

# APPLICATION FOR PLANNING APPROVAL

**Application Number:** DA-2025-119  
**Proposal:** Change of use to restaurant (food services) and associated signage  
**Subject Site:** 1680, 1704, 1708 and 1712 Channel Highway, Margate  
**Responsible Planning Officer:** Camilo Miranda

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## Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

## Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **28 April 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au).



<b>PROPOSED ALTERATIONS &amp; ADDITIONS at TENANCY 2 / 1680 - 1708 CHANNEL HIGHWAY, MARGATE for KALIS PROPERTIES PTY LTD.</b>	<b>MCA JOB # 25008</b>
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**ARCHITECTURAL - FEBRUARY 2025**

DWG. No.	DRAWING	ISSUE
25008-A01	DRAWING INDEX AND LOCATION PLAN	A
25008-A02	SITE PLAN 1:500	A
25008-A03	EXISTING / DEMOLITION FLOOR PLAN 1:100	A
25008-A03.1	PROPOSED FLOOR PLAN 1:100	A
25008-A04	PROPOSED SET OUT PLAN 1:100	A
25008-A05	REFLECTED CEILING PLAN 1:100	A
25008-A06	PROPOSED FLOOR FINISHES PLAN 1:100	A
25008-A07	ELEVATION - PROPOSED SIGNAGE 1:100	A

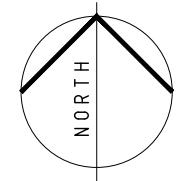
**Kingborough Council**  
Development Application: DA-2025-119  
Plan Reference No: P1  
Date Received: 2/4/2025  
Date placed on Public Exhibition: 15/4/2026



**SITE LOCATION PLAN (NOT TO SCALE)**

REVISIONS			
Rev.	Description:	By:	Date:
A	DEVELOPMENT APPLICATION.	AEE	01/04/2025

- GENERAL NOTES**
- o CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES WHICH MAY OCCUR.
  - o SCHEDULES DOCUMENTS MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS AND THE CONTRACT SPECIFICATION TAKES PRECEDENCE OVER OTHER DOCUMENTS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES.
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  - o ALL GLAZING TO COMPLY WITH AS 1288.
  - o NO SMOKING ON SITE.
  - o NO DOGS ON SITE.



**SHEET No. 1 OF 8**



**MCA ARCHITECTS**

CERTIFIED BUILDING PRACTITIONER - ARCHITECT  
TAS - CC982U VIC - 17933 NSW - 9523  
PO BOX 1 BATTERY POINT TASMANIA 7004  
THE STUDIO 49A DAVEY STREET HOBART  
Phone: (03) 6224 1822 admin@mcaarchitects.com.au  
Anna: 0439 330 923 Michael: 0418 124 355

PROJECT TITLE  
**PROPOSED ALTERATIONS & ADDITIONS  
No. 1680 - 1708 CHANNEL HWY, MARGATE.  
for E. KALIS PROPERTIES PTY LTD.**

ISSUE  
**DEVELOPMENT APPLICATION**

DRAWING TITLE  
**DRAWING INDEX  
AND LOCATION PLAN**

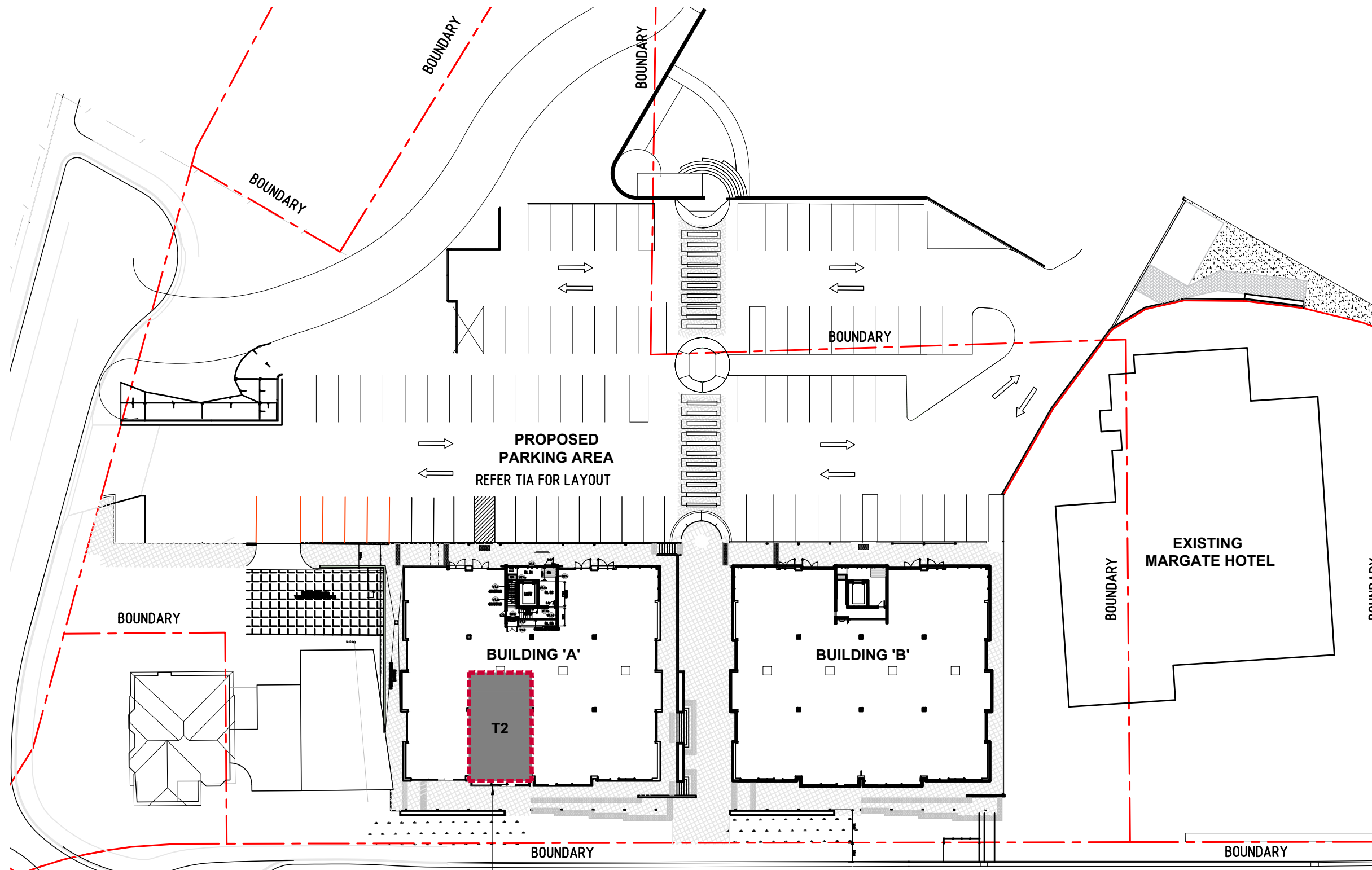
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- @ A3	AEC	<i>NPC.</i>	<i>NPC.</i>	01.04.2025

REVISION: **A**  
File: **-**  
PROJECT No: **25008**

**A01**

**A01. DRAWING INDEX AND LOCATION PLAN**

**ORIGINAL**



LOCATION OF TENANCY 2 (TWO)  
WITHIN BUILDING 'A' AT  
THE 'MARGATE SHOPPING PRECINCT'

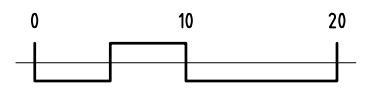
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**A02. SITE PLAN**

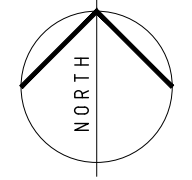
**NOTE**  
REFER TO TRAFFIC ENGINEER DRAWINGS FOR FULL  
SITE PLAN AND PROPOSED CAR PARK LAYOUT.

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**METRES**  
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5 metres on the ground (i.e. 1:500).



**SHEET No. 2 OF 8**



CERTIFIED BUILDING PRACTITIONER - ARCHITECT  
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ISSUE  
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DRAWING TITLE  
**SITE PLAN**

Scale: 1:500 @ A3 Drawn: AEC Checked: *NPC.* Approved: *NPC.* Date: 01.04.2025

REVISION: **A**  
File: -  
PROJECT No: **25008**

**A02**

**ORIGINAL**

WALL LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	EXISTING WALLS TO BE DEMOLISHED.

**DEMOLITION NOTES**

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 45, 46 & 47 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT. IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

**ASBESTOS NOTES**

**IMPORTANT:**

IDENTIFY ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM'S) AT THE SITE.

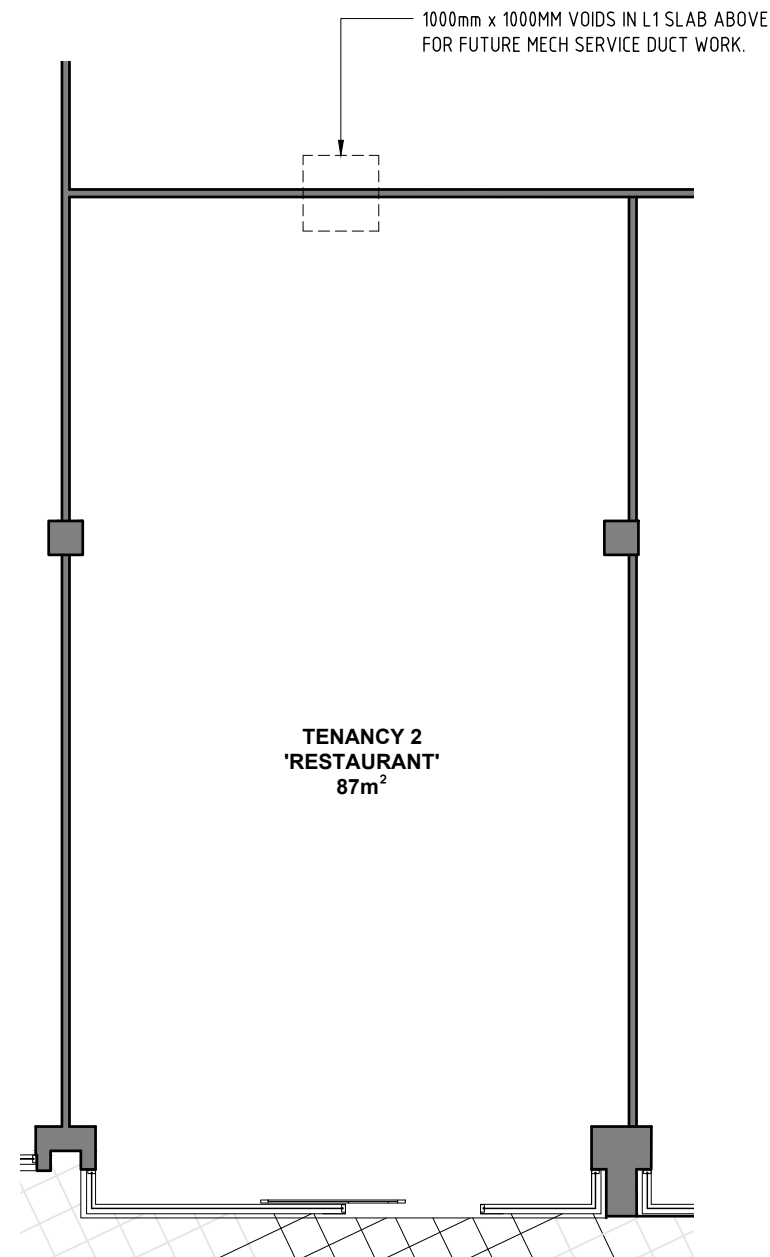
IF IN PLACE, REFER TO THE ASBESTOS REGISTER FOR DETAILS.

IF NOT IN PLACE, A THOROUGH INSPECTION IS TO BE UNDERTAKEN BY A SUITABLY 'COMPETENT' PERSON & RECORDED IN DETAIL IN AN ASBESTOS REGISTER.

ASBESTOS REMOVAL SHALL BE CARRIED OUT BY QUALIFIED PERSONNEL ONLY IN ACCORDANCE WITH RELEVANT STANDARDS / CODES OF PRACTICE (PREFERABLY 'CLASS A' ASBESTOS REMOVAL LICENCE HOLDERS ONLY), WITH A THOROUGH 'ASBESTOS MANAGEMENT PLAN' IN PLACE.

FURTHERMORE, IF MORE THAN 10 sqm. OF ASBESTOS IS TO BE REMOVED A VISUAL CLEARANCE CERTIFICATE FORM No. AR4 IS TO BE COMPLETED & SUBMITTED TO THE BUILDING SURVEYOR. RECORDS OF CORRECT DISPOSAL ARE TO BE SUBMITTED TO THE BUILDING SURVEYOR FOR ANY ASBESTOS REMOVED.

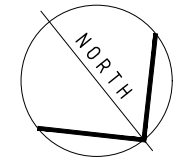
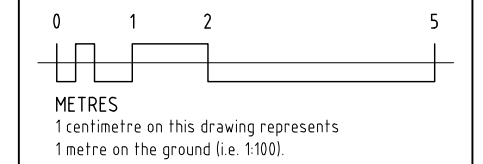
NOTE: ON OTHER FLOORS WITHIN THE BUILDING ASBESTOS HAS BEEN FOUND IN DOORS, VINYL, DUCTING, ACOUSTIC SEALANT AND WALL PANELS.



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**SHEET No. 3 OF 8**



CERTIFIED BUILDING PRACTITIONER - ARCHITECT  
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 THE STUDIO 49A DAVEY STREET HOBART  
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 No. 1680 - 1708 CHANNEL HWY, MARGATE.  
 for E. KALIS PROPERTIES PTY LTD.**

ISSUE  
**DEVELOPMENT APPLICATION**

DRAWING TITLE  
**EXISTING / DEMOLITION PLAN**

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A3	AEC			01.04.2025

REVISION: **A**

File: **-**

PROJECT No: **25008**

**A03**

WALL LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	NEW WALLS TO BE INSTALLED

**AS 1428.1-2009 - CLAUSE 13.1 LUMINANCE CONTRAST OF DOORWAYS**

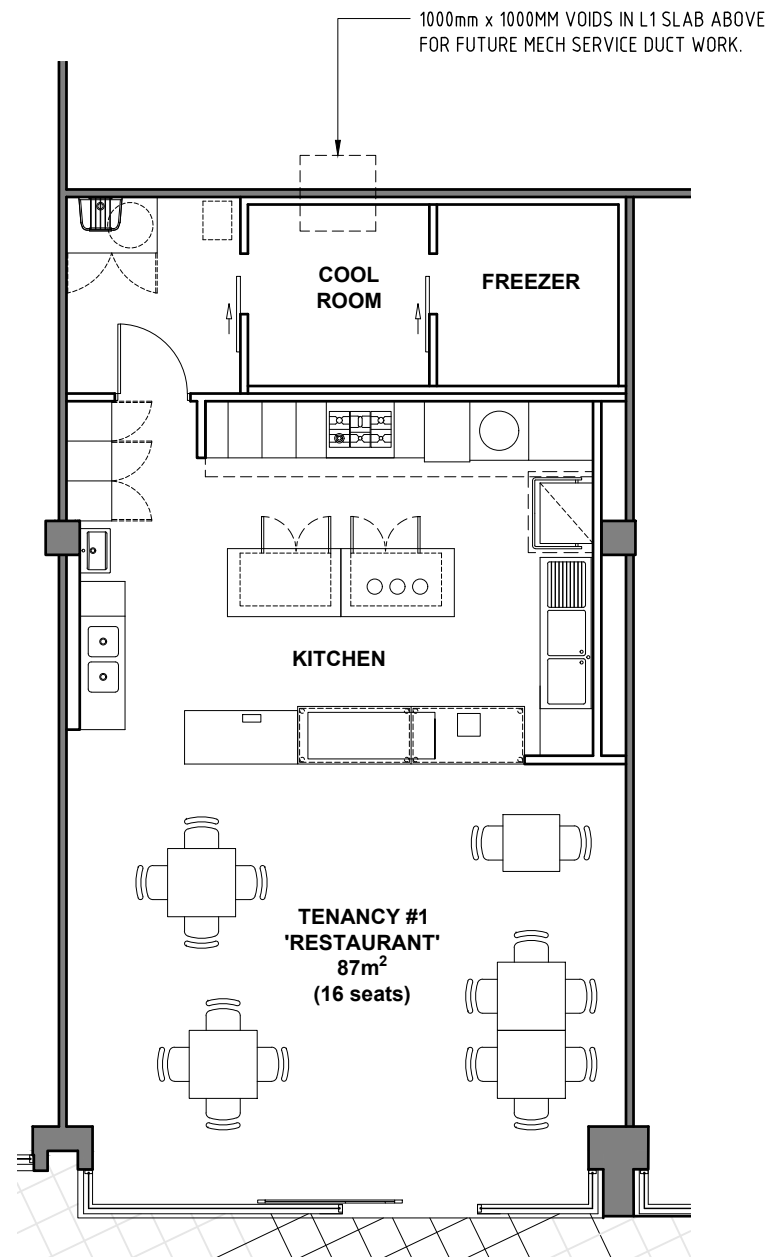
ALL DOORWAYS SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN -

- (a). DOOR LEAF AND DOOR JAMB;
- (b). DOOR LEAF AND ADJACENT WALL;
- (c). ARCHITRAVE AND WALL;
- (d). DOOR LEAF AND ARCHITRAVE; or
- (e). DOOR JAMB AND ADJACENT WALL.

THE MINIMUM WIDTH OF THE AREA OF LUMINANCE CONTRAST SHALL BE 50mm. REFER TO SPECIFICATIONS &/OR LUMINANCE CONTRAST CALCULATOR BY INTERIOR DESIGNER FOR FULL DETAILS.

**FLOOR AREAS**

TENANCY AREA 87 sqm.



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**A03.1 PROPOSED FLOOR PLAN 1:100**

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**SHEET No. 4 OF 8**

**MCA ARCHITECTS**

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ISSUE				
<b>DEVELOPMENT APPLICATION</b>				
DRAWING TITLE				
<b>PROPOSED FLOOR PLAN</b>				
Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A3	AEC	<i>NPC</i>	<i>NPC</i>	01.04.2025
REVISION: <b>A</b>				
File: - <b>A03.1</b>				
PROJECT No: <b>25008</b>				

ORIGINAL

WALL LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	NEW WALLS TO BE INSTALLED

**SETOUT NOTES**

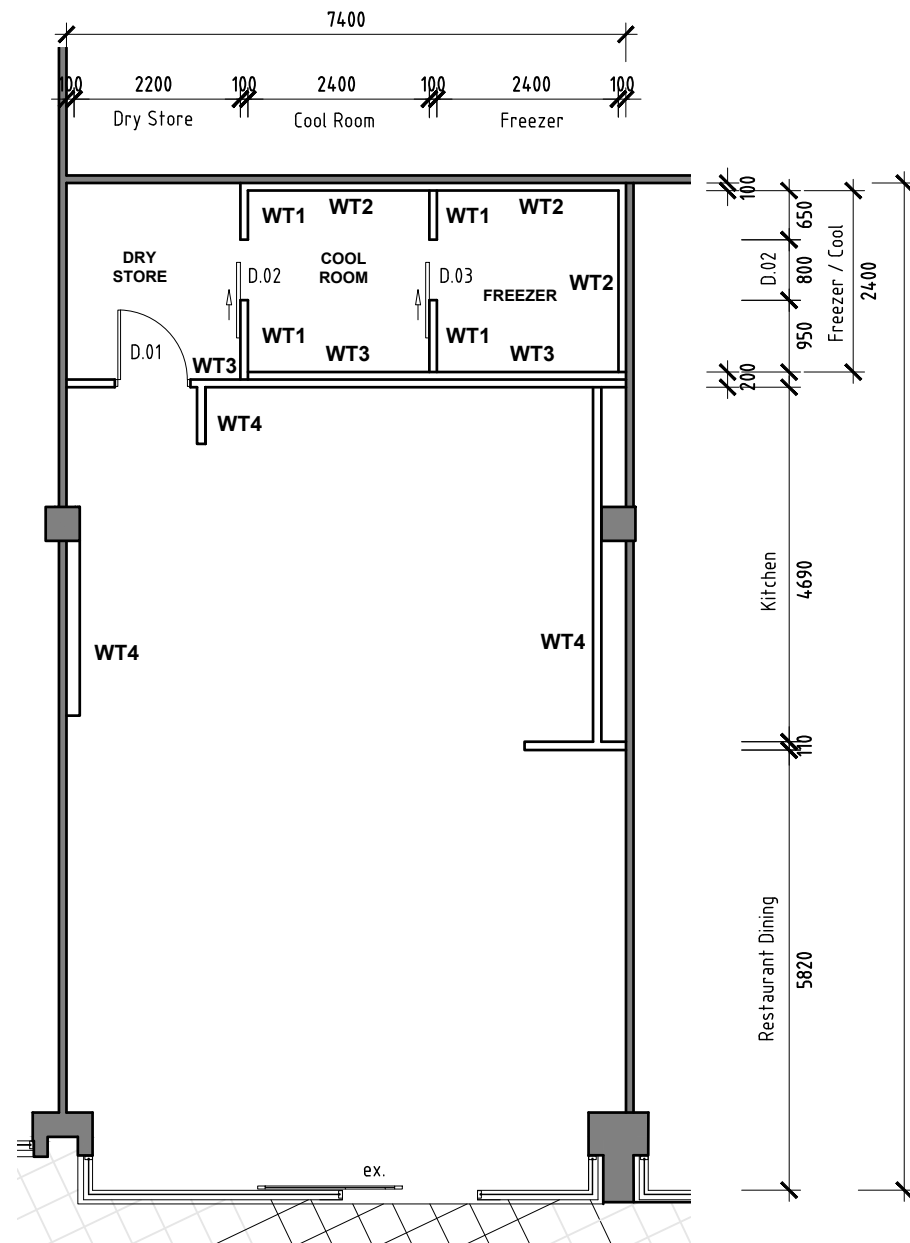
ALL 'EXISTING' DIMENSIONS ARE TO BE CONFIRMED ON-SITE. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.

USE WRITTEN DIMENSIONS ONLY (ie. DO NOT SCALE DRAWINGS).

CHECK ALL LEVELS, DATUM'S & DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS.

WALL TYPES ( REFER A07 + A07.1)	
WT1	BONDOR 100mm INSULATED PANEL. PLAIN PROFILE, COLOUR / FINISH COLORBOND INTRAMAX. SKIRTING AS DETAILED 150mm MIN. COVERED VINYL.
WT2	BONDOR 100mm INSULATED PANEL. PLAIN PROFILE, COLOUR / FINISH COLORBOND INTRAMAX. SKIRTING AS DETAILED 150mm MIN. COVERED VINYL. BONDOR PANEL TO BE INSTALLED FULL HEIGHT AGAINST EXISTING INTER-TENANCY WALL (ALREADY BUILT).
WT3	BONDOR 100mm INSULATED PANEL. PLAIN PROFILE, COLOUR / FINISH COLORBOND INTRAMAX. SKIRTING AS DETAILED 150mm MIN. COVERED VINYL. BONDOR PANEL TO BE INSTALLED FULL HEIGHT AGAINST TIMBER STUD WALL.  90mm TIMBER STUD FRAMED WALL. 1 X LAYER OF 13mm MR PLASTERBOARD. 0.9mm STAINLESS STEEL SHEET TO BE FIXED TO THE INTERNAL FACE OF THE PLASTERBOARD. SKIRTING TO BE COVERED FLOOR VINYL (MIN. 150mm).
WT4	NEW TIMBER STUD WALL FRAMED AGAINST TENANCY WALL.  90mm TIMBER STUD FRAMED WALL. 1 X LAYER OF 13mm MR PLASTERBOARD. 0.9mm STAINLESS STEEL SHEET TO BE FIXED TO THE INTERNAL FACE OF THE PLASTERBOARD. SKIRTING TO BE COVERED FLOOR VINYL (MIN. 150mm).

PAINTING SCHEDULE	
NEW AND EXISTING PLASTERBOARD WALLS :	1 COAT PLASTERBOARD SEALER 2 COATS OF 'DULUX' LO-SHEEN WASHABLE LATEX IN NATURAL WHITE.
NEW TIMBER DOOR:	1 COAT OF 3 IN 1 (PRIMER/SEALER/UNDERCOAT). 3 COATS OF GLOSS ENAMEL IN SELECTED COLOUR.



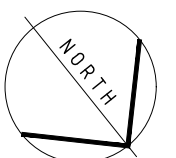
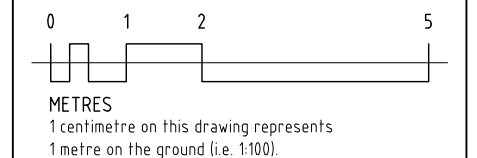
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**A05. SET OUT PLAN 1:100**

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**SHEET No. 5 OF 8**



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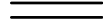
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DRAWING TITLE  
**SET OUT PLAN**

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A3	AEC			01.04.2025

REVISION: **A**  
File: - **A04**  
PROJECT No: **25008**

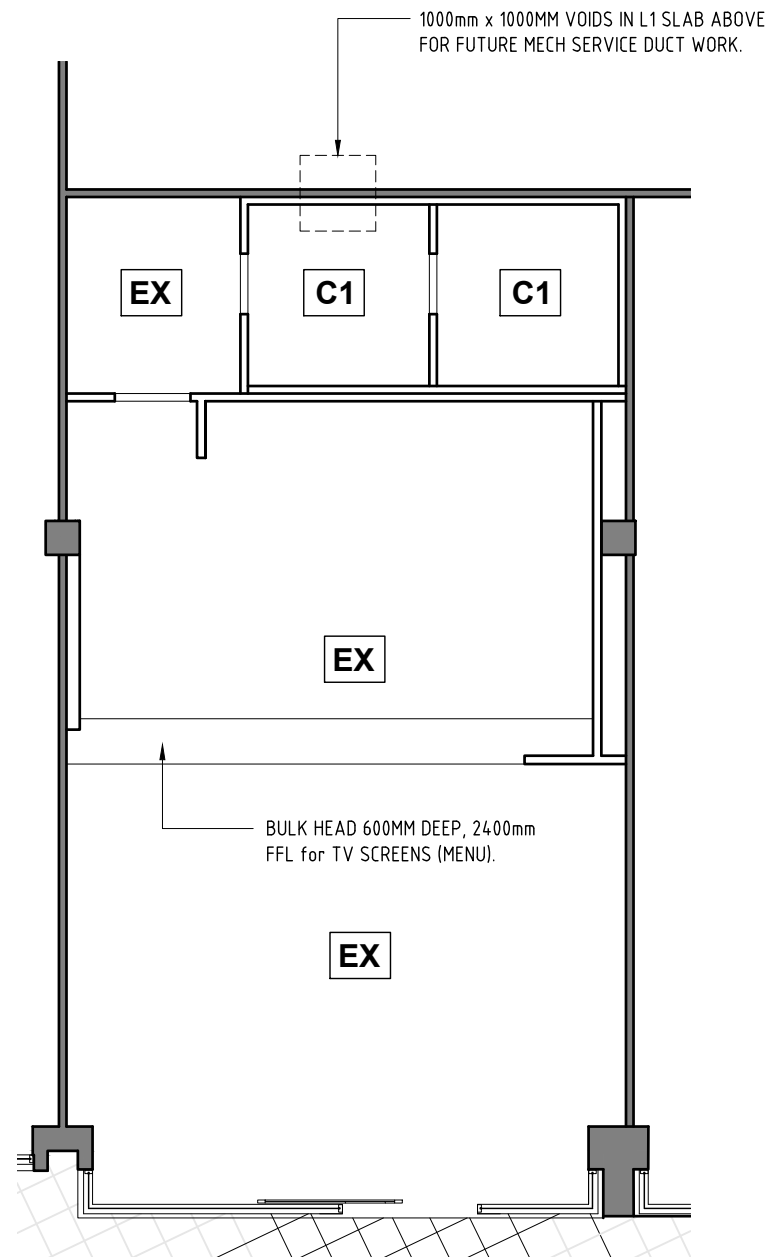
**ORIGINAL**

WALL LEGEND	
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CEILING TYPES	
<b>EX</b>	FINISH CEILING LEVEL: EXISTING 3000mm CEILING TYPE: FLAT CEILING SYSTEM: SUSPENDED PLASTERBOARD CEILING FINISH: PAINT FINISH - CEILING WHITE (PATCH AS REQUIRED).
<b>C1</b>	FINISH CEILING LEVEL: 2900mm CEILING TYPE: FLAT CEILING - PLAIN PROFILE SYSTEM: BONDOR PANEL - COLD ROOM PANEL - 100mm THICK. FINISH AND COLOUR: COLORBOND INTRAMAX

ARTIFICIAL LIGHTING	
ARTIFICIAL LIGHTING SHALL BE INSTALLED TO COMPLY WITH CLAUSE F4.4 OF THE B.C.A. AND AS/NZS 1680. ALL WIRING SHALL BE CONCEALED. REFER TO ELECTRICAL PLANS BY OTHERS.	
AN ARTIFICIAL LIGHTING SYSTEM SHALL BE INSTALLED TO ALL ROOMS, AND MUST COMPLY WITH PART F4.4 OF THE BCA AND AS/NZS 1680. AN ELECTRICAL PLAN SHALL BE PROVIDED TO THE BUILDING SURVEYOR PRIOR TO INSTALLATION.	
REFER TO ELECTRICAL PLANS BY OTHERS.	

ARTIFICIAL VENTILATION	
MECHANICAL VENTILATION (TO SANITARY COMPARTMENT) SHALL BE INSTALLED TO COMPLY WITH CLAUSE F4.5 OF THE B.C.A., AS 1668.2 & AS/NZS 3666.1.	
ALL EXHAUST FANS MUST BE FITTED WITH A SEALING DEVICE (self-closing damper) WHEN SERVING A CONDITIONED SPACE.	
REFER TO MECHANICAL PLANS BY OTHERS.	

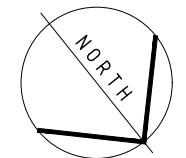
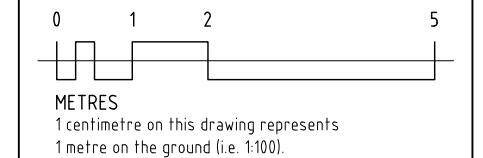


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  - o SCHEDULES DOCUMENTS MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS AND THE CONTRACT SPECIFICATION TAKES PRECEDENCE OVER OTHER DOCUMENTS. ADVISE PROJECT MANAGER AND ARCHITECT OF DISCREPANCIES.
  - o FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.
  - o ALL MATERIALS AND PRODUCTS SPECIFIED TO BE USED STRICTLY IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS WITH RESPECT TO PROCEDURE, COORDINATION OF WORKS AND ENVIRONMENTAL CONDITIONS.
  - o ALL MATERIALS AND WORKMANSHIP TO BE FIRST GRADE AND IN ACCORDANCE WITH RELEVANT CURRENT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND THE REQUIREMENTS OF RELEVANT LOCAL GOVERNMENT AUTHORITIES.
  - o ALL GLAZING TO COMPLY WITH AS 1288.
  - o NO SMOKING ON SITE.
  - o NO DOGS ON SITE.



**SHEET No. 6 OF 8**



CERTIFIED BUILDING PRACTITIONER - ARCHITECT  
 TAS - CC982U VIC - 17933 NSW - 9523  
 PO BOX 1 BATTERY POINT TASMANIA 7004  
 THE STUDIO 49A DAVEY STREET HOBART  
 Phone: (03) 6224 1822 admin@mcaarchitects.com.au  
 Anna: 0439 330 923 Michael: 0418 124 355

PROJECT TITLE  
**PROPOSED ALTERATIONS & ADDITIONS  
 No. 1680 - 1708 CHANNEL HWY, MARGATE.  
 for E. KALIS PROPERTIES PTY LTD.**

ISSUE  
**DEVELOPMENT APPLICATION**

DRAWING TITLE  
**REFLECTED CEILING PLAN**

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A3	AEC	<i>NPC.</i>	<i>NPC.</i>	01.04.2025

REVISION: **A**  
 File: **-**  
 PROJECT No: **25008**

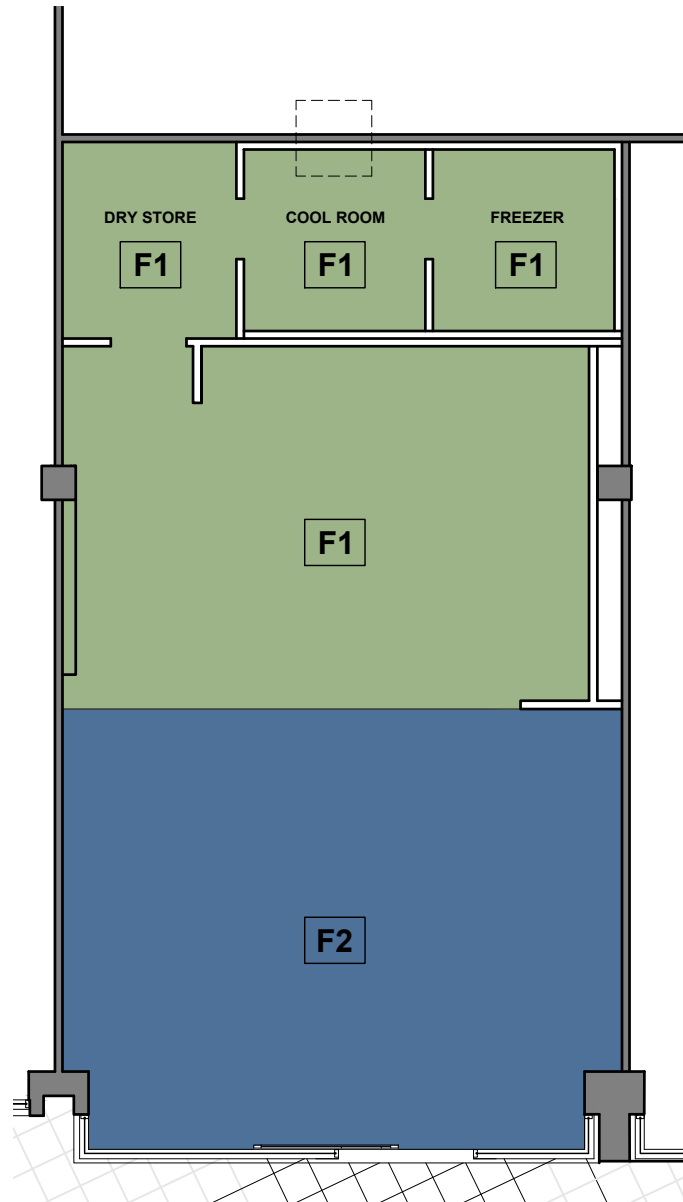
**A05**

**ORIGINAL**

WALL LEGEND	
MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	NEW WALLS TO BE INSTALLED

FLOOR FINISHES TYPES		
MARK	TAG	DESCRIPTION
	F1	'POLYFLOR' POLYSAFE APEX COLOUR: CHROMITE (4202) SKIRTING: COVED VINYL 150mm MIN.
	F2	'POLYFLOR' 'EXONA COMMERCIAL PUR COLOUR: GREY TERRAZZO (5628) SKIRTING: COVED VINYL 150mm MIN.

FLOOR COVERING NOTES
SUBMIT MANUFACTURERS DETAILS FOR ANY NEW CARPET &/OR FLOOR VINYL SHOWING THE FIRE HAZARD PROPERTIES TO ALLOW ASSESSMENT WITH SPECIFICATION C1.10 OF THE B.C.A. PRIOR TO INSTALLATION. FLOOR COVERINGS / SURFACES SHALL ALSO COMPLY WITH PART 7 OF AS 1428.1-2009 (DESIGN FOR ACCESS & MOBILITY).
ADDITIONALLY BEFORE NEW CARPET TILES EXISTING VINYL UNDER CARPET IS TO BE REMOVED.

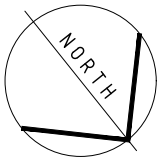
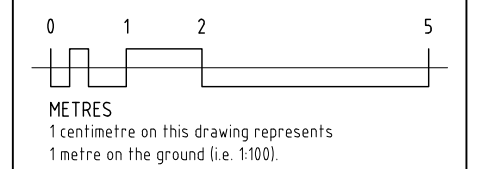


**Kingborough Council**  
 Development Application: DA-2025-119  
 Plan Reference No: P1  
 Date Received: 2/4/2025  
 Date placed on Public Exhibition: 15/4/2026

**A06. FLOOR FINISHES PLAN 1:100**

REVISIONS			
Rev.	Description:	By:	Date:
A	DEVELOPMENT APPLICATION.	AEE	01/04/2025

- GENERAL NOTES**
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**SHEET No. 7 OF 8**



CERTIFIED BUILDING PRACTITIONER - ARCHITECT  
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PROJECT TITLE  
**PROPOSED ALTERATIONS & ADDITIONS  
 No. 1680 - 1708 CHANNEL HWY, MARGATE.  
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ISSUE  
**DEVELOPMENT APPLICATION**

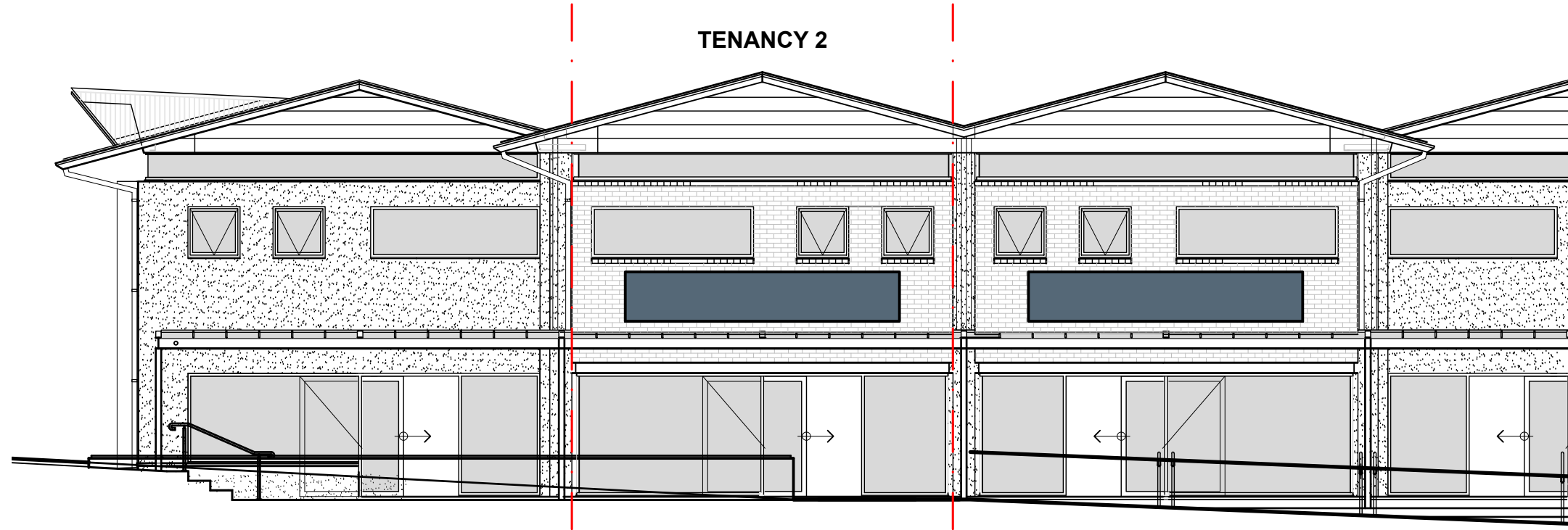
DRAWING TITLE  
**FLOOR FINISHES PLAN**

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A3	AEC			01.04.2025

REVISION: **A**  
 File: **-**  
 PROJECT No: **25008**

**A06**

**ORIGINAL**



**EXISTING ELEVATION 1:100**

FACING CHANNEL HIGHWAY

**Kingborough Council**  
 Development Application: DA-2025-119  
 Plan Reference No: P1  
 Date Received: 2/4/2025  
 Date placed on Public Exhibition: 15/4/2026

New signage shown as 'Sign A'. This sign is a fixed, non-illuminated and is 400mm H x 3000mm W.

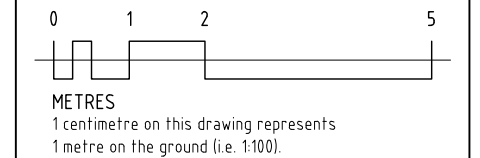


**PROPOSED ELEVATION 1:100**

NOTE: ALL OTHER ELEVATIONS REMAIN UNCHANGED - TILT UP CONCRETE PANELS.

REVISIONS			
Rev.	Description:	By:	Date:
A	DEVELOPMENT APPLICATION.	AEE	01/04/2025

- GENERAL NOTES**
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**SHEET No. 8 OF 8**



CERTIFIED BUILDING PRACTITIONER - ARCHITECT  
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DRAWING TITLE  
**EXISTING / PROPOSED  
 ELEVATIONS**

Scale:	Drawn:	Checked:	Approved:	Date:
1:100 @ A3	AEC	<i>MPC</i>	<i>MPC</i>	01.04.2025

REVISION: **A**  
 File: - **A07**  
 PROJECT No: **25008**

**A07. EXISTING / PROPOSED ELEVATIONS 1:100**

**ORIGINAL**