

. All materials, construction and work practices shall comply with but not be limited to the current issue of Victorian building regulations 2024, National Construction Code 2022, Building Code of Australia Volume 1 (hereafter referred to as BCA), and all relevant current Australian Standards referred to therein.

.Work and site management practices shall comply with all relevant laws and by-laws.  
.If any performance solution is proposed, it shall be assessed and approved by the relevant building surveyor/building certifier as meeting BCA performance requirements prior to implementation or installation.

.Installation of all services shall comply with the respective supply authority's requirements.  
.The builder shall submit to the relevant authority a Site Environmental Management Plan, OH&S Site Management Plan and Traffic Management Plan prior to the commencement of any work where required.

### 2. VARIATIONS

.Should any conflict arise between these plans and BCA, Australian Standards or a manufacturer's instructions, this discrepancy shall be reported immediately to the designer, before any other action is taken.

.The client and/or the client's builder shall not modify or amend the plans without the knowledge and consent of the designer, except where the relevant building surveyor/building certifier makes minor necessary changes to facilitate the building permit application, and where such changes are reported back to the designer within 48 hours of their making.

.The builder shall not alter, amend or substitute works or specified products or materials without the agreement of the designer. The approval by the designer of a substitute material, work practice or the like is not an authorisation for its use or for a contract variation. Any variations and/or substitutions to materials or work practices shall be accepted by all parties to the building contract and, where applicable, the relevant building surveyor/building certifier, prior to implementation.

### 3. MEASUREMENTS

.Do not scale off drawings. Refer to dimensions indicated at all times and seek clarification from the designer if dimensions are unclear.

.Dimensions on detailed/zoomed in plans and drawings take precedence over those that are general/zoomed out.

.Site plan measurements are in metres. All other measurements are in millimetres, unless noted otherwise.

.All levels are to 'Australian Height Datum' (AHD). All relative levels (RLs) given are nominal and as per the survey drawing prepared by the relevant land surveyor.

.Unless noted otherwise, dimensions on floor plans, sections and external elevations represent structural members, not finished linings/cladding.

.The builder and sub-contractors shall check and verify all dimensions, setbacks, RLs, specifications, and all other relevant documentation prior to the commencement of any works. Report any discrepancies to the project coordinator or designer for clarification.

.These drawings are to be read in conjunction with the survey drawing for set-out purposes.

### 4. PROTECTION OF PUBLIC SAFETY AND ADJOINING BUILDINGS AND ASSETS

.The builder shall relocate assets such as parking meters, light poles and street services only with and to the approval of the responsible authority.

.The builder shall verify the location and verticality of adjoining buildings and inform the project supervisor of any abnormalities or encroachment into the new building envelope.

.The builder shall complete a dilapidation survey and report for all buildings on adjacent sites prior to the commencement of any works and submit a copy to the project supervisor where required.

.The builder shall refer to architectural plans for extent of protection works for adjoining properties. Protective outriggers, fences, awnings, hoarding, barricades and the like shall be installed where necessary to guard against danger to life or property; or when required by the relevant building surveyor and/or council.

.Where required by council, the builder shall construct a temporary crossing placed over the footpath.

.All practicable measures shall be implemented to minimise waste to landfill. The builder may use a construction waste recovery service, or sort and transport recyclable materials to the appropriate registered recycler. Materials shall not be burned on site.

.A site management plan shall be implemented from the commencement of works, to control sediment run-off in accordance with [insert relevant state/council guidelines or regulation]. Silt fences shall be provided to the low side of the allotment and around all soil stockpiles and storm water inlet pits/sumps and 'silt stop' filter bags or equivalent shall be placed over all storm water entry pits. Erosion control fabric shall be placed over garden beds to prevent surface **erosion**.

### 5. BUILDING ELEMENTS

.All internal walls shall be full height unless noted otherwise.

.The builder shall ensure all walls are constructed in accordance with the manufacturer's recommendations and complete with control joints, deflection heads, insulation (acoustic, thermal) and fire resistance levels (FRL).

.Glazing shall be installed in accordance with BCA B1D4.

### 6. TIMBER FRAMING

.Standard timber roof and wall framing shall be provided in accordance with AS1684 (Residential Timber-Framed Construction) and all relevant supplements.

.Refer to structural engineer's design and specification for all timber framing, lintels and load-bearing members. All structural timberwork and associated connections shall comply with AS1720.

.Architectural drawings do not show all strutting beams/hanging beams/rafters/ceiling joists etc. Any additional members required shall comply with AS1720.

.All timber members shall be stress graded and marked in accordance with AS2858, AS1748 and AS1749.

### 7. MASONRY

.Masonry, brick and concrete block construction is to comply with the relevant standard as referenced in BCA B1D4(a) and AS3700-2011 Masonry Structures.

### 8. PROTECTION OF THE BUILDING FABRIC

.The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.

.Windows, doors and service penetrations shall be flashed all around.

.Where the building is in a designated termite-prone area, all penetrations and the perimeter of concrete slabs shall be treated to minimise the risk of attack by termites to primary building elements in accordance with AS3660.1 Termite Management - New Building Work.

.Where a building is located in a designated termite-prone area, the building shall be provided with a termite management system compliant with AS3660.1 or AS3660.2.

.Compliance with F3P1 for weatherproofing of an external wall shall be verified via methods as per BCA F3V1.

.Compliance with F3P1 for weatherproofing of roof coverings shall be verified as per BCA F3D2.

.Sarking-type material used for weatherproofing of roofs and walls shall comply with AS4200.1 and AS4200.2 as per BCA F3D3

### 9. PROTECTIVE COATINGS

All exposed structural steel framing/external metalwork shall be hot dip galvanised and finished in a selected paint as per schedule unless noted otherwise.

.External finishes that require a surface sealant shall be sealed in clear acrylic, water-based, semi-sheen finish unless noted otherwise.

.Concrete blockwork shall be sealed.

.Graffiti resistant coatings shall be applied to a height of 5m (measured from adjacent trafficable level).

### 10. INTERIOR WATERPROOFING

All wet areas shall be waterproofed in accordance with AS3740.

.Wet area subfloor set downs shall provide falls per AS3740-2021 and be of sufficient depth to allow for required screeds and floor finishes.

.An impervious substrate and selected surface finish shall be applied to all floors within 1500mm of an unenclosed shower

.Wall tiles shall be mounted to the following minimum heights:

- 300mm above troughs
- 600mm above sinks and kitchen benches
- 600mm above bath rims
- 1800mm above shower floors

.New tiled areas shall include 25-50mm thick concrete screed for prescribed falls to floor waste.

.Waterproof membranes, floor wastes, threshold plates and puddle flanges shall be installed as specified by the manufacturer.

.Floor wastes shown are indicative only. Refer to ID drawings for set out.

### 11. EXTERNAL WATERPROOFING

All external wet areas shall be waterproofed in accordance with AS4654.1.

.External waterproofing membranes, including on roofs, balconies, podiums or similar horizontal surfaces, shall comply with BCA F1D5.

.Set downs to balcony/terrace areas from internal floor level shall be 100mm unless indicated otherwise.

.Installation of waterproofing membranes for all external balconies/decks shall be in accordance with AS4654.1 and the materials used to be in accordance with AS4654.2.

.All balcony floors shall have <1:100 falls to floor waste or balcony outlets.

.Floor wastes shown are indicative only. Refer to ID drawings for set out.

.Floor wastes, threshold plates and puddle flanges shall be installed as specified by the manufacturer.

### 12. STORMWATER AND SEWERS

.Stormwater drainage shall be designed and constructed in accordance with AS/NZS 3500.3 in compliance with BCA F1D3. Refer to civil engineer's drawings and computations.

.Stormwater run-off shall be collected and drained to the legal point of discharge to the satisfaction of the responsible authority

### 13. ACCESS & EGRESS

All accessible parts of the building shall comply with Current AS1428.1 and BCA Part D1.

.Tactile indicators shall be installed in accordance with AS1428. Part 4.

.Signage to alert persons of the operation of certain doors shall comply with BCA D3D28 and shall be in accordance with AS1428.1.

.Clear and legible braille and tactile signage shall be supplied, complying with specification D3.6 and incorporating the international symbol of access or deafness or other symbol as appropriate, in accordance with AS1428. Part 4. Braille signage shall state "Exit" and "Level" and either the floor level number, descriptor or a combination of the two.

.All doorways shall measure 850mm clear openings. Doorways shall be provided with circulation clearances in accordance with current AS1428.1 Figures 31 and 32.

.All public stairs and all paths of travel to an exit shall have a >1000mm clear unobstructed path.

.After discharging from an exit to an open space the path of travel to the road shall have an unobstructed width throughout of not less than 1000mm or the width of the required exit, whichever is the greater.

.Exits at ground floor shall not be blocked at the point of discharge and where necessary, suitable barriers shall be provided to prevent vehicles from blocking an exit, or access to it.

.Doors shall be demountable from the side that faces a person seeking egress. A door in a required exit, forming part of a required exit or in the path of travel to a required exit shall be readily openable without a key from the side that faces a person seeking egress, by

a single hand downward action on a single device which is located between 900 mm and 1.1 m from the floor and if serving an area required to be accessible by BCA D4:

.be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch; and

.have a clearance between the handle and the back plate or door face at the centre grip section of the handle of not less than 35 mm and not more than 45 mm; or

a single hand pushing action on a single device which is located between 900 mm and 1.2 m from the floor in accordance with BCA D3D26 operation of latch.

.Door hardware, other than in "required" doors, shall be installed 900mm 1100mm above the finished floor UNO.

### 14. SERVICES

.Ductwork for exhaust fans and heating and cooling systems shall comply with AS4254 & AS/NZS 4859.1 in accordance with requirements of BCA J6.

.Refer to mechanical engineer's drawings and specifications for mechanical ventilation UNO.

.Lifts, escalators and moving walks shall comply with AS1735.12 and NCC Specification 24 E3D2.

.This building is protected by a sprinkler system. Refer to fire engineer's services drawings for details.

.The following shall be installed in compliance with BCA Section E and to the specifications of the relevant service engineer and/or fire engineer:

- Automatic warning of the presence of smoke or fire
- Fire-fighting equipment
- Measures to ensure conditions within evacuation routes remain tenable long enough for occupants evacuate safely and to facilitate fire brigade intervention.

### 15. THERMAL PERFORMANCE

.Insulation shall be installed tight and continuous, without gaps and cracks, hard up against internal linings (including subfloor). There shall be no air gap between an internal lining and insulation. Junctions between internal and external walls shall be insulated.

.Insulation shall not be crushed or compressed.

.Box gutters and access covers shall be insulated to the same R-value as the roof, using insulation bats or blanket or closed-cell foam.

.Downlights shall be stamped as IC4 rated, airtight and covered by insulation.

.All trades shall be instructed to replace any insulation they have removed in the course of their work and to tape any cuts/penetrations in building wrap. All penetrations shall be caulked using a fit-for-purpose flexible sealant.

.Caulking products shall be appropriate for the intended application.

.Fit for purpose grommets shall be used to seal penetrations in membranes that are not part of fire-rated building elements

### 16. SAFETY & WELLBEING OF BUILDING USERS

.Where stairs are to be constructed, these shall comply with all provisions of D3D14.

.For a public building, other than a spiral stair:  
Risers shall be <190mm and >115mm  
Goings shall be <355mm and >250mm  
2R+G shall be <700mm and >550mm  
There shall be less than 125mm gap between open treads.

.For a private building, other than a spiral stair:  
Risers shall be <190mm and >115mm  
Goings shall be <355mm and >240mm  
2R+G shall be <700mm and >550mm  
There shall be less than 125mm gap between open treads.

.Where ramps are to be constructed, these shall comply with all provisions of D1V3.

.Handrails on stairs, landings and ramps shall be continuous, with tops set >865mm vertically above stair nosing and floor surface of ramps.

.Internal and external finished floor surfaces for stair treads, ramps and landings shall have a slip-resistance not less than that listed in the table below, when tested in accordance with AS4586.

.Table D3D15: Slip Resistance Classification  
Application: Surface condition  
Dry: Wet: Ramp steeper than 1:14 P4 OR R11 P5 OR R12  
Ramp steeper than 1:20 P3 OR R10 P4 OR R11  
but not steeper than 1:14  
Tread or landing surface P3 OR R10 P4 OR R11  
Nosing or landing edge strip P3 P4

.All floor finishes to common areas, inclusive of foyer, corridors & gardens, and wet area tiling and external balcony tiling to apartments, shall comply fully with AS/NZS 4586 & 4663 and Standards Australia & CSIRO Handbook HB197 An Introductory Guide To The Slip Resistance Of Pedestrian Surface Materials. Provide test certification to verify compliance.

.AS 4586 applies to all new pedestrian surfaces. The NCC requirements only apply to stairways, ramps and landings. Where a general surface requirement is in conflict with a stairway, ramp or landing requirement, the latter takes precedence.

.Where a falls risk exists as set out in D1P3, then continuous balustrades shall be provided, and be:  
<1000mm above FFL of balconies, landings or the like, and  
<865mm above stair nosing or ramp, and  
vertical with a 120mm maximum gap between openings (125mm sphere not to pass through openings).

.Compliance for wire fall prevention barriers shall be verified according to the method set out in BCA D1V1.

.In Class 2 Sole-occupancy units on accessible floors, shower walls and walls adjacent to toilets shall be braced with 12mm ply for future grab rails or supply noggings with a thickness of at least 25mm.

.There shall be a level transition between abutting internal surfaces (a maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled).

.For a Class 2 or 3 Building, Sound transmission between walls and floors shall comply with F7P1 and F7P2 and verified according to F7V1 and F7V2. [Substitute provisions for other classes of building as appropriate]

### 17. FIRE RESISTANCE

.The building shall comply with BCA 2022 Vol 1 Section C - Fire Resistance. Class of building is Type 6.

.Building fire resisting construction is deemed to be Type 6

.This documentation shall be read with all documentation provided by the services engineer and fire safety engineer.

.For the purpose of fire hazard properties this building is [sprinklered] complying with Specification 17. Fire hazard properties to BCA C2D11

.Fire indices for all fixed surface finishes, linings, materials and assemblies in Class 2 to 9 buildings shall comply with the appropriate provisions described in BCA Table S7C2.

.Services penetrations in fire rated structures and floor, wall and ceiling linings including electrical, switches and GPOs, hydraulic pipes, vents and mechanical ducts shall be fitted with appropriate AS 4072.1 compliant dampers, collars or switch boxes of the same fire rating of the wall, ceiling or floor being penetrated.

.All services and equipment located in the path of travel to an exit shall be enclosed by non-combustible construction or a fire protection covering with the doors suitably sealed against smoke spread.

### 18. ELECTRICAL

.Power and data points shown are for the purpose of set out only. Refer to services consultant drawings for number and specification.

.Light switches shall be positioned in a consistent location 900mm - 1100mm above the finished floor level; horizontally aligned with the door handle at the entrance to a room.

.Power points shall not be installed lower than 300mm above finished floor level.

.All electrical penetrations shall be sealed using material appropriate to the rating of the cable and/or device.

.Downlights shall be stamped IC4-rated and insulation shall not be penetrated for downlights.

### 19. JOINERY

.These notes apply where internal joinery and interior wet areas are documented as part of architectural drawings.

.Dimensions for wet areas and joinery are taken from finished floor level (FFL).

.Vertical and horizontal dimensions shall be verified by a site-measure prior to manufacture of joinery.

.The practicality of installing fit-out items shall be confirmed on site prior to ordering or manufacture.

.Aluminium transition angles shall be installed between floor finishes. Refer to finishes, fixtures and fittings schedule for details. All fixing shall be concealed in the finish work.

.All kitchen joinery above bench height shall be sealed on all faces.

.Junctions where an overhead cupboard or rangehood abuts surrounding surfaces shall be caulked.

.All joinery to kitchens, bathroom, laundries, ensuites and other wet areas shall be constructed using high moisture resistance particleboard or high moisture resistance medium density fibreboard

.Glass splashbacks shall be caulked with clear silicon at their junction with benchtops. Glue marks shall not be visible through glass.

.Loose furniture, TV, fridge and microwave, where indicated, shall be supplied by proprietor.

### DEMOLITION NOTES

Make sure all water supply and electricity are disconnected before demolisher carry out works

Rif off loose paint and re-paint existing.

Fill all gaps and fix existing damaged structure, wet areas

Make good all adjoining surfaces in preparation for new works

All lights to wet areas to be waterproof lights.

All electrical installation shall be carried out by a licensed electrician.

All work practices shall comply with the Building Code of Australia and all relevant, current Australian Standards including AS1102.

Glazed doors and partitions shall be grade a safety glass to AS1288 (2006). All glazing shall comply with AS 1288.

Floor lining or floor covering must have Critical Radiant Flux (CRF) not less than 2.2kw/m<sup>2</sup> and max. Smoke Development Rate 750 percent-minutes

Construction drawings must be checked and approved by Relevant Building Surveyor prior to carry out any works on site

Do not scale. use written dimension only

Builder to carry out and maintain all necessary protection works to adjoining properties at all times.

(If your builder or tradesperson carries out work worth more than \$10,000, and provide more than one type of building work such as plastering and painting they must be registered with the VBA.)

For all work valued at \$750 or more, the plumber must give you a compliance certificate. This certifies that the work complies with the law.

whenever a licensed electrician completes any electrical installation work, they must give you a Certificate of Electrical Safety.

whenever a licensed electrician completes any electrical installation work, they must give you a Certificate of Electrical Safety.

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### DOOR HANDLE

Single handed downward action door handle - Door handle of 'D' lever type

Allow the door to be unlocked and opened with one hand. The handle shall be such that the hand of a person who can not grip will not slip from the handle during the operation of the latch

Provide an adequate grip for people with hand impairments.

## Kingborough Council

Development Application: DA-2025-373

Plan Reference No: P5

Date Received: 08/4/2026

Date placed on Public Exhibition: 18/4/2026

# TNNT DESIGN

60 ELGIN STREET, CARLTON, VICTORIA 3053  
PHONE : 0435384938  
WWW.TNNTDESIGN.COM.AU

Document Set ID: 4757246

Version: 1, Version Date: 16/04/2026

### BUILDING PERMIT ISSUE

**PIZZA SHOP FIT OUT- SHOP 12A**  
20 Channel Highway, Kingston, TAS 7050

DRAWING:

## GENERAL NOTES

SCALE 1:50 @A3



JOB NO:

**2539**

CHECKED BY: HN

DWG NO:

**A01**

DRAWN BY: LC

REV:

**D**

CLIENT









**ISSUED FOR CONSTRUCTION 02/03/2026**

REV.	DATE	DESCRIPTION	INITIAL
<b>D</b>	<b>02/03/26</b>	<b>ISSUED FOR CONSTRUCTION</b>	<b>LC</b>

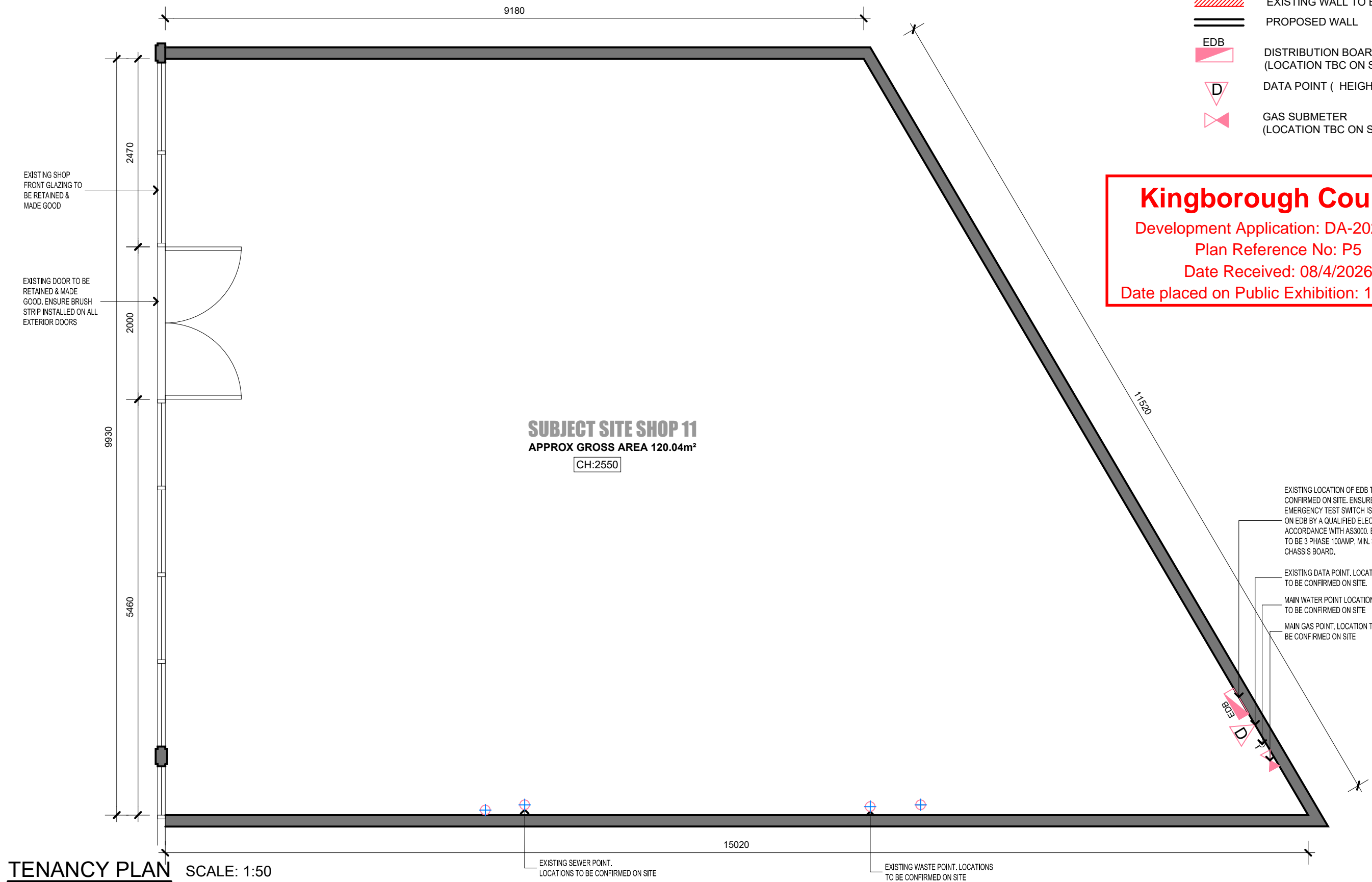
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**LEGEND**

-  EXISTING WALL TO BE RETAINED
-  EXISTING WALL TO BE DEMOLISHED
-  PROPOSED WALL
-  EDB  
DISTRIBUTION BOARD  
(LOCATION TBC ON SITE)
-  DATA POINT ( HEIGHT AFFL )
-  GAS SUBMETER  
(LOCATION TBC ON SITE)

**Kingborough Council**  
 Development Application: DA-2025-373  
 Plan Reference No: P5  
 Date Received: 08/4/2026  
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**SUBJECT SITE SHOP 11**  
 APPROX GROSS AREA 120.04m<sup>2</sup>  
 CH:2550

**TENANCY PLAN** SCALE: 1:50

EXISTING LOCATION OF EDB TO BE CONFIRMED ON SITE. ENSURE EMERGENCY TEST SWITCH IS INSTALLED ON EDB BY A QUALIFIED ELECTRICIAN IN ACCORDANCE WITH AS3000. EDB NEEDS TO BE 3 PHASE 100AMP, MIN. 36 POLE CHASSIS BOARD.

EXISTING DATA POINT. LOCATION TO BE CONFIRMED ON SITE.

MAIN WATER POINT LOCATION TO BE CONFIRMED ON SITE

MAIN GAS POINT. LOCATION TO BE CONFIRMED ON SITE

EXISTING SEWER POINT. LOCATIONS TO BE CONFIRMED ON SITE

EXISTING WASTE POINT. LOCATIONS TO BE CONFIRMED ON SITE



**BUILDING PERMIT ISSUE**  
**PIZZA SHOP FIT OUT- SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050

JOB NO: **2539**  
 DWG NO: **A03**  
 CHECKED BY: HN    DRAWN BY: LC

REV: **D**  
 CLIENT



REV.	DATE	DESCRIPTION	INITIAL
D	02/03/26	ISSUED FOR CONSTRUCTION	LC

60 ELGIN STREET, CARLTON, VICTORIA 3053  
 PHONE : 0435384938  
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DRAWING:  
**TENANCY PLAN**  
 SCALE 1:50 @A3

**ISSUED FOR CONSTRUCTION 02/03/2026**

BUILDER /CONTRACTOR SHALL VERIFY JOB DIMENSIONS BEFORE ANY JOB COMMENCES. FIGURED DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT /CONSULTANT, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO RETURN OF INSPECTED SHOP DRAWINGS BY THE ARCHITECTURAL BUILDING DESIGN /CONSULTANT

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**NOTES - COOLROOM**

- COOLROOM SHALL BE PROVIDED WITH:
- A DOOR WHICH IS CAPABLE OF BEING OPENED BY HAND FROM INSIDE WITHOUT A KEY
  - INTERNAL LIGHTING CONTROLLED ONLY BY A SWITCH WHICH IS LOCATED ADJACENT TO THE ENTRANCE DOORWAY INSIDE THE COOLROOM
  - AN INDICATOR LAMP POSITIONED OUTSIDE THE COOLROOM WHICH IS ILLUMINATED WHEN THE INTERIOR LIGHTS REQUIRED BY ARE SWITCHED ON
  - AN ALARM LOCATED OUTSIDE BUT CONTROLLED ONLY FROM WITHIN THE COOLROOM & ABLE TO ACHIEVE A SOUND PRESSURE LEVEL OUTSIDE THE COOLROOM OF 90dB (A) WHEN MEASURED 3m FROM THE SOUNDING DEVICE
  - A CLEAR WIDTH OF NOT LESS THAN 600mm AND A CLEAR HEIGHT NOT LESS THAN 1.5m TO THE DOOR

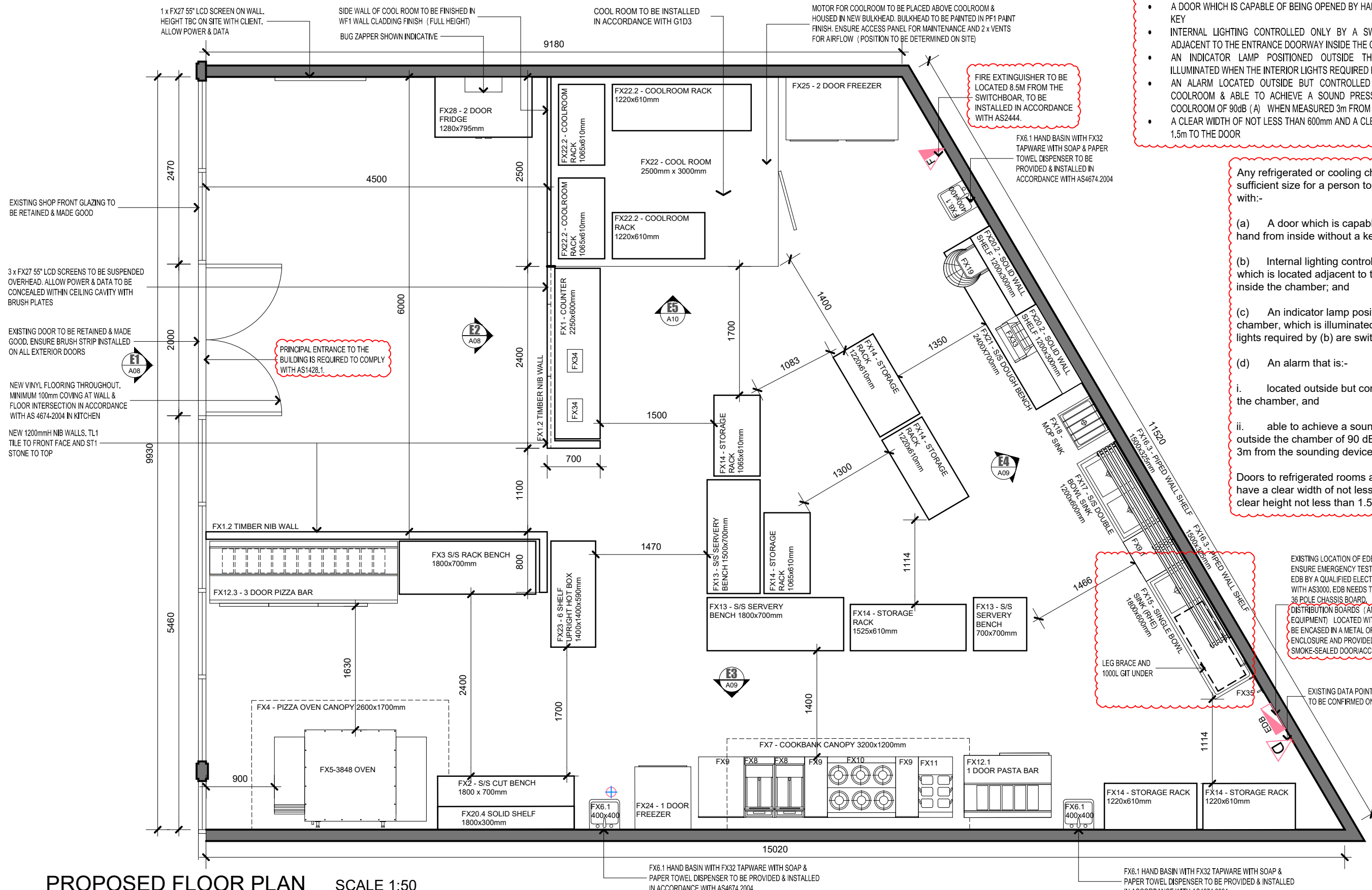
Any refrigerated or cooling chambers which are of sufficient size for a person to enter shall be provided with:-

- A door which is capable of being opening by hand from inside without a key; and
- Internal lighting controlled only by a switch which is located adjacent to the entrance doorway inside the chamber; and
- An indicator lamp positioned outside the chamber, which is illuminated when the interior lights required by (b) are switched on; and
- An alarm that is:-
  - located outside but controlled only from within the chamber, and
  - able to achieve a sound pressure level outside the chamber of 90 dB(A) when measured 3m from the sounding device.

Doors to refrigerated rooms and cool rooms shall have a clear width of not less than 600mm and a clear height not less than 1.5m."

EXISTING LOCATION OF EDB TO BE CONFIRMED ON SITE. ENSURE EMERGENCY TEST SWITCH IS INSTALLED ON EDB BY A QUALIFIED ELECTRICIAN IN ACCORDANCE WITH AS3000. EDB NEEDS TO BE 3 PHASE 100AMP, MIN. 36 POLE CHASSIS BOARD. DISTRIBUTION BOARDS (AND SIMILAR ELECTRICAL EQUIPMENT) LOCATED WITHIN A PATH OF TRAVEL MUST BE ENCASED IN A METAL OR OTHER NON-COMBUSTIBLE ENCLOSURE AND PROVIDED WITH A NON-COMBUSTIBLE SMOKE-SEALED DOOR/ACCESS PANEL.

EXISTING DATA POINT. LOCATION TO BE CONFIRMED ON SITE.



PROPOSED FLOOR PLAN SCALE 1:50



BUILDING PERMIT ISSUE  
**PIZZA SHOP FIT OUT- SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050  
 DRAWING:  
**PROPOSED FLOOR PLAN**  
 SCALE 1:50 @A3

JOB NO: **2539**  
 DWG NO: **A04**  
 REV: **D**  
 CLIENT: **Amalfi PASTA**  
 CHECKED BY: HN DRAWN BY: LC  
**ISSUED FOR CONSTRUCTION 02/03/2026**

**Kingborough Council**  
 Development Application: DA-2025-373  
 Plan Reference No: P5  
 Date Received: 08/4/2026  
 Date placed on Public Exhibition: 18/4/2026

REV.	DATE	DESCRIPTION	INITIAL
D	02/03/26	ISSUED FOR CONSTRUCTION	LC

BUILDER /CONTRACTOR SHALL VERIFY JOB DIMENSIONS BEFORE ANY JOB COMMENCES. FIGURED DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DIMENSIONS SHALL BE SUBMITTED TO THE ARCHITECT /CONSULTANT, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO RETURN OF INSPECTED SHOP DRAWINGS BY THE ARCHITECTURAL BUILDING DESIGN /CONSULTANT

**NOTES**

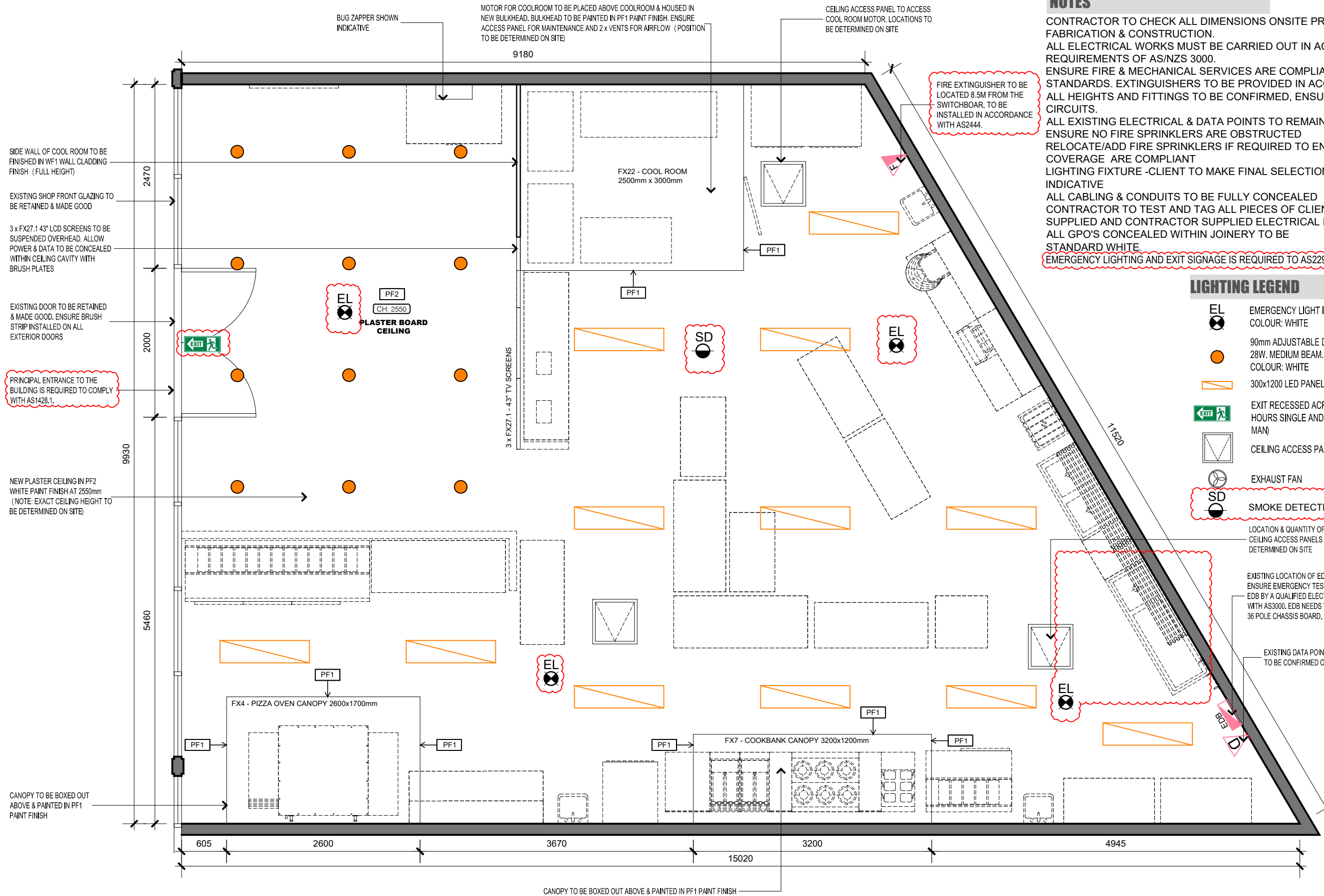
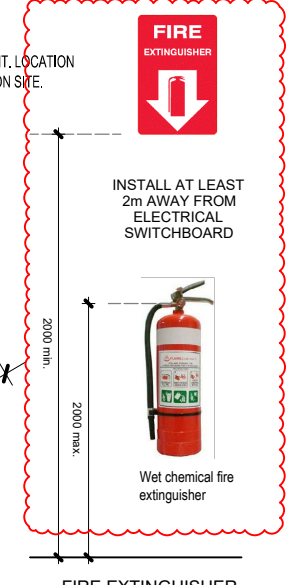
CONTRACTOR TO CHECK ALL DIMENSIONS ONSITE PRIOR TO COMMENCING FABRICATION & CONSTRUCTION.  
 ALL ELECTRICAL WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000.  
 ENSURE FIRE & MECHANICAL SERVICES ARE COMPLIANT TO AUSTRALIAN STANDARDS. EXTINGUISHERS TO BE PROVIDED IN ACCORDANCE WITH AS2444. ALL HEIGHTS AND FITTINGS TO BE CONFIRMED, ENSURE RCD'S FITTED TO ALL CIRCUITS.  
 ALL EXISTING ELECTRICAL & DATA POINTS TO REMAIN FOR REUSE  
 ENSURE NO FIRE SPRINKLERS ARE OBSTRUCTED  
 RELOCATE/ADD FIRE SPRINKLERS IF REQUIRED TO ENSURE FIRE SPRINKLERS COVERAGE ARE COMPLIANT  
 LIGHTING FIXTURE -CLIENT TO MAKE FINAL SELECTION. TYPE SHOWN ARE ONLY INDICATIVE  
 ALL CABLING & CONDUITS TO BE FULLY CONCEALED  
 CONTRACTOR TO TEST AND TAG ALL PIECES OF CLIENT SUPPLIED AND CONTRACTOR SUPPLIED ELECTRICAL EQUIPMENT  
 ALL GPO'S CONCEALED WITHIN JOINERY TO BE STANDARD WHITE  
 EMERGENCY LIGHTING AND EXIT SIGNAGE IS REQUIRED TO AS2293.1

**LIGHTING LEGEND**

- EMERGENCY LIGHT INDICATIVE LOCATION. COLOUR: WHITE
  - 90mm ADJUSTABLE DIMMABLE DOWNLIGHT 28W. MEDIUM BEAM. 3000K. COLOUR: WHITE
  - 300x1200 LED PANEL. COLOUR: WHITE
  - EXIT RECESSED ACRYLIC EDGE-LIT 50,000 HOURS SINGLE AND DOUBLE SIDED (RUNNING MAN)
  - CEILING ACCESS PANELS
  - EXHAUST FAN
  - SMOKE DETECTION
- LOCATION & QUANTITY OF CEILING ACCESS PANELS TO BE DETERMINED ON SITE

EXISTING LOCATION OF EDB TO BE CONFIRMED ON SITE. ENSURE EMERGENCY TEST SWITCH IS INSTALLED ON EDB BY A QUALIFIED ELECTRICIAN IN ACCORDANCE WITH AS3000. EDB NEEDS TO BE 3 PHASE 100AMP, MIN. 36 POLE CHASSIS BOARD.

EXISTING DATA POINT. LOCATION TO BE CONFIRMED ON SITE.



REFLECTED CEILING PLAN SCALE 1:50



60 ELGIN STREET, CARLTON, VICTORIA 3053  
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BUILDING PERMIT ISSUE  
**PIZZA SHOP FIT OUT - SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050  
 DRAWING:  
**REFLECTED CEILING PLAN**  
 SCALE 1:50 @A3

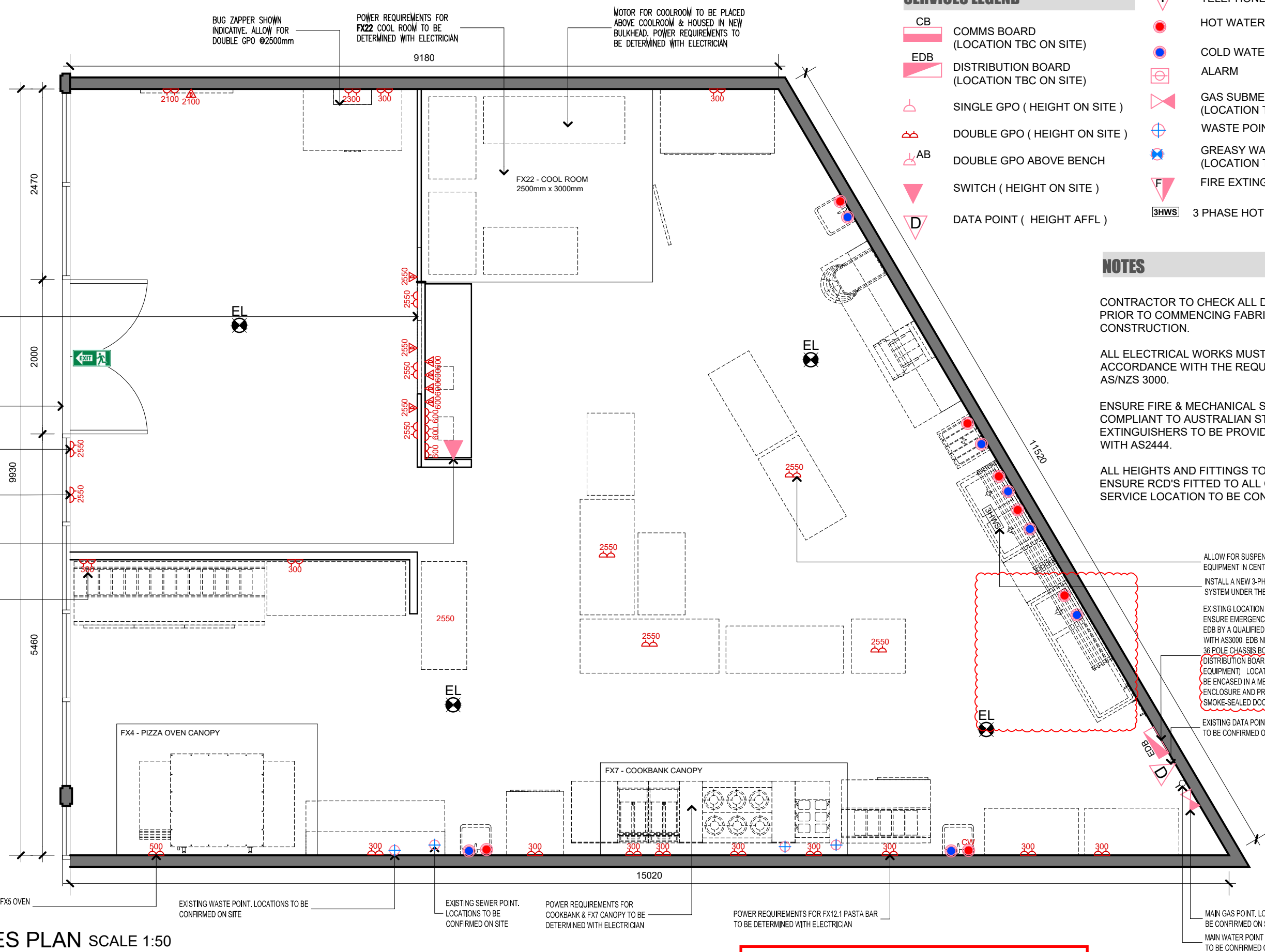
JOB NO: **2539**  
 DWG NO: **A05**  
 REV: **D**  
 CLIENT: **Amalfi PASTA**  
 CHECKED BY: HN  
 DRAWN BY: LC

**ISSUED FOR CONSTRUCTION 02/03/2026**

**Kingborough Council**  
 Development Application: DA-2025-373  
 Plan Reference No: P5  
 Date Received: 08/4/2026  
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**SERVICES LEGEND**

- CB COMMS BOARD (LOCATION TBC ON SITE)
- EDB DISTRIBUTION BOARD (LOCATION TBC ON SITE)
- SINGLE GPO ( HEIGHT ON SITE )
- DOUBLE GPO ( HEIGHT ON SITE )
- AB DOUBLE GPO ABOVE BENCH
- SWITCH ( HEIGHT ON SITE )
- DATA POINT ( HEIGHT AFFL )
- TELEPHONE POINT ( HEIGHT AFFL )
- HOT WATER
- COLD WATER
- ALARM
- GAS SUBMETER (LOCATION TBC ON SITE)
- WASTE POINT
- GREASY WASTE (LOCATION TBC ON SITE)
- FIRE EXTINGUISHER
- 3 PHASE HOT WATER SYSTEM

**NOTES**

- CONTRACTOR TO CHECK ALL DIMENSIONS ONSITE PRIOR TO COMMENCING FABRICATION & CONSTRUCTION.
- ALL ELECTRICAL WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000.
- ENSURE FIRE & MECHANICAL SERVICES ARE COMPLIANT TO AUSTRALIAN STANDARDS. EXTINGUISHERS TO BE PROVIDED IN ACCORDANCE WITH AS2444.
- ALL HEIGHTS AND FITTINGS TO BE CONFIRMED, ENSURE RCD'S FITTED TO ALL CIRCUITS. GAS AND SERVICE LOCATION TO BE CONFIRMED ONSITE

- ALLOW FOR SUSPENDED POWER TO EQUIPMENT IN CENTRE OF TENANCY
- INSTALL A NEW 3-PHASE HOT WATER SYSTEM UNDER THE SINK
- EXISTING LOCATION OF EDB TO BE CONFIRMED ON SITE. ENSURE EMERGENCY TEST SWITCH IS INSTALLED ON EDB BY A QUALIFIED ELECTRICIAN IN ACCORDANCE WITH AS3000. EDB NEEDS TO BE 3 PHASE 100AMP, MIN. 36 POLE CHASSIS BOARD.
- DISTRIBUTION BOARDS (AND SIMILAR ELECTRICAL EQUIPMENT) LOCATED WITHIN A PATH OF TRAVEL MUST BE ENCASED IN A METAL OR OTHER NON-COMBUSTIBLE ENCLOSURE AND PROVIDED WITH A NON-COMBUSTIBLE SMOKE-SEALED DOOR/ACCESS PANEL.
- EXISTING DATA POINT. LOCATION TO BE CONFIRMED ON SITE.

**SERVICES PLAN SCALE 1:50**



60 ELGIN STREET, CARLTON, VICTORIA 3053  
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**BUILDING PERMIT ISSUE**  
**PIZZA SHOP FIT OUT- SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050

DRAWING:  
**SERVICES PLAN**  
 SCALE 1:50 @A3

JOB NO: **2539**  
 DWG NO: **A07**  
 REV: **D**  
 CLIENT: **Amalfi PASTA**

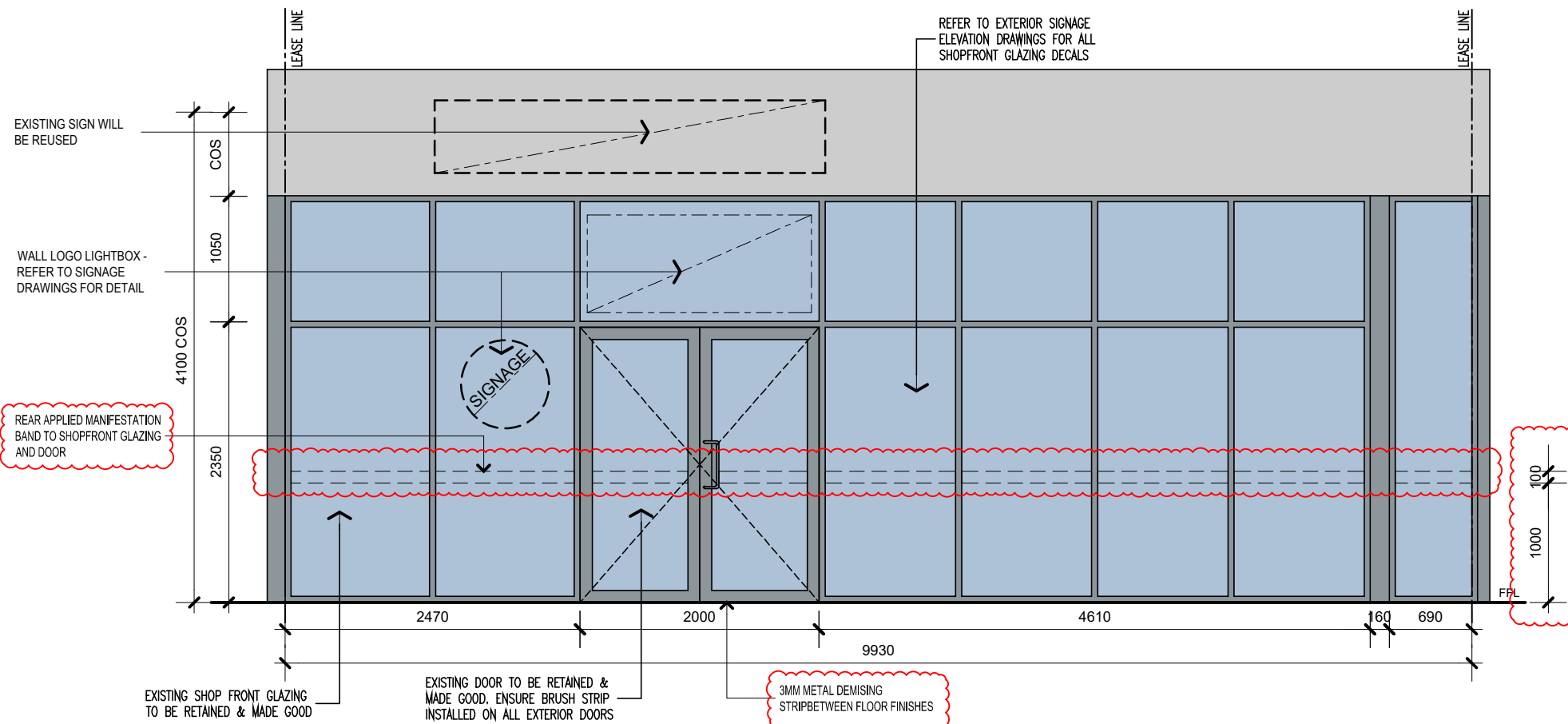
CHECKED BY: HN DRAWN BY: LC

**ISSUED FOR CONSTRUCTION 02/03/2026**

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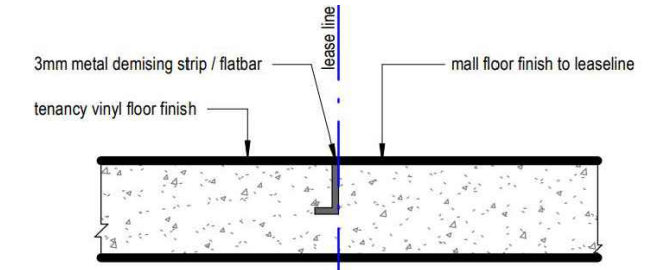
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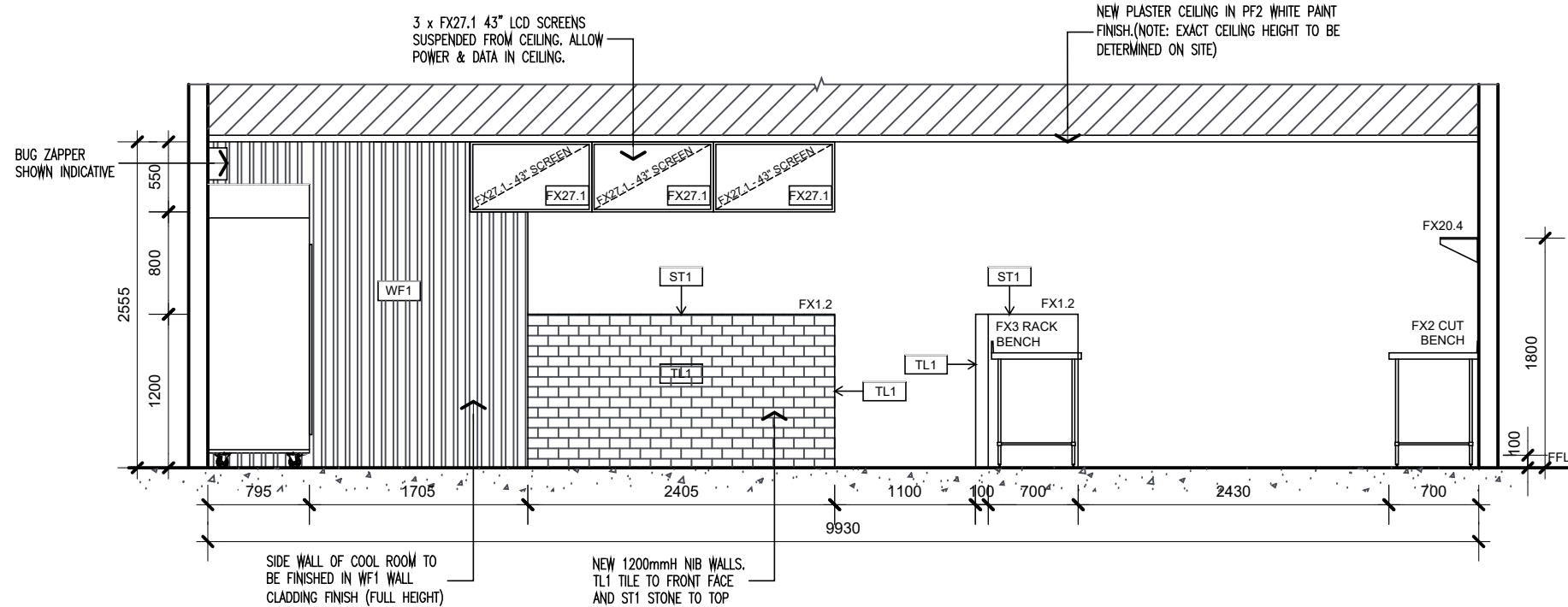
ELEVATION 01 SCALE 1:50

**DOOR AND WINDOW NOTES**

- a. All swing and sliding doors must be manually operable by a force no greater than 20N.
- b. Confirm minimum 850mm clear active leaf to double doors.
- c. Ensure minimum 750mm clear opening is provided to new doors.
- d. Minimum 30% luminance contrast between door and frame or frame and wall.
- e. Door hardware to be provided between 900-1100mm above finished floor level. Door hardware to be generally D type lever/pull handles having a clearance between the handle and the back plate or door face at the centre grip section of the handle must be between 35mm-45mm.
- f. D type lever hardware with 35mm minimum clearance to door face and 20mm returns on levers.



DEMISING FLOOR STRIP DETAIL  
SCALE : NTS



ELEVATION 02 SCALE 1:50

**ALTERATIONS NOTES**

- Alterations to automatic smoke detection and emergency warning system are to be undertaken in accordance with AS1670.
- Alterations to sprinkler system are to be undertaken in accordance with AS2118.1.

**GLAZING NOTE**

All glazing is to comply with AS1288 and AS2047. Decals to be installed min 75mm in width located between 900-1000mm from finished floor level, measured to the bottom of the decal. Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.

**WATERPROOFING NOTE**

Waterproofing to kitchenettes to be provided in accordance with AS3740

**Kingborough Council**

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**BUILDING PERMIT ISSUE**  
**PIZZA SHOP FIT OUT- SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050

DRAWING: **ELEVATIONS**  
 SCALE 1:50 @A3

JOB NO: **2539**  
 DWG NO: **A08**  
 REV: **D**  
 CLIENT: **Amalfi PASTA**

CHECKED BY: HN  
 DRAWN BY: LC

**ISSUED FOR CONSTRUCTION 02/03/2026**



# Kingborough Council

Development Application: DA-2025-373

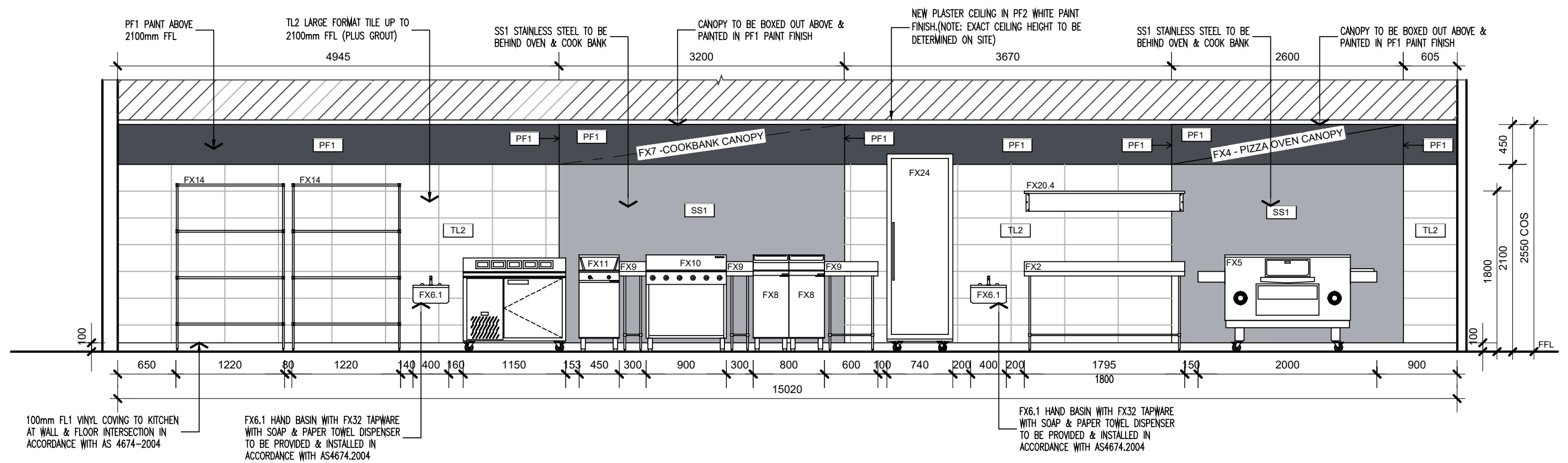
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Date Received: 16/4/2026

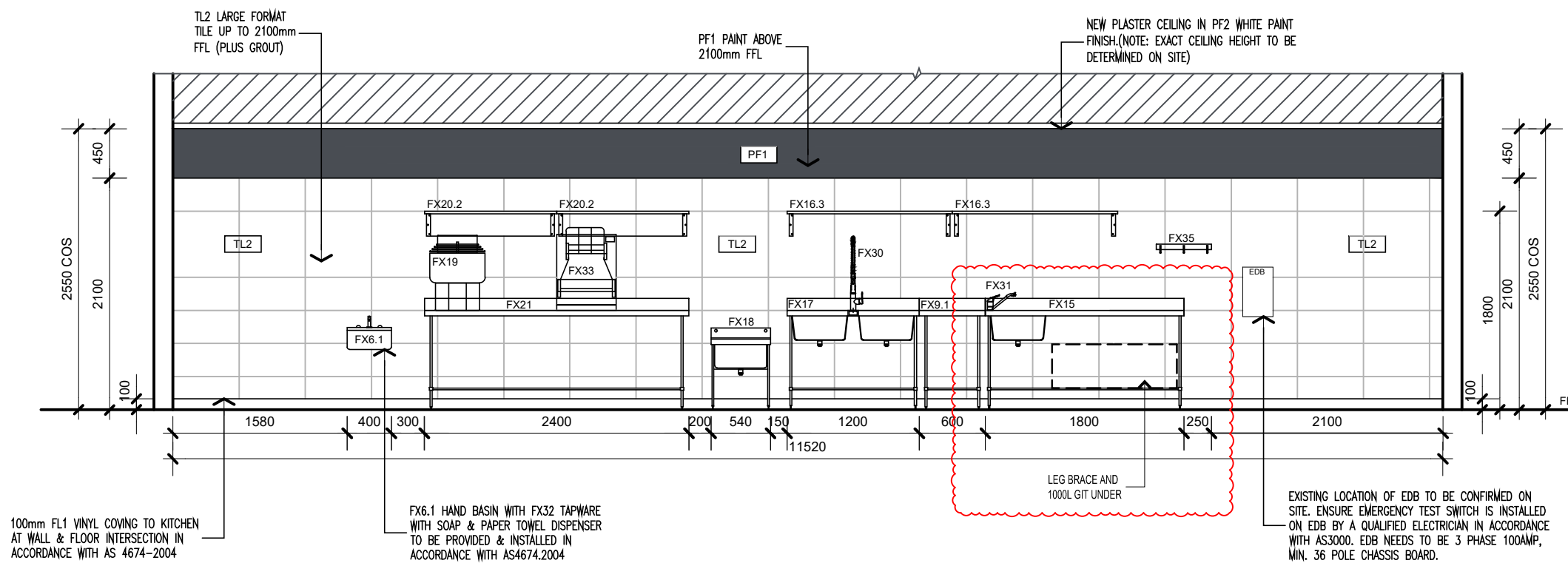
Date placed on Public Exhibition: 18/4/2026

ILLUMINATED LETTERING & LOGO





ELEVATION 03 SCALE 1:50



ELEVATION 04 SCALE 1:50

**DOOR AND WINDOW NOTES**

- All swing and sliding doors must be manually operable by a force no greater than 20N.
- Confirm minimum 850mm clear active leaf to double doors.
- Ensure minimum 750mm clear opening is provided to new doors.
- Minimum 30% luminance contrast between door and frame or frame and wall. Door hardware to be provided between 900-1100mm above finished floor level. Door hardware to be generally D type lever/pull handles having a clearance between the handle and the back plate or door face
- at the centre grip section of the handle must be between 35mm-45mm.
- D type lever hardware with 35mm minimum clearance to door face and 20mm returns on levers.



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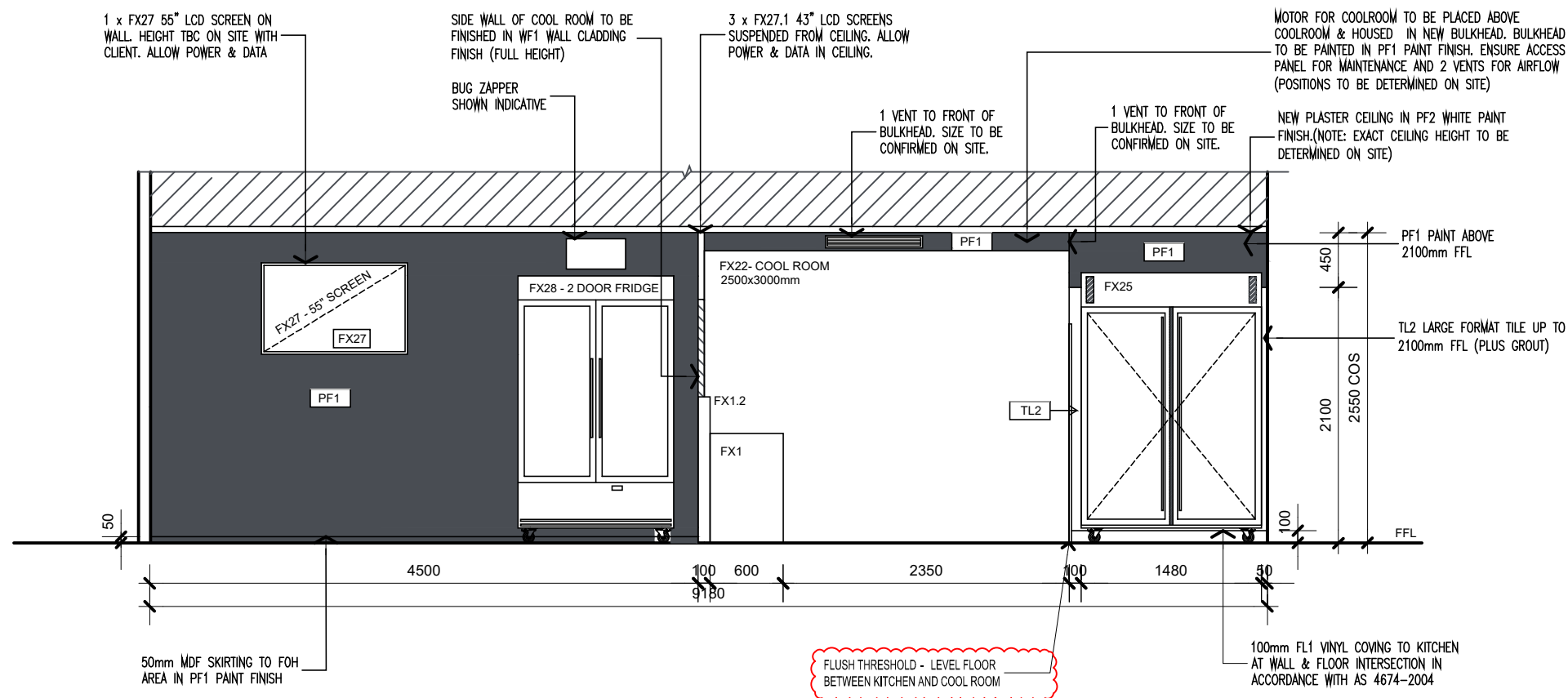
BUILDING PERMIT ISSUE  
**PIZZA SHOP FIT OUT- SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050  
 DRAWING:  
**ELEVATIONS**  
 SCALE 1:50 @A3

JOB NO: **2539**  
 DWG NO: **A09**  
 REV: **D**  
 CLIENT: **Amalfi PASTA**  
 CHECKED BY: HN  
 DRAWN BY: LC  
**ISSUED FOR CONSTRUCTION 02/03/2026**

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ELEVATION 05 SCALE 1:50

**DOOR AND WINDOW NOTES**

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- Minimum 30% luminance contrast between door and frame or frame and wall. Door hardware to be provided between 900-1100mm above finished floor level. Door hardware to be generally D type lever/pull handles having a clearance between the handle and the back plate or door face at the centre grip section of the handle must be between 35mm-45mm.
- D type lever hardware with 35mm minimum clearance to door face and 20mm returns on levers.

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Document Set ID: 4757246  
 Version: 1, Version Date: 16/04/2026

**BUILDING PERMIT ISSUE**  
**PIZZA SHOP FIT OUT- SHOP 12A**  
 20 Channel Highway, Kingston, TAS 7050

DRAWING:  
**ELEVATIONS**  
 SCALE 1:50 @ A3

JOB NO: **2539**  
 DWG NO: **A10**  
 REV: **D**  
 CLIENT:

CHECKED BY: HN  
 DRAWN BY: LC

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